



PLANNING COMMISSION VIRTUAL MEETING AGENDA

August 19, 2020

Chair:

Jeremy Salvage

Vice Chair:

Don Robertson

Commissioners:

David McClain

Todd Prenoveau

Samuel Brackeen

Joshua Galka

Josh Port

Community

Development Director

Kelly Hart

Virtual Meeting:

6:00 p.m.

1. Call to Order / Flag Salute
2. Roll Call
3. Minutes: July 15, 2020
4. Commission Review:
 - a. **Planning File AR-20-05 – Continuation**
 - Administrative Review
 - b. **Planning File AR-20-09 - Continuation**
 - Administrative Review
 - c. **Planning File CU-20-02**
 - Conditional Use
 - d. **Planning File A-20-05**
 - Annexation
 - e. **Planning File CPMA-20-01**
 - Comprehensive Plan Map Amendment
5. Commission Business & Comments
6. Adjournment



City of Lebanon
Planning Commission
Meeting Minutes
July 15, 2020

Due to the COVID-19 Pandemic, the City of Lebanon Planning Commission conducted a virtual meeting in accordance with Governor's Executive Order 20-16 and in State public meeting laws.

Members Present: Chairman Jeremy Salvage, Vice-Chair Don Robertson, and Commissioners David McClain, Todd Prenoveau, Josh Port and alternate Commissioner Samuel Brackeen.

Staff Present: Community Development Director Kelly Hart; City Engineer Ron Whitlatch and Tre' Kennedy, City Attorney.

1. CALL TO ORDER/ FLAG SALUTE

Vice-Chair Robertson called the meeting of the Lebanon Planning Commission to order at 6:00 pm via the Zoom Meeting virtual platform. The meeting was also live streamed on YouTube for the public to view live.

2. ROLL CALL

Roll call was taken. Commissioner Galka was excused.

3. APPROVAL OF MEETING MINUTES

The minutes for the June 17, 2020 and June 24, 2020 Planning Commission meeting were approved as submitted.

4. CITIZEN COMMENTS - None

5. PUBLIC HEARINGS

A. Planning File AR-20-05 – Administrative Review Request for Farmworker Housing Development Corporation (Western terminus of Weldwood Drive)

Vice-Chair Robertson opened the continued public hearing for the item and summarized the actions taken by the Planning Commission to date prior to the hearing on July 15, 2020. Vice-Chair Robertson concluded that the Applicant has requested that the public record be re-opened to allow for further public comment to

be received, then requested City Attorney Kennedy to provide further information on the Applicant's request.

City Attorney Kennedy indicated that the City received a letter from Attorney Bragar on behalf of the Applicant. He indicated that he had no concern regarding granting the request of the Applicant as indicated in the letter and would suggest the Planning Commission honor the request. City Attorney Kennedy further indicated that although he does not agree that there was any procedural errors made by the City, since we are not following the same meeting procedures due to the pandemic, that he sees no issue with opening the public record again, reading the hearing procedures, and providing the public a greater opportunity to speak.

Vice-Chair Robertson requested City Attorney Kennedy to summarize the procedure that is currently requested.

City Attorney Kennedy reviewed the procedures. The Planning Commission would re-open the public record, City Attorney Kennedy would then read for the record the quasi-judicial hearing procedures, then the Planning Commission would leave the public record open from July 15 through July 22 at 5:00pm for any member of the public to provide comment. Then, from July 22 to July 29 at 5:00pm the record would be left open for any interested party to rebut the comments received during the initial comment period. Finally, the record would be left open from July 29 through August 5 at 5:00pm to allow the Applicant to provide final written rebuttal and arguments. At 5:00pm on August 5, the public record would be closed. On August 19, 2020, the Planning Commission will reconvene and consider the public testimony, discuss the application, then decide on the application.

Jennifer Bragar, representative for the Applicant, indicated an appreciation for accommodating the procedural requests, and wanted to make sure the process is followed and in addition to the timelines set forth the raise it or waive it standards are mentioned so all members of the public are aware of the hearing procedures and requirements.

Vice-Chair Robertson motioned the Commission to reopen the record based on the letter provided by the Applicant, and as reviewed by the City Attorney.

Commissioner Prenoveau seconded the motion.

The motion passed 6-0. City Attorney Kennedy read the quasi-judicial meeting procedures and the raise it or waive it provisions for public hearings.

B. Planning File AR-20-09 – Administrative Review Request for McKinney Lane II, LLC (South of intersection of Russell Drive and Franklin Street)

Vice-Chair Robertson opened the public hearing. City Attorney Kennedy read into the record the quasi-judicial hearing procedures and the raise it or waive it provisions of public meeting law.

Vice-Chair Robertson asked the Commissioners whether they had any ex-parte communications, conflicts of interest or bias to report. Seeing none, Vice-Chair

Robertson requested staff to present the application.

Director Hart presented staff's report. The application before the Planning Commission is a request for approval of a 78-unit apartment complex on the south side of the intersection of Russell Drive and Franklin Street. The subject parcel is 7.42 acres and is zoned Residential Mixed-Density (Z-RM). Surrounding the property to the north are vacant properties zoned or designated as residential mixed density (Z-RM and C-RM). At the June Planning Commission meeting, an application for a 48-unit apartment complex at the northwest corner of Russell Drive and Franklin Street was approved. To the south are vacant properties zoned Industrial. To the West is the developed first phase of the McKinney Lane apartment complexes, as well as single-family homes in the County. To the east are single-family homes in the County unincorporated are designated for residential low-density (C-RL).

For the proposed development area, the subject property is 7.42 acres, but the total proposed development area is only 4.02 acres. The site contains identified wetlands, which have been delineated and concurred with DSL. The development proposal would be located between Russell Drive from the north, and the delineated wetland area to the south. The remainder of the approximate 3.4 acres of the property would remain undeveloped.

Director Hart continued, for the development proposal, the Applicant is proposing to develop a 78-unit apartment complex. As indicated on the site plan, there would be a total of six 2-story apartment buildings, and a clubhouse.

In terms of setbacks, per the Lebanon Development Code, the minimum observed setbacks include a 10-foot front setback, 5-foot side setbacks, and a 20-foot rear setback. As indicated on the site plan, the front setback (on Russell Drive) would be over 12-feet. The side setbacks would be over 13-feet on the western property line, and over 12-feet on the eastern property line. The rear setback would far exceed 20-feet as the rear part of the development backs up to the wetlands and property not proposed to be developed.

For Density, with the removal of the wetland area and portions of the property not included in the development, the total project area is 4.02 acres, and as demonstrated in the agenda report, calculating the required land area based on unit type, the required land for the development would be 2.48 acres, therefore the site meets density standards.

For Open space the development code requires 25% of the project development area to be designated for open space/landscaping. Of this open space area, at least 50% shall be usable open space (i.e., not designated for storm drain facilities, etc.), and at least 25% of this usable open space shall be in one area. In addition, a children's play area shall be provided. The remainder of the open space area may be distributed throughout the site. As proposed, the applicant is providing 29% of the development area as landscaping, 41% of the landscaping would be designated for usable open space. Credits, as authorized in the development code at a rate of 1:4 ratio are provided for amenities, such as the clubhouse and pool area. With the credits applied, the project exceeds the 50% of the landscape area to be usable. Over 25% of the usable open space is in the northwest portion of the site and would

include the area with the clubhouse and the pool. The required children's play area would also be located centrally to the site, adjacent to Building 3 as identified on the site plan.

For parking, the development code requires 2.25 vehicle parking spaces per unit, and 0.5 bicycle parking spaces per unit, but also authorizes an earned parking reduction of up to 15% when additional covered and uncovered bicycle parking is provided. The applicant is only proposing a 10% reduction. With the code authorized reduction, the minimum required vehicle parking would be 158 spaces, and the minimum required bicycle parking would be 112 spaces, 92 covered, and 20 uncovered. The development has proposed to meet the minimum vehicle parking with 158 open parking spaces along the internal drive aisle. Bicycle racks would also be provided throughout the site to meet the 20 uncovered bicycle parking requirements, and a total of 92 covered bicycle parking spaces would be provided including covered racks, and storage in each unit, exceeding the minimum requirements.

Finally, regarding traffic considerations, a Traffic Impact Analysis was prepared as part of the planning process and has been included as part of the Agenda. The results of the TIA determined the increased traffic associated in this development can be accommodated within the current transportation system, and no additional off-site improvements would be required. This TIA also took into consideration the anticipated added traffic associated with the recently approved development at the northwest corner of Franklin Street and Russell Drive.

Director Hart concluded the staff report and was available for questions.

Vice-Chair Robertson asked if there were any questions to staff.

Commissioner Brackeen asked a question about providing signage for the wetlands to keep people out of the wetland areas.

Director Hart indicated that wetlands would not be able to be developed on, but there is not any condition to state that the wetlands would not be able to be accessed. But if the Planning Commission wanted to place a condition to restrict access or place signage for the restriction.

Seeing no further questions, Vice-Chair Robertson asked the Applicant if they wished to speak on the project.

Aaron Wigod, representing the development spoke. Mr. Wigod indicated that this is a second phase of the McKinney Lane development. They are providing amenities and a clubhouse that would be shared with the first phase. Overall, indicated an excitement to build the second phase and would be happy to answer any questions.

Vice-Chair Robertson requested that the Applicant address the question of the wetlands posed by Commissioner Brackeen.

Mr. Wigod indicated that they would be amenable to put up signage for the wetlands. They view the wetlands as an amenity, and there were wetlands on the

previous development as well, but they haven't had any known issues of the wetlands being impacted by the residents.

Commissioner Brackeen clarified he did not have any issues or specific requirements regarding signage but was simply asking the question. As the original development didn't have an issue, he did not see an issue moving forward.

Commissioner Prenoveau asked whether there was a rule against walking on wetlands.

Brian Vandetta, Consultant for the Applicant addressed the wetland question. Indicated that there is nothing in State law that would restrict access to the wetland areas, just development.

Vice-Chair Robertson, seeing no further questions moved on to the following proceedings, and requested clarification on the next steps.

City Attorney Kennedy indicated the appropriate process at this point would be to initiate the 7-7-7 rule.

With this determination, Director Hart identified the suggested motion would be to continue the public hearing to August 19, 2020. The public record would be left open until Wednesday, July 22 at 5:00pm for any member of the public to provide comment. Then, from July 22 to July 29 at 5:00pm the record would be left open for any interested party to rebut the comments received during the initial comment period. Finally, the record would be left open from July 29 through August 5 at 5:00pm to allow the Applicant to provide final written rebuttal and arguments. At 5:00pm on August 5, the public record would be closed. On August 19, 2020, the Planning Commission will reconvene and consider the public testimony, discuss the application, then decide on the application.

Vice-Chair Robertson requested a motion based on the procedures discussed.

Commissioner Prenoveau made the motion consistent with the procedures and recommendation identified for the timeframes and the modifications to the findings and conditions.

Commissioner Brackeen seconded the motion.

Motion passed 6-0.

6. PLANNING COMMISSION REVIEW –

A. Mill Race Urban Renewal District – Comprehensive Plan Consistency Finding.

Vice-Chair Robertson requested Director Hart to introduce the item.

Director Hart provided a brief introduction on the purpose of the agenda item, and the history of actions that have resulted in the purpose of the development of the

Mill Race Urban Renewal Area. Director Hart then introduced the City's consultant, Elaine Howard from Elaine Howard Consulting, LLC to present the item further.

Ms. Howard indicated that the purpose of the presentation tonight is to provide background on the proposed Urban Renewal Plan and discuss how the project conforms with the City's Comprehensive Plan, then request the Planning Commission to consider a motion that the proposal conforms with the Comprehensive Plan.

Ms. Howard identified the project boundary area and acreage and indicated that there is only one property owner within the plan area as it is project specific to the Mill Race Planned Development Area and is tied to the 2017 Economic Development Agreement. In order to approve the new URD, there would also be the requirement to remove the land from the Northwest URD, which the City Council would consider in August.

Ms. Howard indicated the role of the Planning Commission is to have the plan presented for recommendation, and the statute requires the plan to conform to the comprehensive plan. The role tonight is to decide on conformance and a recommendation to the City Council.

Ms. Howard discussed the specifics of the Urban Renewal Plan, the Maximum Indebtedness and the link to the existing economic development agreement. There was a discussion of the two projects associated with the Plan, a reimbursement of public improvements through tax incentives, and the administration of the program.

There is no impact to the property taxpayers, but impacts are on the different taxing agencies and jurisdictions. Impact of the Plan to the taxing districts is anticipated to be less than the maximum indebtedness, and there are no bonds or local option levies included in the plan.

Ms. Howard then discussed conformance with the comprehensive plan. Ms. Howard indicated that the agenda report provided a detailed analysis for conformance to the Comprehensive Plan, specifically in key areas of land use, population and economy, housing, community friendly development, transportation and public facilities and services.

Ms. Howard asked the Planning Commission if they wanted her to go through each section in detail. Vice-Chair Robertson, seeing no affirmative request from the Commissioners, waived further discussion on the conformance considerations.

Ms. Howard moved on to the process for adoption of the Mill Race Plan Area and the next steps, with the City Council meeting scheduled for final consideration of the Plan on August 12, 2020.

Ms. Howard concluded her report and asked if there were any further questions.

Seeing none, Vice-Chair Robertson asked if the Planning Commission had a motion for conformance with the comprehensive plan.

Commissioner Brackeen moved that the Planning Commission finds, based on the staff report and the provided attachments, that the Mill Race Urban Renewal Plan conforms with the Lebanon Comprehensive Plan.

Commissioner Port seconded the motion.

Motion passed 6-0.

7. WORK SESSION - None

8. COMMISSION BUSINESS & COMMENTS

The Planning Commission and staff discussed the current meeting format, concerns, desires to provide opportunities for live public comment during the meeting, and opportunities to meet in person in the upcoming meetings.

Staff identified limitations on meeting in person due to restrictions in place for indoor gathering based on the Governor's Orders, and that the City Council has continued to only meet virtually. Staff indicated that a meeting with the IT Department and the City Recorder will be scheduled to coordinate meeting formats and identify an alternative virtual meeting method to allow for public comments and interactions during the meeting.

9. ADJOURNMENT:

There being no further business, the meeting was adjourned at 7:10pm.

[Meeting minutes prepared by Kelly Hart, Community Development Director]

AGENDA ITEM

4.a.





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MEMORANDUM

Community Development

To: Charmain Salvage and Planning Commissioners Date: June 10, 2020
From: Kelly Hart, Community Development Director
Subject: Development proposal for a 24-unit affordable apartment complex at the western terminus of Weldwood Drive (AR-20-05)

I. BACKGROUND

The subject property is located at the terminus of Weldwood Drive. The Applicant, Farmworker Housing Development Corporation, is proposing to develop the currently vacant property with a 24-unit affordable apartment complex. Under consideration is an application for an Administrative Review (AR-20-05) for the development of the apartment complex.

II. CURRENT REPORT

Project Location and Zoning Designation – The subject parcel is 1.39 acres and located at the western terminus of Weldwood Drive. The property is zoned Mixed-Use (Z-MU). Surrounding the property to the northwest and west are residential uses including a mobile home park and condominium complex within the City limits with a zoning designation of Residential Mixed-Density (Z-RM). To the south include a vacant property, and beyond that on the south side of Lebanon Drive are single family residences located in the county unincorporated area with the comprehensive plan designation of mixed-density residential (C-RM) and residential low density (C-RL). To the east is a vacant parcel, and a portion of the commercial development in the Walmart Shopping Center in the Z-MU zone, and to the north is the Walmart building in the Z-MU zone.

Development Proposal – The Applicant is proposing to develop a 24-unit affordable apartment complex. As indicated on the site plan, there would be a total of one 3-story apartment building, with a large open space area including a children's play area, gazebo, and a community room within the footprint of the building. The building would generally be oriented to the north of the property, with the open space to the west of the building, and the parking lot on the southern portion of the property. On the east side of the property include the required fire turn-around area and additional open space for gardening plots.

In terms of setbacks, the underlying zone of the property is Mixed-Use. Section 16.06.100 identifies a residential development in the Mixed-Use zone is subject to the development standards identified for the Residential Mixed Density zone. Minimum setbacks include 10-foot front, 20-foot rear, and 5-foot side setbacks. The development proposal conforms with all these standards, observing setbacks that meet or exceed the minimum standard with an 18-foot front setback (on Weldwood Drive extension), 39-foot side setback to the eastern property line, a 78-

foot rear setback to the southern property line, and a 125-foot setback to the future property line to the west.

For Density, the minimum lot size for a multifamily use in the RM zone is 9,000 square feet. At 1.39 acres (60,626 sq. ft.), the subject property exceeds this standard. Section 16.05.160 of the LDC indicates the minimum site area for different unit sizes: 1,550 square feet for a one-bedroom unit; and 2,000 square feet for a two-bedroom unit.

Unit Type	Number of Units	Total Square Footage
One-Bedroom	8	12,400 sq. ft. required
Two-Bedroom	16	32,000 sq. ft. required
TOTAL		44,400 sq. ft. or 1.02 acres

The proposal is for the development of an affordable housing project, which would make the project eligible for a density bonus. However, the project would not need to use the density bonus provisions as the density proposed is authorized through the regular development standards.

Open space requirements identified in Section 16.05.170 of the LDC include 25% of the project development area to be designated for open space/landscaping. Of this open space area, at least 50% shall be usable open space (i.e., not designated for storm drain facilities, etc.), and at least 25% of this usable open space shall be located in one area. In addition, a 500 square foot children’s play area shall be provided. The remainder of the open space area may be distributed throughout the site. As proposed, the applicant is providing over 29.5% of the site as landscaping, over 58% of the landscaping would be designated for usable open space. Over 25% of the usable open space is located in the western portion of the development area. The required children’s play area would also be located in this area. Based on the provided site plan, the development proposal meets and exceeds the minimum requirements for open space.

For parking, Section 16.14.070 of the LDC requires 2.25 vehicle parking spaces per unit, and 0.5 bicycle parking spaces per unit. In addition, Section 16.14.030 identifies authorized parking reduction of up to 15% when additional covered and uncovered bicycle parking is provided. With the code authorized reduction, the minimum required vehicle parking would be 46 spaces, and the minimum required bicycle parking would be 44 spaces, 20 covered, and 24 uncovered. The development has proposed to meet the minimum vehicle parking with 46 open parking spaces along the internal drive aisle. Bicycle racks would also be provided throughout the site to meet the 24 uncovered bicycle parking requirements, and a total of 30 covered bicycle parking spaces would be provided, exceeding the minimum requirements. For clarification purposes, the application originally included a request by the applicant for a Class II Variance for a parking reduction. The Class II Variance application was included in the public notification. After notice, staff worked with the applicant to provide sufficient parking on-site to no longer require the variance application. With the earned bicycle reduction, the project as presented in the Agenda packet, meets the parking requirement, and is no longer subject to a variance.

Project Access and Transportation – The site would be accessed from a single driveway on new segment of Weldwood Drive. The driveway would provide access to the internal drive aisle and

parking field. A hammerhead is provided at the end of the parking field to meet the turnaround requirements for the Fire District.

Regarding traffic considerations, Section 16.20.110 identifies the criteria of a project would automatically trigger the requirement of a traffic impact analysis. These criteria include triggering over 300 average daily trips per day, if the project is located near a major intersection on the highway and there are safety concerns, whether there is a change in zoning proposed or if the driveways proposed do not meet the vision clearance requirements. City staff have reviewed the criteria and determined the current proposal does not meet the criteria to require a traffic impact analysis (TIA). However, it is understood that this proposal is considered phase one of a larger development proposal, which would be presented to the Planning Commission at a future date. As such, although not required, or conditioned for this current phase, a traffic impact analysis has been ordered for the overall development. Any identified improvements required per the TIA, would be incorporated as a condition of development as part of any future phase.

In addition, historically, when the Walmart Shopping Center was developed, it was slated that the intersection of Weldwood and Cascade Drives would eventually be signalized. Properties that have been developed previously have paid their fair share portion of the future traffic signal, and based on the future development phases, and the result of the TIA, financial contribution for the future signalization would be incorporated as conditions in future phases.

Utilities – Sanitary Sewer, Water, and Storm Drain facilities are all currently available in Weldwood Drive, or currently within the property. As part of the construction of the new street segment, utilities will be pulled through the street for the length of the site. There is sufficient capacity available to service the site for all city utilities. A fire hydrant will be required to be installed as part of the development.

III. REVIEW CRITERIA AND RECOMMENDED FINDINGS

The Applicant is requesting consideration of an Administrative Review for the development of a 24-unit affordable apartment complex. Below is an analysis of the review criteria (Section 16.20.040.D of the LDC) and recommended findings:

1. The proposal shall conform to use, height limits, setbacks and similar development requirements of the underlying zone.

RECOMMENDED FINDING: The underlying zone of the property is Mixed-Use. Section 16.06.100 identifies a residential development in the Mixed-Use zone is subject to the development standards identified for the Residential Mixed Density zone. Minimum setbacks include 10-foot front, 20-foot rear, and 5-foot side setbacks; the maximum height permissible in the zone is 40-feet; and the maximum lot coverage is 60%. For multi-family development, a minimum 25% of the development site shall be open space, including a children’s play area and common open space. The development proposal conforms with all these standards, observing setbacks that meet or exceed the minimum standard with an 18-foot front setback (on Weldwood Drive extension), 39-foot side setback to the eastern property line, a 78-foot rear setback to the southern property line, and a 125-foot setback to the future property line to the west. The lot coverage for the project is 15.1% which is well below the maximum

coverage. The maximum proposed building height within the development is 40-feet, meeting the maximum permissible. Finally, the development provides 29.5% of the site as open space, exceeding the minimum requirements.

2. The proposal shall comply with applicable access and street improvement requirements in Chapters 16.12 and 16.13, respectively.

RECOMMENDED FINDING: The project includes the development of a new extension of Weldwood Drive, a designated collector street, to provide appropriate access to the site. The new street segment would be built to full city standard including an ultimate right-of-way of 60-feet, with street, curb and gutter, sidewalk, and landscape strip. Access to the site from the new street segment would be from a 25-foot driveway on the western portion of the development area, and all internal access for vehicle maneuvering for the Fire District has met the minimum standards, based on the provided site plan.

3. The proposal shall comply with applicable parking requirements in Chapter 16.14.

RECOMMENDED FINDING: Section 16.14.070 of the LDC requires 2.25 vehicle parking spaces per unit, and 0.5 bicycle parking spaces per unit. In addition, Section 16.14.030 identifies authorized parking reduction of up to 15% when additional covered and uncovered bicycle parking is provided. With the code authorized reduction, the minimum required vehicle parking would be 46 spaces, and the minimum required bicycle parking would be 44 spaces, 20 covered, and 24 uncovered. The development has proposed to meet the minimum vehicle parking with 46 open parking spaces along the internal drive aisle. Bicycle racks would also be provided throughout the site to meet the 24 uncovered bicycle parking requirements, and a total of 30 covered bicycle parking spaces would be provided, exceeding the minimum requirements.

4. The proposal shall comply with applicable screening and landscaping provisions in Chapter 16.15.

RECOMMENDED FINDING: Open space requirements identified in Section 16.05.170 of the LDC include 25% of the project development area to be designated for open space/landscaping. Of this open space area, at least 50% shall be usable open space (i.e., not designated for storm drain facilities, etc.), and at least 25% of this usable open space shall be located in one area. In addition, a 500 square foot children's play area shall be provided. The remainder of the open space area may be distributed throughout the site. As proposed, the applicant is providing over 29.5% of the site as landscaping, over 58% of the landscaping would be designated for usable open space. Over 25% of the usable open space is located in the western portion of the development area. The required children's play area would also be located in this area. A landscape plan has been required as a condition of development to ensure the appropriate number of trees, shrub and ground cover is provided to meet the minimum requirements of Chapter 16.15.

5. Any required public facility improvements shall comply with provisions in Chapter 16.16.

RECOMMENDED FINDING: New sewer, water, and storm drain improvements are included as part of the development proposal. Sewer and water lines would be constructed as part of

the new Weldwood Drive extension. All required improvements as a condition of development shall be designed and installed to the satisfaction of the Engineering Department prior to construction of the development project.

6. Where applicable, the proposal shall comply with development requirements within identified hazard areas and/or overlay zones.

RECOMMENDED FINDING: There are no identified hazard areas and/or overlay zones within or near the subject site. As such, the development proposal complies with this decision criteria.

7. The proposal shall comply with the supplementary zone regulations contained in Chapter 16.19 or elsewhere in the Development Code.

RECOMMENDED FINDING: All accessory structures, uses, and building projects fully comply within the minimum setback standards identified in Chapter 16.05 and Chapter 16.19.

IV. PUBLIC NOTIFICATION AND COMMENTS

A public notification for this project was issued on May 28, 2020. Due to the Covid-19 pandemic, the Planning Commission will be hosting a two-phased public hearing process. The public record for this project will remain open until 5:00pm Monday, June 22, 2020. All public comment received on this application will be presented to the Planning Commission at the June 24, 2020 meeting.

V. CONCLUSION AND RECOMMENDED CONDITIONS FOR DEVELOPMENT

Staff finds the proposal complies with the decision criteria for an Administrative Review, and recommends approval of the application subject to the adoption of the following Conditions of Development:

1. The Planning Department conditions include, but may not be limited to:
 - a. A landscape plan shall be submitted in compliance with Chapter 16.15 and approved prior to the issuance of building permits. As part of the landscape plan, all trees with a measurement of 12-inch caliper for deciduous and 18-inch caliper for evergreen trees shall be cataloged and preserved where possible.
 - b. A Children's play area shall be provided in compliance with Section 16.05.170.F. Any and all playground equipment shall comply with the International Play Equipment Manufacturers Association standards. The children's play area shall be included for review as part of the landscape plan.
 - c. A minimum of 46 vehicle parking spaces shall be maintained on-site at all times. A minimum of 44 bicycle spaces (24 open and 20 covered) shall be permanently maintained.
 - d. An application for a Minor Land Partition shall be filed and approved prior to issuance of building permits for the dedication of the public right-of-way, and the separation of the project site from the remainder of the land area of the existing tax lot.

2. All requirements of the Lebanon Fire District shall be met, including but not limited to:
 - a. Plans shall be submitted for review and approval by the Lebanon Fire Marshal that demonstrates full compliance with the Oregon Fire Code and local amendments. Lebanon Fire Marshal approval shall be obtained prior to issuance of building permits.
3. The Engineering Department conditions include, but may not be limited to:

General

 - a. All public improvements shall:
 - i. conform to the latest "City of Lebanon Standards for Public Improvements."
 - ii. require completion of a Drawing Review Application and a Public Improvements Permit prior to beginning construction.
 - iii. be designed by a professional engineer registered in the State of Oregon.
 - iv. Prior to final plat approval, a bond or other approved form of assurance is required for all incomplete public improvements.
 - b. An engineered site plan shall be submitted for review and approval for the site. The site plan must be submitted with an Application for Site Plan Review and associated fee. The site plan shall detail all site improvements necessary for the proposed development together with a grading and drainage plan.
 - c. All elevations shown on plans submitted to the City must be on the NAVD 88 vertical datum to provide compatibility with the City computer aided mapping system.
 - d. All private, onsite utilities must be reviewed and approved by the City Building Official.
 - e. Provide a landscape and illuminate plan as part of the engineering site plan review plan set.

Transportation

- a. Provide a Geotech report including minimum street section for wet and dry weather construction conditions.
- b. Cul-de-sacs and dead-end roads must have sufficient turning radius to allow the operations of emergency vehicles and Albany-Lebanon Sanitation vehicles. Fire Marshall approval of turnaround and emergency access. Minimum cul-de-sac radius and turn arounds must comply with the City's transportation plan.
- c. The intersection of Weldwood Dr and Cascade Dr has historically been identified as a potential signalized intersection. Development projects in this area have contributed funds towards their share contribution. To address the operational impacts of this project a traffic impact analysis has been initiated. A proportional share contribution based on the development's bearing to the intersection will be require for future phases of the project. The contribution amount will be based on a construction cost estimate including design for the traffic signal that will be developed by the City.
- d. *Any off-site traffic improvements as determined by the traffic impact analysis report will the responsibility of the developer and will be required to be constructed with each phase of the development.*
- e. *Proposed public street should be minimum 60-foot right-of-way with 5-foot sidewalk on both sides.*

- f. Sidewalks, paths and driveway approaches must comply with ADA requirements.
- g. Provide City standard sidewalks and ADA access ramps access along proposed public street.
- h. Provide City standard street trees in compliance with the City of Lebanon street tree policy. See the policy and approved street tree list at (<http://www.ci.lebanon.or.us/index.aspx?page=117>)
- i. With engineering drawings, indicate the location of street and path lights, mailboxes, utility pedestals, signs.
- j. Mailbox locations must be also be reviewed and approved by the Postmaster.
- k. Provide City standard streetlights at all intersections and along proposed public street.
- l. Site lighting shall not glare or shine onto adjacent public streets or neighboring properties.
- m. Provide verification of Republic Services approval of location and access to garbage and recycling containers shown on site plans prior to approval of detailed engineering site plans.
- n. Provide one bus shelter to provide access to City transportation system and the Lebanon Community School District.

Water

- a. Identify any on-site wells on the engineered drawings. Back flow prevention devices will be required on any lot that is also serves by the city water system.
- b. Fire suppression will be under the Fire Marshal review and approval. The number and location of fire hydrants shall be approved by the Lebanon Fire Marshal. All new hydrants must be operational and accepted by the City prior to storage of combustible materials on site.
- c. Water main improvement should be extended through the development site to the edges of the property frontage to complete the loop from the south-east property line to the north-west property line.

Sewer System

- a. Identify any on-site septic systems on the engineering drawings. Provide Linn County approval for all septic systems.
- b. Extend the sewer main system as needed to service the development.

Storm Drainage

- a. The drainage system and grading plan shall be designed so as not to adversely impact drainage to or from adjacent properties. Storm drainage facilities must be designed and constructed to ensure historical rates of site discharge are not exceeded. Storm drain capacity shall be determined by the Rational Method for a 10-year event with a 15-minute minimum durations time using the curve (fig 5.3) in the master plan. A detailed design including engineering calculations shall be submitted as part of site plan review.
- b. With the engineering drawings, provide a grading plan for the site that indicates existing and proposed elevations. Drainage improvements (ditches and or piping) may be required at the site boundaries to prevent adverse impacts. The engineering drawings must provide a detailed design (including calculations) of the drainage improvements and mitigation of any impacts to adjacent properties.
- c. Provide verification of Oregon DEQ NPDES 1200C permit issuance and all condition

- of permit issuance prior to construction
- d. Provide correspondence from the appropriate state and federal regulatory agencies regarding wetland identification and required fill-removal permits, if any. Any wetlands identified as being impacted by public improvements shall be mitigated prior to the final acceptance of public improvements.
- e. With engineering drawings provide a construction erosion prevention plan.

Landscaping

- a. Submit a landscape and irrigation plan for any proposed landscape improvements to the City Engineer for review. Any landscaping proposed in the public right of way shall have a maximum mature height of no more than 24 inches above the street grade and at least 3 feet from any fire hydrant. All landscaping proposed in the yard setback areas adjacent to public streets shall have a maximum mature height of no more than 36 inches above the street grade.
- b. Vision clearance areas shall be provided at intersections of all streets and at intersections of driveways and alleys with streets to promote pedestrian, bicycle, and vehicular safety per Subsection 16.12.030.H of the Lebanon Development Code. A clear-vision area shall contain no plantings, fences, walls, structures, utility pedestals, or temporary or permanent obstruction exceeding 2-1/2 feet in height, measured from the top of the curb.

VI. RECOMMENDED ACTIONS

1. Evaluate the public testimony and the record established before the Planning Commission
2. Commission options:
 1. Approve the proposed Administrative Review (AR-20-05) for the development of a 24-unit affordable apartment complex adopting the written findings for the decision criteria contained in the staff report with the conditions of development; or
 2. Approve the proposed Administrative Review (AR-20-05) for the development of a 24-unit affordable apartment complex, adopting modified findings for the decision criteria and conditions of development; or
 3. Deny the proposed Administrative Review (AR-20-05) for the development of a 24-unit affordable apartment complex, specifying reasons why the proposal fails to comply with the decision criteria; and
 4. Direct staff to prepare an Order of Recommendation for the Chair or Vice Chair's signature incorporating the adopted findings as approved by the Planning Commission.



ENHANCING LIVES AND COMMUNITIES

INTEGRITY • INNOVATION • COLLABORATION

Colonia Paz I – Burden of Proof

To City of Lebanon, Oregon
 From Yuko Mino – Pinnacle Architecture, Inc
 Date 5/4/2020 (Revised 5/21/2020 & 6/8/2020)

General Information

Project Description: 24 Unit wood framed three-story affordable housing building for farmworkers.
 Tax Map: 12S02W23B, 1701, PARCEL 2
 Lot Size: 9.51 Acres (Including Phase 2 lot)
 Address: Weldwood Ave
 Zone: Z-RM; permitted with Administrative Review
 New Lot Size: 1.39 Acres (60,626 sf.)
 Building footprint: 9,132 sf.
 Gross Building Size: 26,408 sf.
 Coverage: 60% Max (36,376 sf. Allowed) Actual is 15.1% (9,132 sf. Building footprint)
 Setbacks:
 Front 10 ft.
 Back 10/20 ft.
 Side 5 ft.
 Height: 40 ft. As designed 38'-8.5" to the average height of the highest roof surface
 Impervious Coverage: 52,556 sf.

Project Calculations – Density Bonus from 16.05.160 taken for 100% affordable housing, and Earned Parking Reductions from 16.14.030 taken for additional bike parking spaces provided.

COLONIA PAZ I					
	REQUIRED SPACE	%	ACRES	SF	PROVIDED
PARCEL 2			1.39	60,626	
	OPEN AREA	25.00%		15,157	18,356
	USABLE	50.00%	OF OPEN AREA	9,178	11,006
UNITS	QUANTITY		DENSITY Bonus		
1 BR	8		1244	9,952	
2 BR	16		1604	25,664	
TOTAL	24			35,616	SF
PARKING	DIVISOR	# STALLS		SF/STALL	
	2.25	54		288	
Bike parking reduction	10% covered	- 5			
	5% uncovered	-3			
TOTAL	CAR PARKING	47	(incl. 2 ADA)		

16.05.170 OPEN SPACE AND SITE DESIGN REQUIREMENTS FOR MULTI-FAMILY HOUSING

See open area calculations and key play provided on previous page. Based on these calculations we are meeting the required area specified in this section of the zoning ordinance. The project is also taking advantage of Developed Recreation areas in conjunction with these open spaces.

1. Playground and grass play area.
2. Community room
3. Gazebo
4. Raised garden area.

Each of the twenty-four apartments include exterior patio/deck with storage. Each deck is approximately 10' by 8'.

For more information see landscape, site, and floor plans.

16.12. & 16.13 TRANSPORTATION.

In general, the project will adhere to the requirements of these sections. For specific design see Civil drawings. A traffic study has been ordered and will be provided in the next few weeks.

16.14.030 EARNED PARKING REDUCTIONS

Per table 16.14.070 we are required to have 12 bike parking spaces. Design currently has 44 bike parking spaces total, 32 additional than the required amount. There are 20 in unit deck storage rooms and 24 outside near building entries. Of the 24 which are outdoors, 12 are undercover underneath the entry canopies. Therefore, we have a total of 32 covered spaces and 12 uncovered spaces.

For the car parking reduction, covered bike parking and uncovered bike parking may constitute up to 10% *each* of the required car parking, but a combined maximum of 15%. Therefore, for the covered bike parking 10% of 54 car parking spaces would be 5.4 (or 5), equivalent to 20 covered bike spaces which we have provided. For the uncovered bike parking 5% of 54 car parking spaces would be 2.7 (or 3), equivalent to 24 uncovered spaces. We have provided 12 uncovered spaces, plus the 12 covered spaces that were not accounted for in the 10% covered would be included in the count for uncovered.

16.14.050 DESIGN AND IMPROVEMENT REQUIREMENTS FOR PARKING LOTS

Parking lots as designed have a minimum of five landscape buffer with fully curbed, and asphalt paved areas. Parking stalls are 9'x20' with a drive aisle of 24'. Site lighting is designed to be full cut off. Vision clearance will be adhered as well.



16.15 LANDSCAPING, STREET TREES, FENCES, AND WALLS

In general, the project will adhere to the requirements of this section. For specific design see landscape plans.

16.19.050 EXTERIOR LIGHTING

Exterior lighting is designed to include cut offs where appropriate and under roof lines elsewhere.

Drawings provided with Land Use Submittal:

GENERAL

G0.00 COVER SHEET

CIVIL

C-0.1 TITLE SHEET

C-1.1 EXISTING CONDITIONS SHEET

C-2.1 PRELIMINARY GRADING AND DRAINAGE PLAN

C-2.2 PRELIMINARY GRADING AND DRAINAGE PLAN

C-3.1 PRELIMINARY UTILITY PLAN

LANDSCAPE

L3.00- TREE PLAN

L3.01- PLANTING PLAN

ARCHITECTURAL

AS1.10- ARCHITECTURAL SITE PLAN

AS1.11- OPEN SPACE SITE PLAN EXHIBITS

AS5.10- SITE DETAILS

AS5.11- SITE DETAILS

A1.00- FLOOR PLANS

A2.10- EXTERIOR ELEVATIONS

End of Document

COLONIA PAZ 1 - AFFORDABLE HOUSING

LEBANON, OREGON



"ENHANCING LIVES AND COMMUNITIES"

960 SW DISK DR, SUITE 101
BEND OR 97702
541.388.9897
WWW.PINNACLEARCHITECTURE.COM

PHASE: LAND USE
CLIENT: FARMWORKER HOUSING DEVELOPMENT CORP.



NOT FOR CONSTRUCTION

COLONIA PAZ 1 - AFFORDABLE HOUSING
CLIENT:
FARMWORKER HOUSING DEVELOPMENT CORP.

PROJECT ADDRESS:
LEBANON, OREGON

PROJECT CONTACT INFORMATION

OWNER:
FARMWORKER HOUSING DEVELOPMENT CORP.
1274 5TH STREET, SUITE 1-A
WOODBURN, OR 97071
PHONE: 503.381.1618
CONTACT: CLAUDIA CANTU

ARCHITECT:
PINNACLE ARCHITECTURE, INC.
960 SW DISK DRIVE, SUITE 101
BEND, OREGON 97702
PHONE: 541.388.9897
CONTACT: YUKO MINO

STRUCTURAL:
ASHLEY & VANCE ENGINEERING, INC.
33 NW FRANKLIN AVENUE, SUITE 110
BEND, OR 97703
PHONE: 541.647.1445
CONTACT: JOHN FISCHER

MECHANICAL:
SYSTEM DESIGN CONSULTANTS
333 S.E. SECOND AVENUE,
SUITE 100
PORTLAND, OREGON 97214
PHONE: 503.248.0227
CONTACT: GARY BARNES

ELECTRICAL:
SYSTEM DESIGN CONSULTANTS
333 S.E. SECOND AVENUE,
SUITE 100
PORTLAND, OREGON 97214
PHONE: 503.248.0227
CONTACT: JEFF DAVIS

PLUMBING:
SYSTEM DESIGN CONSULTANTS
333 S.E. SECOND AVENUE,
SUITE 100
PORTLAND, OREGON 97214
PHONE: 503.248.0227
CONTACT: GARY BARNES

CIVIL:
ASHLEY & VANCE ENGINEERING, INC.
33 NW FRANKLIN AVENUE, SUITE 110
BEND, OR 97703
PHONE: 541.647.1445
CONTACT: JIM LORD

BUILDER:
LMC
19200 SW TETON AVE
TUALATIN, OR 97062
PHONE: 503.646.0521
CONTACT: CHRIS DUFFIN

LEED CONSULTANT:
EARTH ADVANTAGE
623 SW OAK ST #300,
PORTLAND, OREGON 97205
PHONE: 503.784.0383
CONTACT: RANDY HANSELL

BUILDING INFORMATION

LEVEL 1
2 BEDROOM A (920 SF X 4)= 3,680 SF
1 BEDROOM A (688 SF X 2)= 1,376 SF
COMM/MEP/CIRCULATION=4,078 SF
9,132 SF

LEVEL 2
2 BEDROOM A (920 SF X 5)= 4,600 SF
2 BEDROOM B (806 SF X 1)= 806 SF
1 BEDROOM A (688 SF X 2)= 1,376 SF
1 BEDROOM B (621 SF X 1)= 621 SF
MEP/CIRCULATION= 1,254 SF
8,657 SF

LEVEL 3
2 BEDROOM A (920 SF X 5)= 4,600 SF
2 BEDROOM B (806 SF X 1)= 806 SF
1 BEDROOM A (688 SF X 2)= 1,376 SF
1 BEDROOM B (621 SF X 1)= 621 SF
MEP/CIRCULATION= 1,216 SF
8,619 SF

TOTAL (GROSS)= 26,408 SF

DRAWING INDEX

GENERAL
G0.00 COVER SHEET

CIVIL
C-0.1 TITLE SHEET
C-1.1 EXISTING CONDITIONS SHEET
C-2.1 PRELIMINARY GRADING AND DRAINAGE PLAN
C-2.2 PRELIMINARY GRADING AND DRAINAGE PLAN
C-3.1 PRELIMINARY UTILITY PLAN

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AS5.10- SITE DETAILS
AS5.11- SITE DETAILS
A1.00- FLOOR PLANS
A2.10- EXTERIOR ELEVATIONS

PROJECT INFORMATION

DESCRIPTION:
NEW CONSTRUCTION, 24 UNITS WITH A MIX OF ONE AND TWO BEDROOMS. SITE AMMENITIES INCLUDE A PLAY STRUCTURE AND COVERED PAVILION. SEE G1.10 FOR CODE PLAN.

OCCUPANCY TYPE:
R-2

CONSTRUCTION TYPE:
V-B

LEGAL DESCRIPTION:
PENDING PARTITION APPLICATION

ZONING:
Z-MU (RESIDENTIAL USE- SAME AS Z-RM)

LOT SIZE:
1.39 ACRES
MAX LOT COVERAGE: 60%

PARKING:
ACCESSIBLE:
REQUIRED: 2 PROVIDED: 2
STANDARD:
REQUIRED: 45 PROVIDED: 45
TOTAL:
REQUIRED: 47 PROVIDED: 47

SETBACKS:
FRONT: 15'
SIDE: 5'
CORNER: 10'/15'
REAR: 20'



SIGHT LINE VIEW TAKEN FROM CORNER OF WELLDWOOD DRIVE AND CASCADE DRIVE
(HVAC UNITS ON NEW BUILDING ROOFTOP NOT VISIBLE FROM RIGHT-OF-WAY)

APPROVED FOR	DATE	BY
LAND USE	2020/04/24	MR

REV	DESCRIPTION	DATE

PROJECT NO: 1840.CPA
DRAWN BY: YM
CHECKED BY: MR
© PINNACLE ARCHITECTURE, INC. 2018 ORIGINAL SHEET SIZE: 30"x42"

COVER

GO.00

COLONIA PAZ 1

LAND USE SITE IMPROVEMENT PLAN

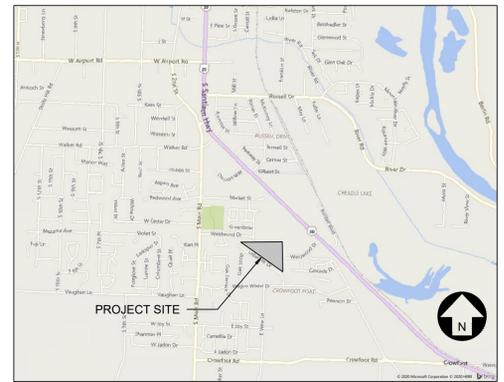
TAX LOT 1701

LEBANON, OR 97355

LEGEND

SD	STORM DRAINAGE
W	WATER SERVICE
G	GAS
S	SANITARY SEWER
E	POWER ELECTRICAL
	DITCH / FLOWLINE
	GRADING LIMIT
	GRADE SLOPE
	PROPERTY LINE
	CENTERLINE
	SAWCUT

VICINITY MAP



SURVEY NOTES

EXISTING TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON PER SURVEY BY UDELL ENGINEERING AND LAND SURVEYING, LLC DATED JUNE 12, 2013.

BOUNDARY DATA: (FROM SURVEY)

BASIS OF BEARINGS: (POINTS OR CCS)

BENCHMARK: THE VERTICAL BENCHMARK USED FOR ESTABLISHING ELEVATIONS WAS LINN CO. GPS CONTROL POINT NO. 2000-1, LOCATED IN S. MAIN RD. APPROXIMATELY 400' NORTH OF WELWOOD. A CONVERSION FACTOR OF +3.36' WAS USED, PER NGS VERTCON, TO CONVERT THE NGVD29 PUBLISHED ELEVATION TO NAVD88

SURVEY MONUMENT PROTECTION:

PROTECT AND PRESERVE, IN PLACE, ALL SURVEY MONUMENTS AND BENCHMARKS. DO NOT DISTURB, MOVE, OR RELOCATE MONUMENTS OR BENCHMARKS WITHOUT THE PRIOR REVIEW AND APPROVAL BY THE AGENCY HAVING JURISDICTION OVER THE MONUMENT OR BENCHMARK. THE CONTRACTOR SHALL CONTRACT WITH A LICENSED SURVEYOR FOR MONUMENTS REQUIRING DISTURBANCE OR REMOVAL, AND THE SURVEYOR SHALL RESET THE MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE AUTHORITY HAVING JURISDICTION, PURSUANT TO ALL APPLICABLE BUSINESS AND PROFESSIONAL CODES.

UTILITY PURVEYORS

ELECTRICITY: PACIFIC POWER
830 OLD SALEM RD NE
ALBANY, OR 97321
541-730-7486

TV/TELEPHONE/INTERNET: CENTURYLINK
955 SE JAKSON ST
ALBANY, OR 97322
541-581-1614

SEWER/WATER: CITY OF LEBANON UTILITY DEPARTMENT
925 S MAIN STREET
LEBANON, OR 97355
541-258-4913

NATURAL GAS: NW NATURAL
3087 BROADWAY ST NE
SALEM, OR 97303
503-226-4211

STANDARD ABBREVIATIONS

AC	ASPHALTIC CONCRETE	IE	INVERT ELEVATION
BLDG	BUILDING	INV	INVERT
BCR	BEGIN CURB RETURN	LA	LANDSCAPE AREA
BVC	BEGIN VERTICAL CURVE	NG	NATURAL GRADE
BW	BOTTOM OF WALL	PA	PLANTER AREA
CB	CATCH BASIN	PCC	PORTLAND CEMENT CONCRETE
C/L	CENTERLINE	P/L	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	POC	POINT OF CONNECTION
CONC	CONCRETE	PS	PARKING STRIPE
DW	DRIVEWAY	PVC	POLYVINYL CHLORIDE
ECR	END CURB RETURN	RW	RIGHT OF WAY
EG	EXISTING GRADE	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SG	SUB-GRADE ELEVATION
EVC	END VERTICAL CURVE	SS	SANITARY SEWER
FF	FINISHED FLOOR	TC	TOP OF CURB, CONCRETE
FG	FINISHED GRADE	TF	TOP OF FOOTING
FH	FIRE HYDRANT	TG	TOP OF GRATE
FL	FLOW LINE	TW	TOP OF WALL
FS	FINISHED SURFACE	VC	VERTICAL CURVE
GB	GRADE BREAK		

PROJECT INFORMATION

OWNER/DEVELOPER: FARMWORKER HOUSING DEVELOPMENT CORPORATION
1274 NORTH FIFTH STREET
SUITE 1-A
WOODBURN, OR 97071

ARCHITECT: PINNACLE ARCHITECTURE, INC.
960 SW DISK DR., SUITE 101
BEND, OREGON 97702

GEOTECHNICAL: CARLSON GEOTECHNICAL
4060 HUDSON AVENUE NE
SALEM, OREGON 97301

SURVEYOR: UDELL ENGINEERING AND LAND SURVEYING, LLC
63 EAST ASH STREET
LEBANON, OREGON 97355

APN: TAX LOT 1701

SITE AREA: 9.51 AC
AREA DISTURBED: 1.85 AC

TOTAL PROPOSED IMPERVIOUS AREA: 52556 SF

SHEET INDEX

SHEET	SHEET TITLE
C-0.1	TITLE SHEET
C-1.1	EXISTING CONDITIONS SHEET
C-2.1	PRELIMINARY GRADING AND DRAINAGE PLAN
C-2.2	PRELIMINARY GRADING AND DRAINAGE PLAN
C-3.1	PRELIMINARY UTILITY PLAN

Plan Prepared By:



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Engineer of Record:



COLONIA PAZ 1
TAX LOT 1701
LEBANON, OR 97355

Revisions:

1	
2	
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4	
5	

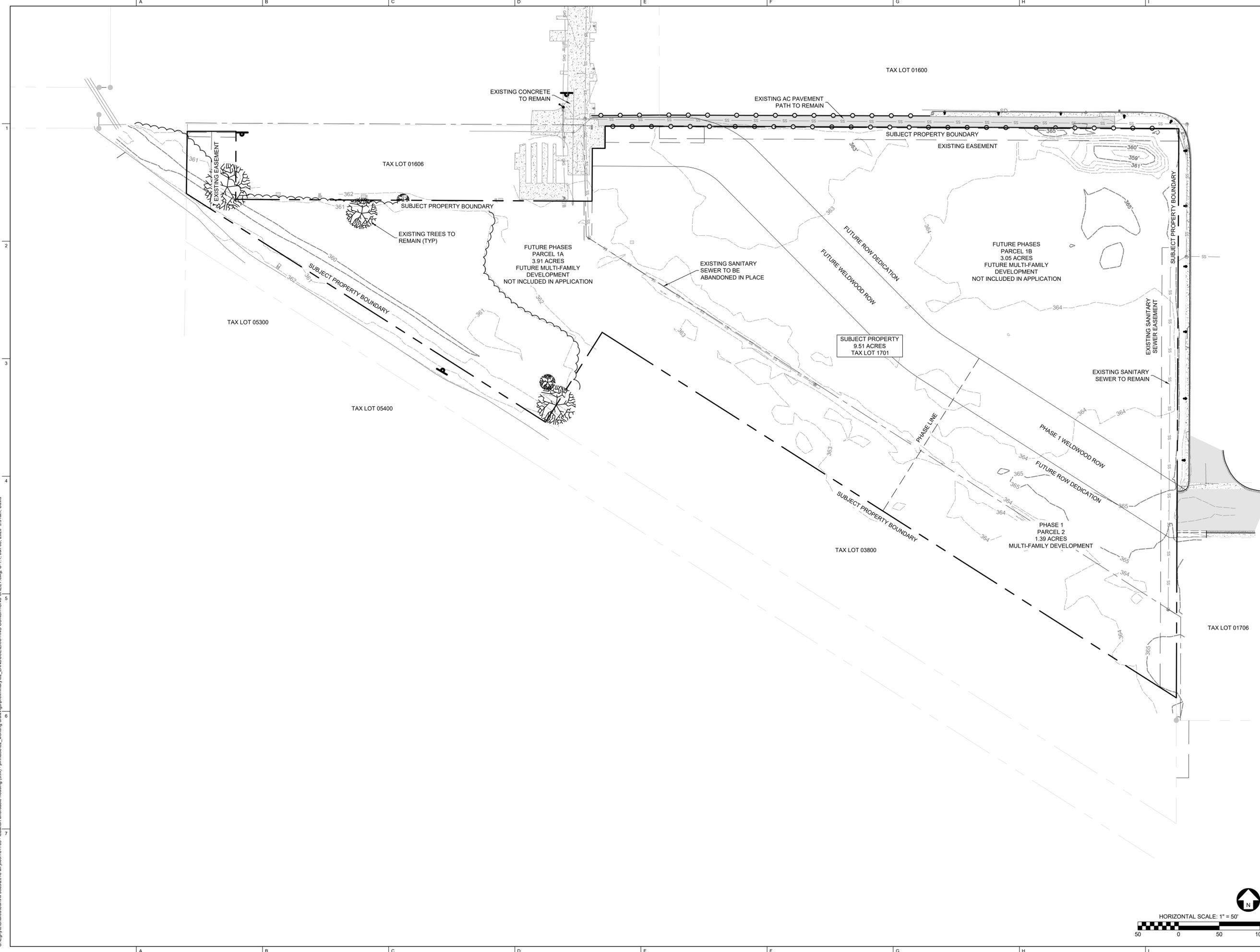
Project Engineer: EMD Ext: 141
Project Manager: JML
Date: 06.08.2020 Scale: PER PLAN
AV Job No: 181703 Sheet Size: 24" x 36"

TITLE SHEET

C-0.1

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Plan Prepared By:



Ashley & Vance
ENGINEERING, INC.
33 NW Franklin Ave. Suite 110
Bend, OR 97703
(541) 647-1445
www.ashleyvance.com

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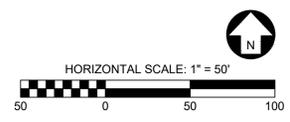
EXPIRES: 12/31/20

COLONIA PAZ 1
TAX LOT 1701
LEBANON, OR 97355

LAND USE SET - NOT FOR CONSTRUCTION

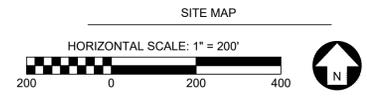
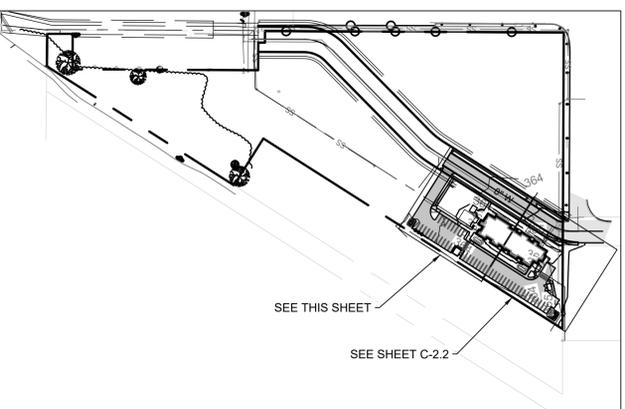
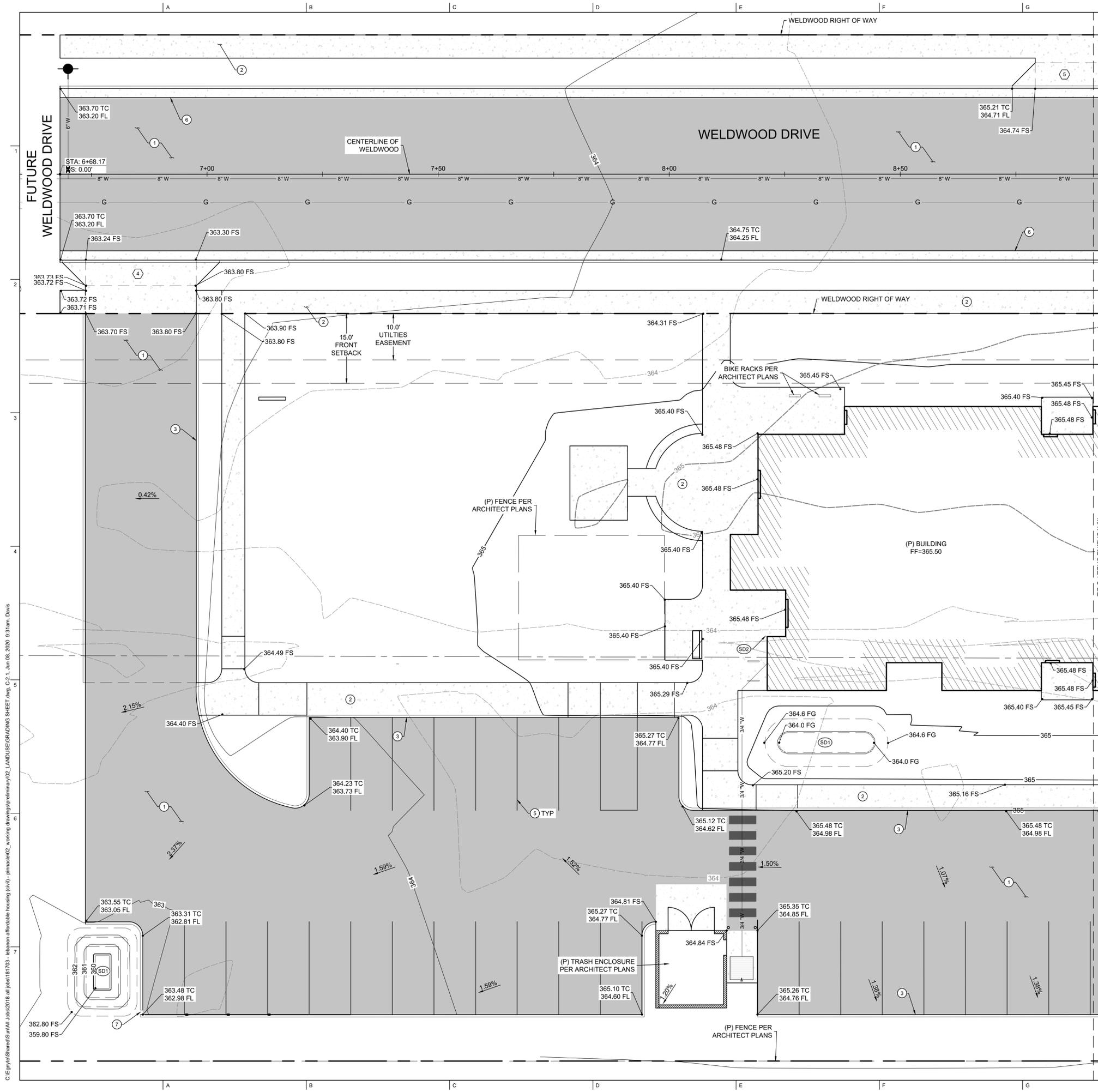
Revisions:		
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Project Engineer: EMD Ext: 141
Project Manager: JML
Date: 06.08.2020 Scale: PER PLAN
AV Job No: 181703 Sheet Size: 24" x 36"

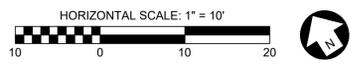


EXISTING
CONDITIONS SHEET

C-1.1



- GENERAL NOTES:**
- SEE DEMOLITION AND PROTECTION PLAN FOR ADDITIONAL INFORMATION.
- RIGHT OF WAY CONSTRUCTION NOTES:**
- ① CONSTRUCT CITY OF LEBANON LOCAL STREET SECTION PER CITY OF LEBANON STANDARDS
 - ② CONSTRUCT 6" CONCRETE CURB AND GUTTER PER CITY OF LEBANON STANDARDS
 - ③ CONSTRUCT 5.5' WIDE SIDEWALK PER CITY OF LEBANON STANDARDS
 - ④ CONSTRUCT 24' WIDE DRIVEWAY APPROACH PER CITY OF LEBANON DWG 00700-08.
- SITE CONSTRUCTION NOTES:**
- ① CONSTRUCT ASPHALT DRIVEWAY SECTION
 - ② CONSTRUCT CONCRETE WALKWAY SECTION
 - ③ CONSTRUCT 6-INCH CONCRETE CURB
 - ④ CONSTRUCT CONCRETE SITE WALL
 - ⑤ INSTALL PARKING STRIPING PER LEBANON CITY STANDARDS
 - ⑥ CONSTRUCT CONCRETE GUTTER AND 6-INCH CONCRETE CURB
 - ⑦ CONSTRUCT CURB CUT
- STORM DRAIN CONSTRUCTION NOTES:**
- SD1 CONSTRUCT STORMWATER RETENTION PER ARCH PLANS
 - SD2 SPLASH BLOCK FOR CANOPY DOWNSPOUT



Plan Prepared By:

Ashley & Vance
ENGINEERING, INC.

33 NW Franklin Ave. Suite 110
Bend, OR 97703
(541) 647-1445
www.ashleyvance.com

CIVIL • STRUCTURAL

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Engineer of Record:

EXPIRES: 12/31/20

COLONIA PAZ 1
TAX LOT 1701
LEBANON, OR 97355

Revisions:

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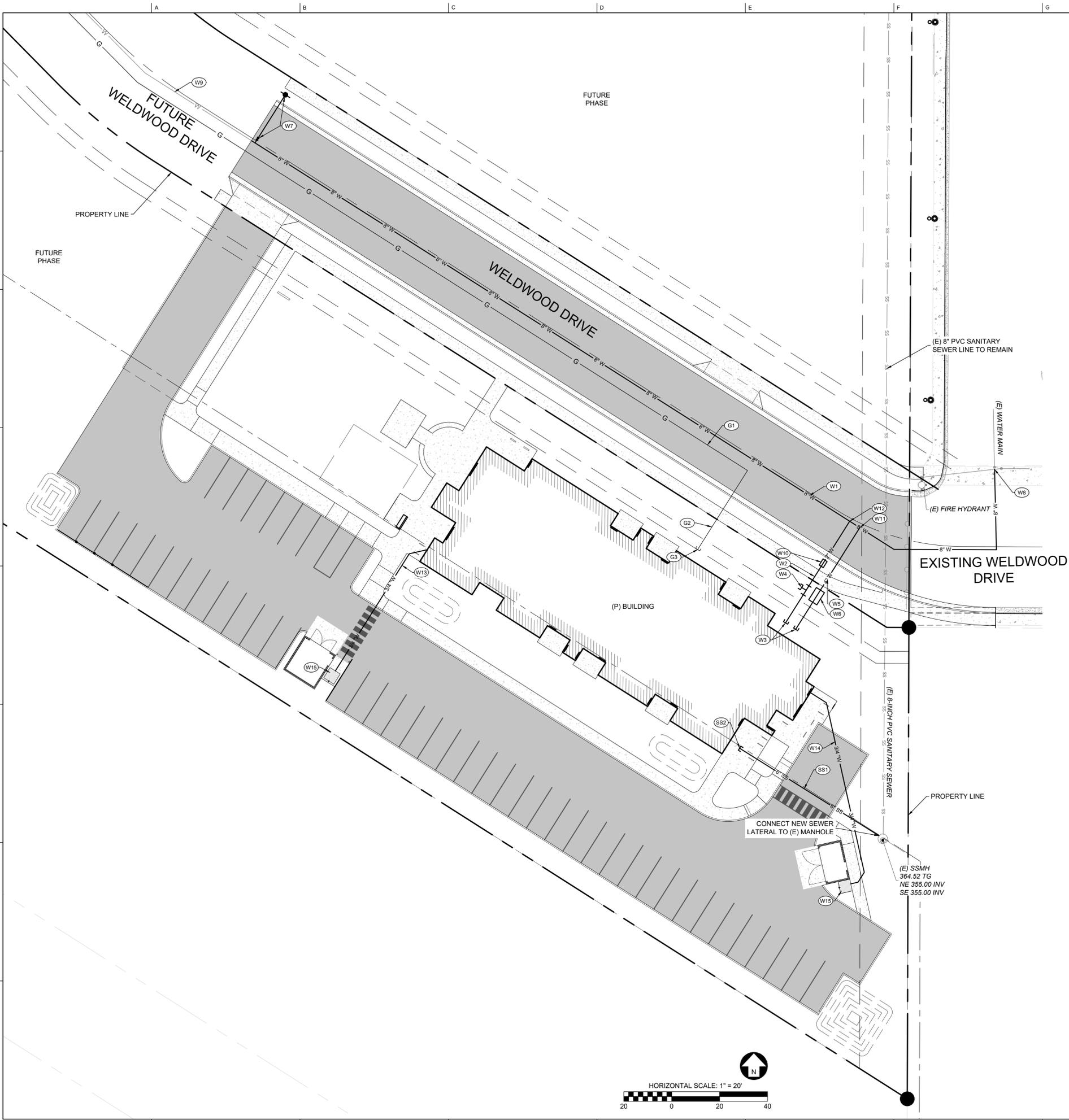
Project Engineer: EMD Ext: 141
Project Manager: JML
Date: 06.08.2020 Scale: PER PLAN
AV Job No: 181703 Sheet Size: 24" x 36"

PRELIMINARY
GRADING AND
DRAINAGE PLAN

C-2.1

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GENERAL NOTES:

ALL EXISTING UTILITIES SHOWN ARE BASED ON THE BEST KNOWLEDGE AVAILABLE. CONTRACTOR TO POTHOLE ALL POINTS OF CONNECTION AND VERIFY ALL CLEARANCES. MATERIAL DEPTH AND LOCATION SHALL BE IDENTIFIED BY CONTRACTOR. IF THERE ARE ANY DIFFERENCES FROM PLAN WITH ANY OF THESE ITEMS, ENGINEER OF WORK SHALL BE NOTIFIED IMMEDIATELY.

SANITARY SEWER CONSTRUCTION NOTES:

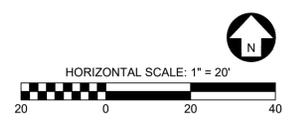
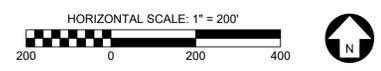
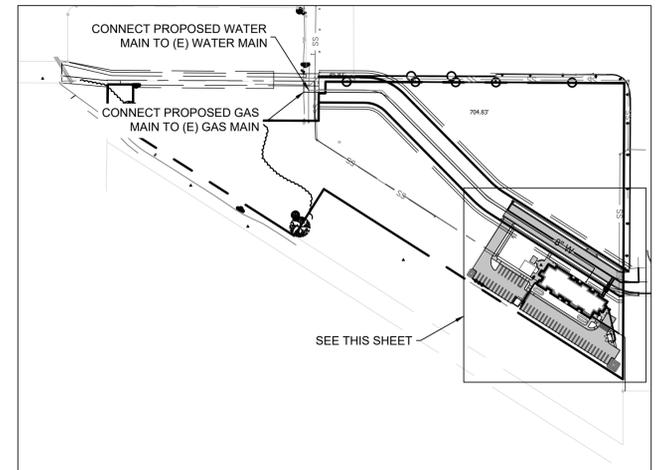
- (SS1) INSTALL SEWER LATERAL
- (SS2) SEWER CONNECTION AT BUILDING

GAS CONSTRUCTION NOTES:

- (G1) INSTALL GAS MAIN
- (G2) INSTALL GAS LATERAL
- (G3) GAS CONNECTION AT BUILDING

WATER CONSTRUCTION NOTES:

- (W1) INSTALL 8" WATER MAIN PER CITY OF LEBANON STD. DWG 01100-05.
- (W2) INSTALL 2" WATER LATERAL PER CITY OF LEBANON STANDARDS.
- (W3) WATER POINT OF CONNECTION AT PROPOSED BUILDING. SEE PLUMBING PLANS FOR DETAILS.
- (W4) INSTALL 2"x2"x1" TEE CONNECTION FOR LANDSCAPE IRRIGATION LINE.
- (W5) INSTALL 4" FIREWATER LATERAL PER CITY OF LEBANON STANDARDS.
- (W6) INSTALL FIREWATER DOUBLE CHECK VALVE FDC AND PIV PER CITY OF LEBANON STD. DWG 01100-10.
- (W7) INSTALL FIRE HYDRANT AND GATE VALVE PER CITY OF LEBANON STD. DWG 01100-13, 01100-14 AND 01100-06.
- (W8) CONNECT PROPOSED WATER MAIN TO EXISTING WATER MAIN PER CITY OF LEBANON STD. DWG 01100-05.
- (W9) FUTURE EXTENSION OF PROPOSED WATER MAIN.
- (W10) INSTALL 2" STANDARD WATER METER ASSEMBLY PER CITY OF LEBANON STD. DWG 01100-15.
- (W11) INSTALL 8"x8"x4" TAPPING SADDLE. HOT TAP PROPOSED 8" WATER MAIN WITH 4" FIREWATER LATERAL.
- (W12) INSTALL 8"x8"x2" TAPPING SADDLE. HOT TAP PROPOSED 8" WATER MAIN WITH 2" WATER SERVICE.
- (W13) INSTALL 3/4" PVC WATER LINE TO SHOE WASH STATION. SEE PLUMBING PLANS FOR BUILDING CONNECTION.
- (W14) INSTALL 3/4" PVC WATER LINE TO SHOE WASH STATION. SEE PLUMBING PLANS FOR BUILDING CONNECTION.
- (W15) INSTALL SHOE WASH STATION. SEE ARCHITECTURAL PLANS FOR DETAILS.





Ashley & Vance
ENGINEERING, INC.

33 NW Franklin Ave. Suite 110
Bend, OR 97703
(541) 647-1445
www.ashleyvance.com

CIVIL • STRUCTURAL

Plan Prepared By:

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Engineer of Record:



EXPIRES: 12/31/20

COLONIA PAZ 1
TAX LOT 1701
LEBANON, OR 97355

Revisions:

1	
2	
3	
4	
5	

Project Engineer: EMD Ext: 141
Project Manager: JML

Date: 06.08.2020 Scale: PER PLAN
AV Job No: 181703 Sheet Size: 24" x 36"

PRELIMINARY UTILIY PLAN

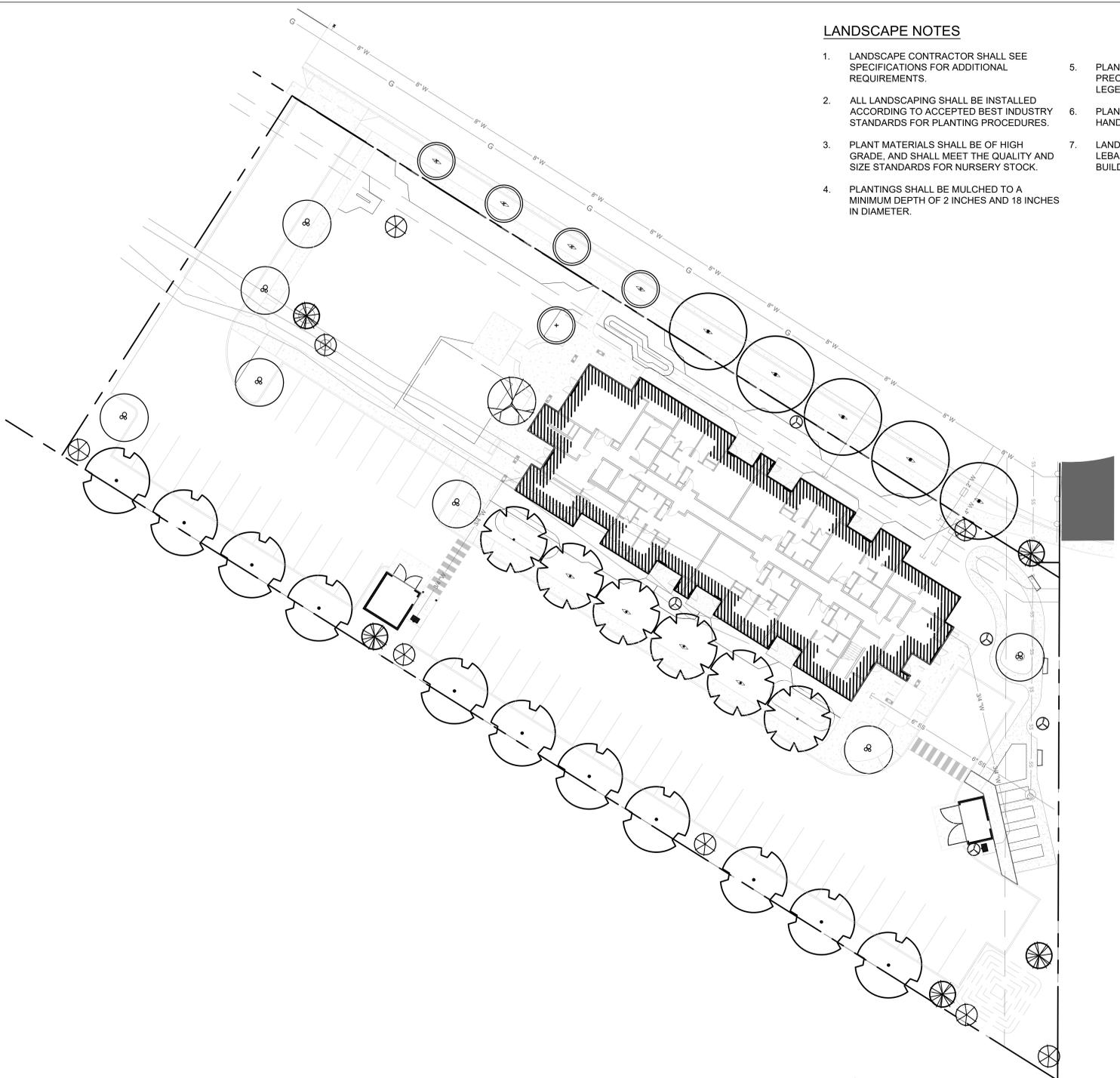
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LANDSCAPE NOTES

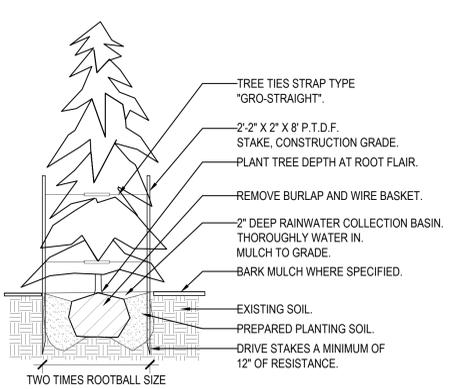
- LANDSCAPE CONTRACTOR SHALL SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO ACCEPTED BEST INDUSTRY STANDARDS FOR PLANTING PROCEDURES.
- PLANT MATERIALS SHALL BE OF HIGH GRADE, AND SHALL MEET THE QUALITY AND SIZE STANDARDS FOR NURSERY STOCK.
- PLANTINGS SHALL BE MULCHED TO A MINIMUM DEPTH OF 2 INCHES AND 18 INCHES IN DIAMETER.
- PLANT QUANTITIES SHOWN IN PLANS TAKE PRECEDENCE OVER QUANTITIES LISTED IN LEGEND.
- PLANTS INDICATED AS SPECIMEN ARE TO BE HAND SELECTED BY LANDSCAPE ARCHITECT.
- LANDSCAPE SHALL COMPLY WITH CITY OF LEBANON CODE CHAPTER 16 AT TIME OF BUILDING PERMIT.

TREE LEGEND

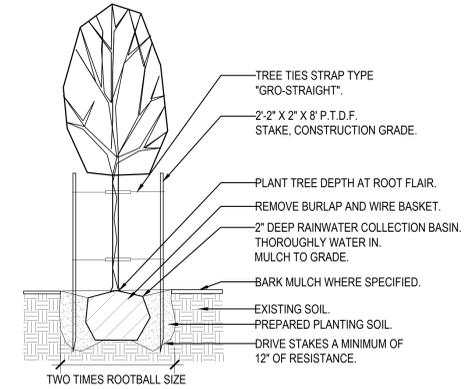
SYMBOL	NAME	QTY.	SIZE	TYPE
TREES				
⊙	GLEDITSIA TRIACANTHOS Skyline Honeylocust	11	2" CAL.	B&B
⊙	CERCIDIPHYLLUM JAPONICUM Katsura	7	8-10' HT.	3 TRUNK MIN.
⊙	CORNUS K. x NUTTALLI 'KM4-43' PP16293 Starlight Dogwood	1	2" CAL.	B&B
⊙	GINGKO BILOBA 'JFS-JGA2' Golden Colonade Ginkgo	6	2" CAL.	B&B
⊙	PSEUDOTSUGA MENZIESII Douglas Fir	5	10-12' HT.	B&B
⊙	QURECUS FRAINETTO 'SCHMIDT' Forest Green Oak	5	2" CAL.	B&B
⊙	QUERCUS RUBUR X ALBA 'JFS-KW1QX' Armstrong Gold Maple	5	2" CAL.	B&B
⊙	THUJA PLICATA Western Red Cedar	8	8-9' HT.	B&B
⊙	TSUGA MERTENSIANA Mountain Hemlock	5	6-7' HT.	B&B



1 TREE PLAN
SCALE: 1/20'



2 EVERGREEN TREE DETAIL
SCALE: 1/8\"/>



3 DECIDUOUS TREE DETAIL
SCALE: 1/8\"/>

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REGISTERED
2014
LAUREL A. MACDONALD
OREGON
LANDSCAPE ARCHITECT

COLONIA PAZ | AFFORDABLE HOUSING
CLIENT: FHDC
1274 5TH STREET, SUITE 1-A
WOODBURN, OR 97071
PROJECT ADDRESS: LEBANON, OREGON

APPROVED FOR	DATE	BY
DESIGN DEVELOPMENT	2020/04/14	xx
CONSTRUCTION DOCS.	2014/xx/xx	xx
BID/PERMIT	2020/06/08	xx

REV	DESCRIPTION	DATE

PROJECT NO.: 1840.CPA
DRAWN BY: SF
CHECKED BY: LM
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TREE PLAN



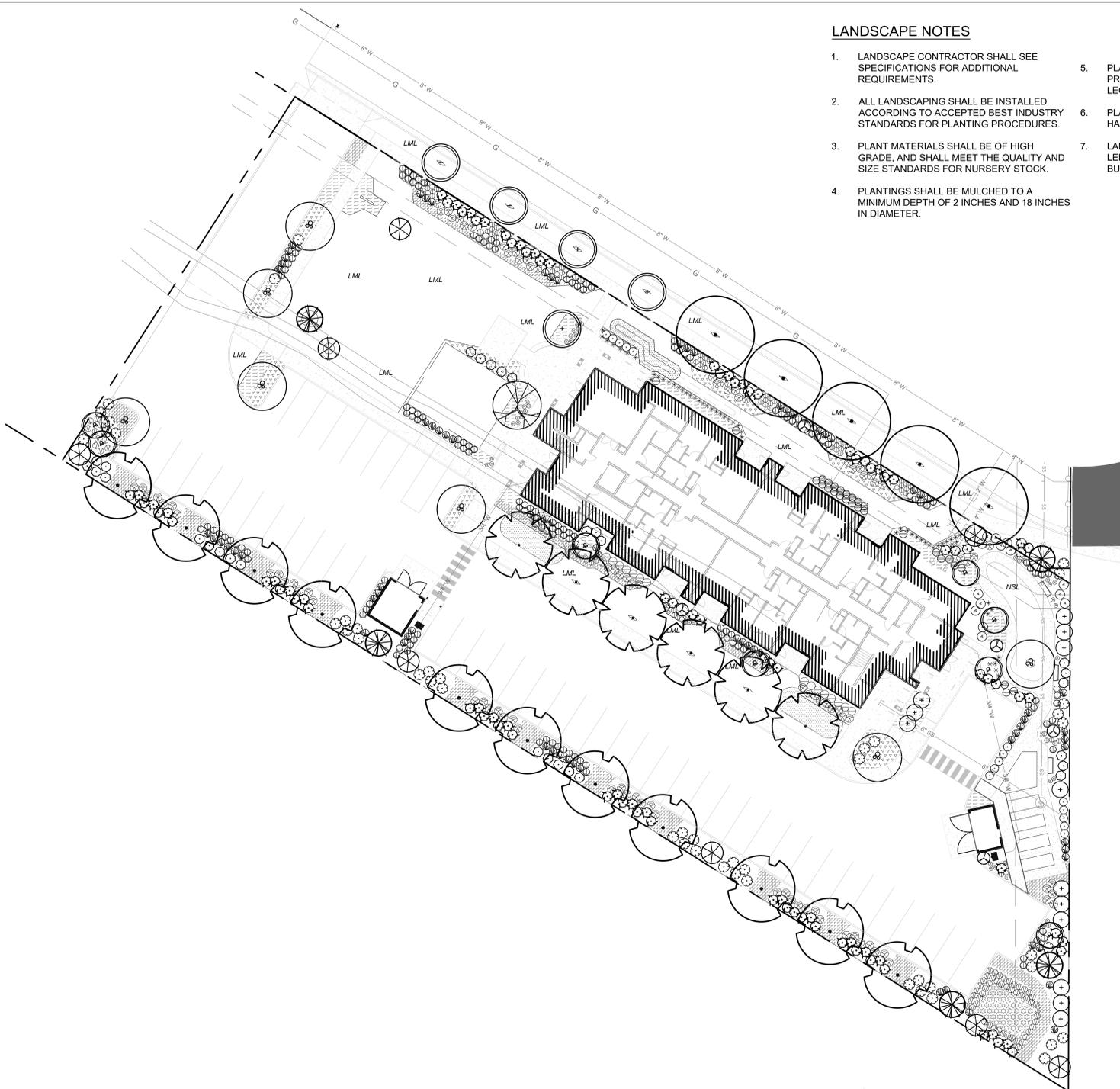
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LANDSCAPE NOTES

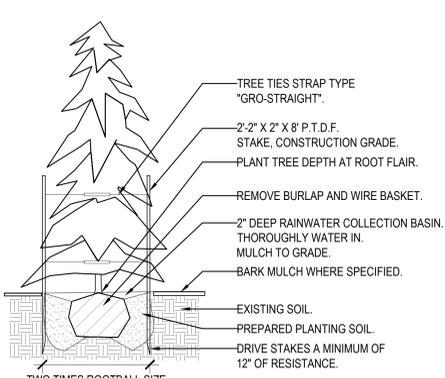
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PLANT LEGEND

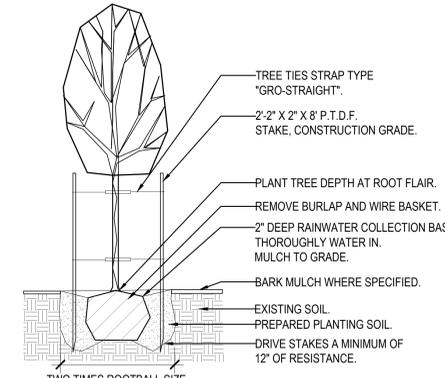
SYMBOL	NAME	QTY.	SIZE	TYPE
TREES				
(Symbol)	<i>GLEDITSIA TRIACANTHOS</i> Skyline Honeylocust	11	2" CAL.	B&B
(Symbol)	<i>CERCIDIPHYLLUM JAPONICUM</i> Katsura	7	8-10' HT.	3 TRUNK MIN.
(Symbol)	<i>CORNUS K. x NUTTALLI 'KN4-43' PP16293</i> Starlight Dogwood	1	2" CAL.	B&B
(Symbol)	<i>GINGKO BILOBA 'JFS-JGA2'</i> Golden Colonade Ginkgo	6	2" CAL.	B&B
(Symbol)	<i>PSEUDOTSUGA MENZIESII</i> Douglas Fir	5	10-12' HT.	B&B
(Symbol)	<i>QUERCUS FRAINETTO 'SCHMIDT'</i> Forest Green Oak	5	2" CAL.	B&B
(Symbol)	<i>QUERCUS RUBUR X ALBA 'JFS-KW1QX'</i> Armstrong Gold Maple	5	2" CAL.	B&B
(Symbol)	<i>THUJA PLICATA</i> Western Red Cedar	8	8-9' HT.	B&B
(Symbol)	<i>TSUGA MERTENSIANA</i> Mountain Hemlock	5	6-7' HT.	B&B
DECIDUOUS SHRUBS				
(Symbol)	<i>ACER CIRCINATUM</i> Vine Maple	8	7-8' HT.	3 TRUNK MIN.
(Symbol)	<i>BERBERIS THUNBERGII 'CRIMSON PIGMY'</i> Crimson Pigmy Barberry	81	3 GAL.	CONTAINER
(Symbol)	<i>CORNUS SERICEA 'KELSEY'</i> Kelsey Red Osier Dogwood	59	2 GAL.	CONTAINER
(Symbol)	<i>PHYSOCARPUS OPULIFOLIOLUS 'SEAWARD'</i> Summer Wine® Ninebark	48	5 GAL.	CONTAINER
(Symbol)	<i>RIBES S. 'KING EDWARD VII'</i> King Edward VII Flowering Currant	29	5 GAL.	CONTAINER
(Symbol)	<i>SPIRAEA x BUMALDA 'GOLDFLAME'</i> Goldflame Bumalda Spirea	95	3 GAL.	CONTAINER
EVERGREEN SHRUBS				
(Symbol)	<i>ARBUTUS UNEDO</i> Strawberry Bush	13	7 GAL.	CONTAINER
(Symbol)	<i>GAULTHERIA SHALLON</i> Salal	14	3 GAL.	CONTAINER
(Symbol)	<i>ILEX CRENATA 'CONVEXA'</i> Japanese Holly	15	15-18"	CONTAINER
(Symbol)	<i>LONICERA PILEATA</i> Privet Honeysuckle	15	2 GAL.	CONTAINER
(Symbol)	<i>MAHONIA AQUIFOLIUM</i> Tall Oregon Grape	96	5 GAL.	CONTAINER
GROUND COVERS, GRASSES, & FERNS				
(Symbol)	<i>ARCHTOSTAPHYLOS UVA URSI</i> Kinnikinnick	824	1 GAL.	18" O.C.
(Symbol)	<i>CALAMAGROSTIS A. 'KARL FOERSTER'</i> Karl Foerster's Feather Reed Grass	77	3 GAL.	AS SHOWN
(Symbol)	<i>CAREX MORROWII 'AUREA VARIEGATA'</i> Variegata Sedge	55	1 GAL.	CONTAINER
(Symbol)	<i>HELICTOTRICHON SEMPERVIRENS</i> Blue Oat Grass	147	1 GAL.	CONTAINER
(Symbol)	<i>HEMEROCALIS 'STELLA D ORRO'</i> Day Lilly	27	1 GAL.	CONTAINER
(Symbol)	<i>MAHONIA AQUIFOLIUM 'COMPACTA'</i> Compact Oregon Grape	496	2 GAL.	18" O.C.
(Symbol)	<i>POLYSTICHUM MUNITUM</i> Western Sword Fern	28	1 GAL.	CONTAINER
(Symbol)	<i>RUBUS CALYCINOIDES</i> Creeping Bramble	456	1 GAL.	18" O.C.
(Symbol)	<i>RUDBECKI FULGIDA 'SULLIVANTII'</i> Goldstrum	21	1 GAL.	CONTAINER
(Symbol)	NSL NATIVE SEED LAWN - 460 sf @ 8lb per 1,000sf "Northwest Supreme Lawn Mix" by Sunmark Seeds International or approved			
(Symbol)	STORMWATER SWALE GRASS SEED Per City of Lebanon Requirements		700sf	
(Symbol)	STORMWATER SWALE PLANT MIX CAMASSIA LEICHTLINII 32, CAREX STIPATA 32, JUNCUS TENUIS 32, SCRIPTUS AMERICANUS 33		1 GAL.	18" O.C.
(Symbol)	LML ROUGH & READY SEEDED TURF 8,046sf @ 5-7LB per 1000 S.F. PRO TIME - PT 769			



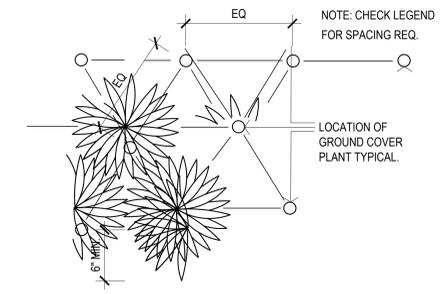
1 PLANTING PLAN
SCALE: 1/8"=1'-0"



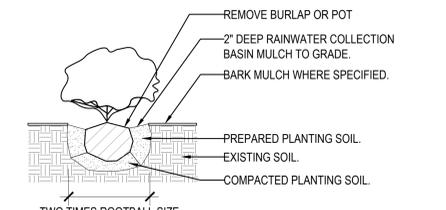
2 EVERGREEN TREE DETAIL
SCALE: 1/8"=1'-0"



3 DECIDUOUS TREE DETAIL
SCALE: 1/8"=1'-0"



4 GROUND COVER PLANTING DETAIL
SCALE: 1/8"=1'-0"



5 EVERGREEN TREE DETAIL
SCALE: 1/8"=1'-0"

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COLONIA PAZ | AFFORDABLE HOUSING
CLIENT: FHDC
1274 5TH STREET, SUITE 1-A
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PROJECT ADDRESS: LEBANON, OREGON

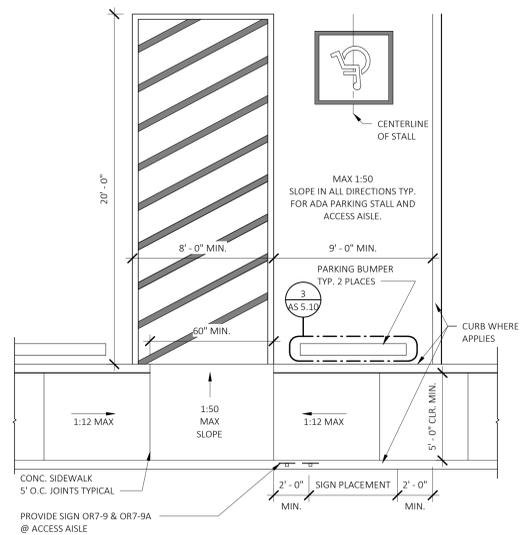
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DESIGN DEVELOPMENT	2020/04/14	xx
CONSTRUCTION DOCS.	2021/xx/xx	xx
BID/PERMIT	2020/06/08	xx

REV	DESCRIPTION	DATE
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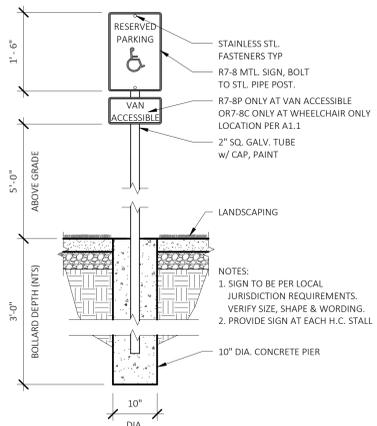
PROJECT NO.: 1840.CPA
DRAWN BY: SF
CHECKED BY: LM
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PLANTING PLAN

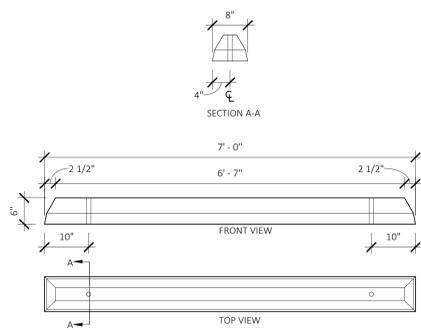
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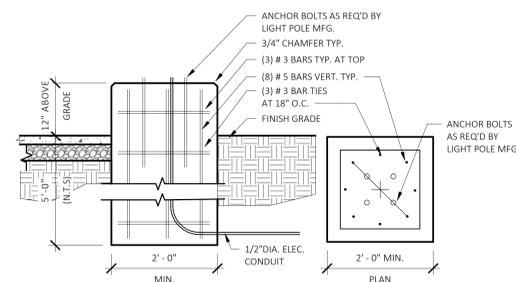
1 TYPICAL H/C PARKING PLAN
1/4" = 1'-0"



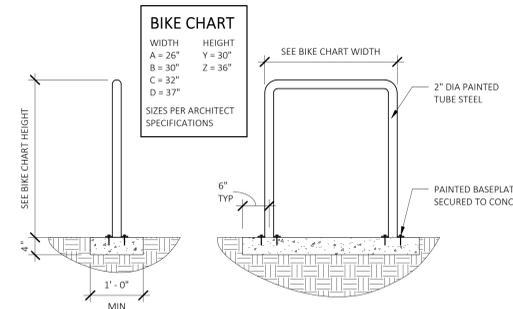
2 TYP PARKING SIGN
3/4" = 1'-0"



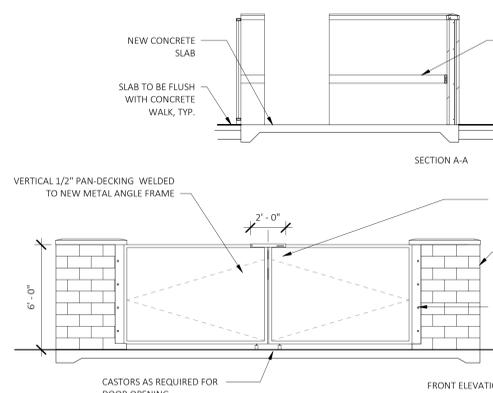
3 TYPICAL CONCRETE WHEEL STOP
3/4" = 1'-0"



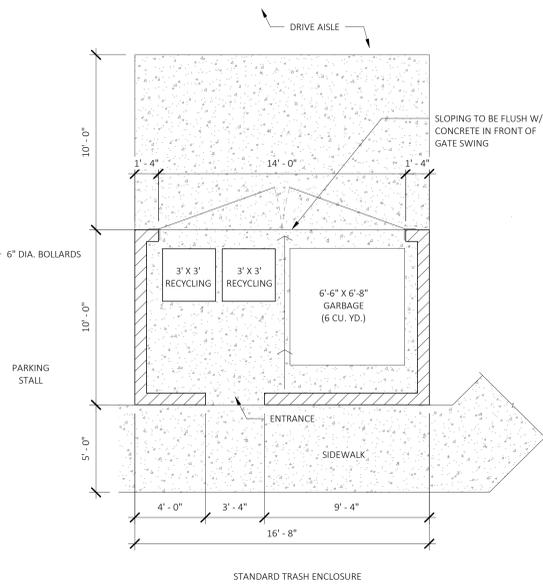
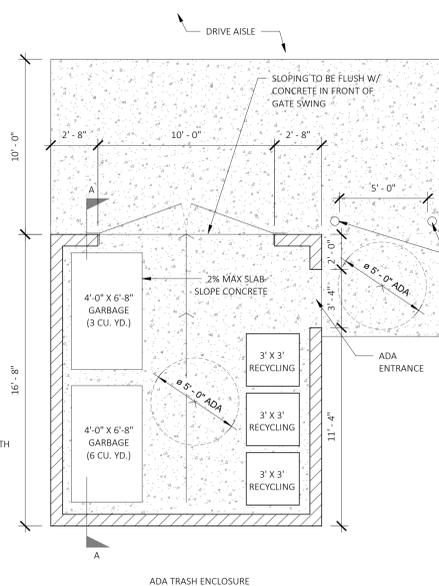
4 TYP LIGHT POLE BASE
3/4" = 1'-0"



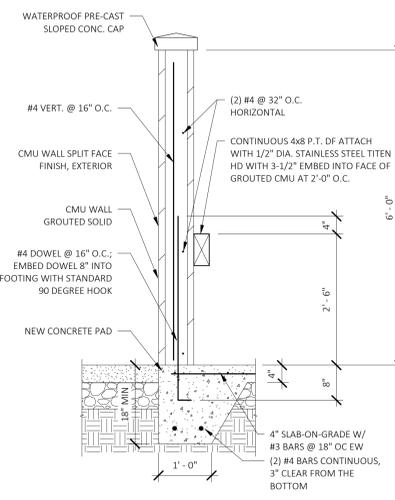
5 TYPICAL BIKE RACK
3/4" = 1'-0"



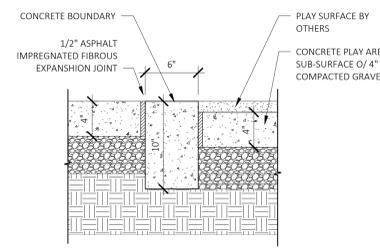
6 TYP TRASH ENCLOSURE
1/4" = 1'-0"



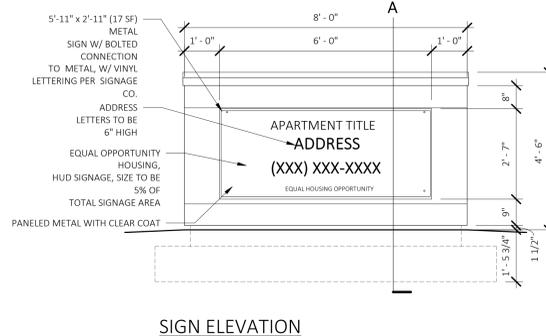
7 DTL TRASH ENCLOSURE
3/4" = 1'-0"



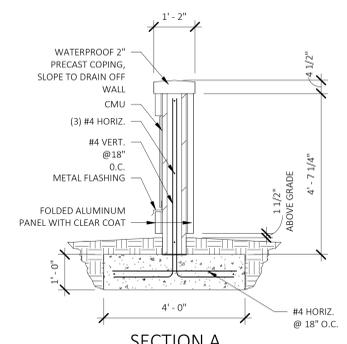
8 PLAY AREA BOUNDARY
1 1/2" = 1'-0"



9 RAISED CEDAR VEGETABLE PLANTERS
1" = 1'-0"



10 MONUMENT SIGN
1/2" = 1'-0"



COLONIA PAZ 1 - AFFORDABLE HOUSING

CLIENT:
FARMWORKER HOUSING DEVELOPMENT
CORP.

PROJECT ADDRESS:
LEBANON, OREGON

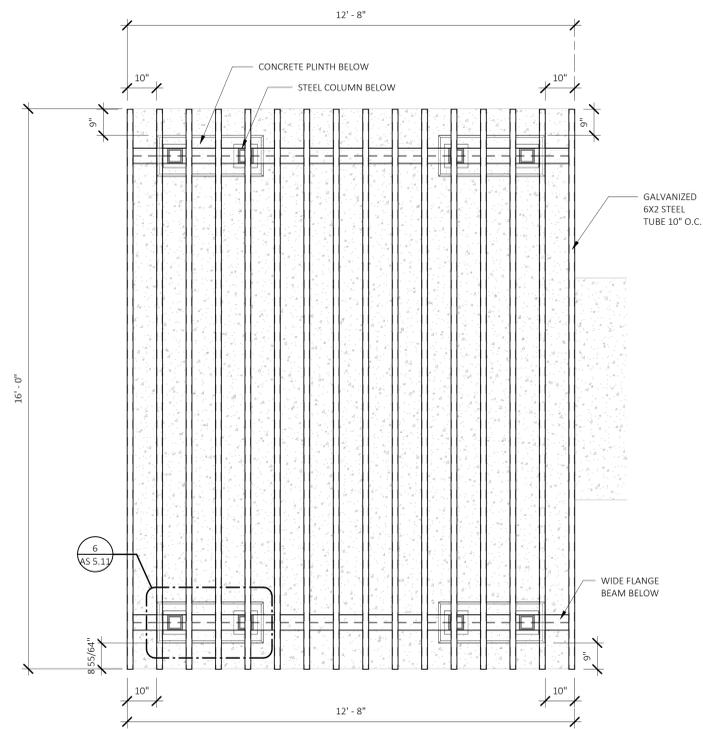
APPROVED FOR	DATE	BY
DESIGN DEVELOPMENT	2020/04/14	MR
BID/PERMIT	2020/06/12	MR

REV	DESCRIPTION	DATE
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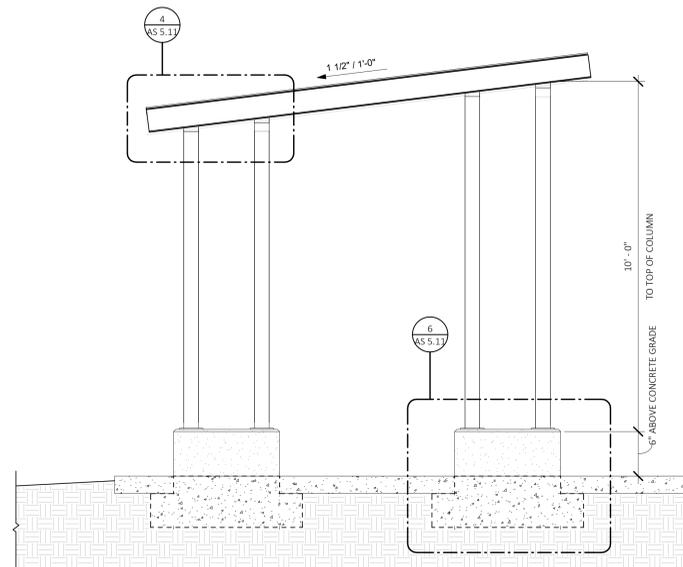
PROJECT NO: 1840.CPA
DRAWN BY: JAMES DANIEL
CHECKED BY: YUKO MINO
© PINNACLE ARCHITECTURE, INC. 2018 ORIGINAL SHEET SIZE: 30"X42"

SITE DETAILS

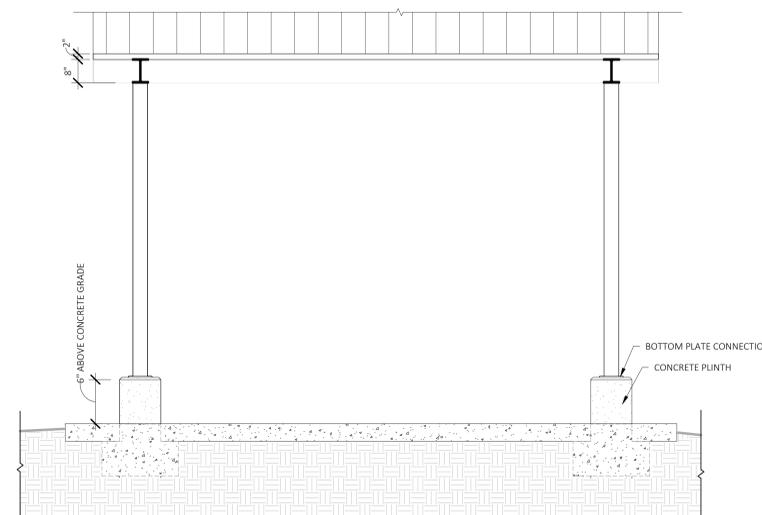
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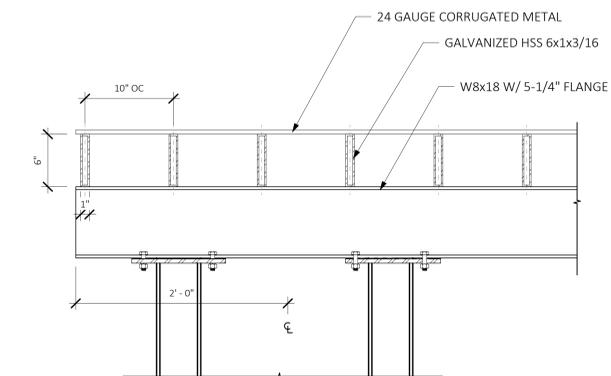
1 ENLARGE GAZEBO FLOOR/ ROOF PLAN
1/2" = 1'-0"



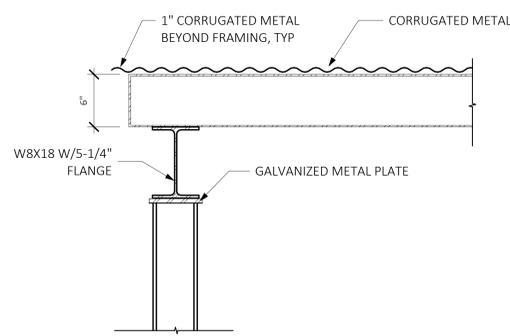
2 GAZEBO ELEVATION A
1/2" = 1'-0"



3 GAZEBO ELEVATION B
1/2" = 1'-0"

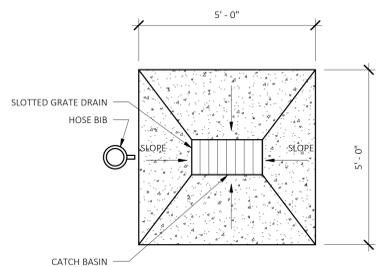


ELEVATION

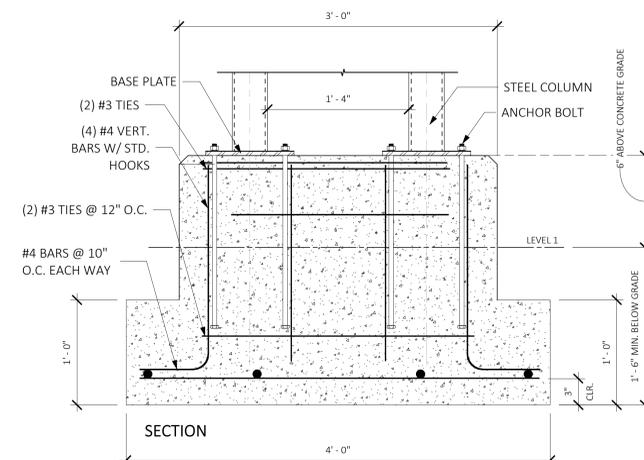


SECTION

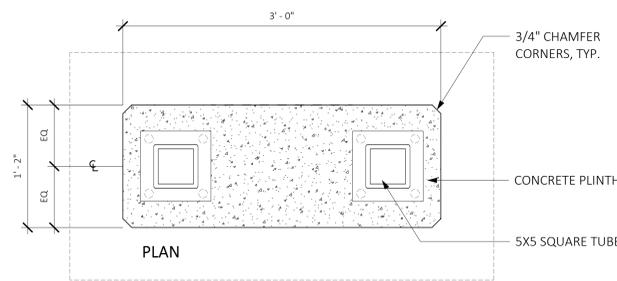
4 GAZEBO COLUMN CONNECTION TO TOP
1 1/2" = 1'-0"



5 SHOE WASH DRAIN
1/2" = 1'-0"



6 DTL_DOUBLE COLUMN BASE
1 1/2" = 1'-0"



PLAN

COLONIA PAZ 1 - AFFORDABLE HOUSING

CLIENT:
FARMWORKER HOUSING DEVELOPMENT
CORP.

PROJECT ADDRESS:
LEBANON, OREGON

APPROVED FOR	DATE	BY
DESIGN DEVELOPMENT	2020/04/14	MR
BID/PERMIT	2020/06/12	MR

REV	DESCRIPTION	DATE
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CHECKED BY:	YUKO MINO
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SITE DETAILS

AS 5.11

COLONIA PAZ 1 - AFFORDABLE HOUSING

CLIENT:
FARMWORKER HOUSING DEVELOPMENT
CORP.

PROJECT ADDRESS:
LEBANON, OREGON

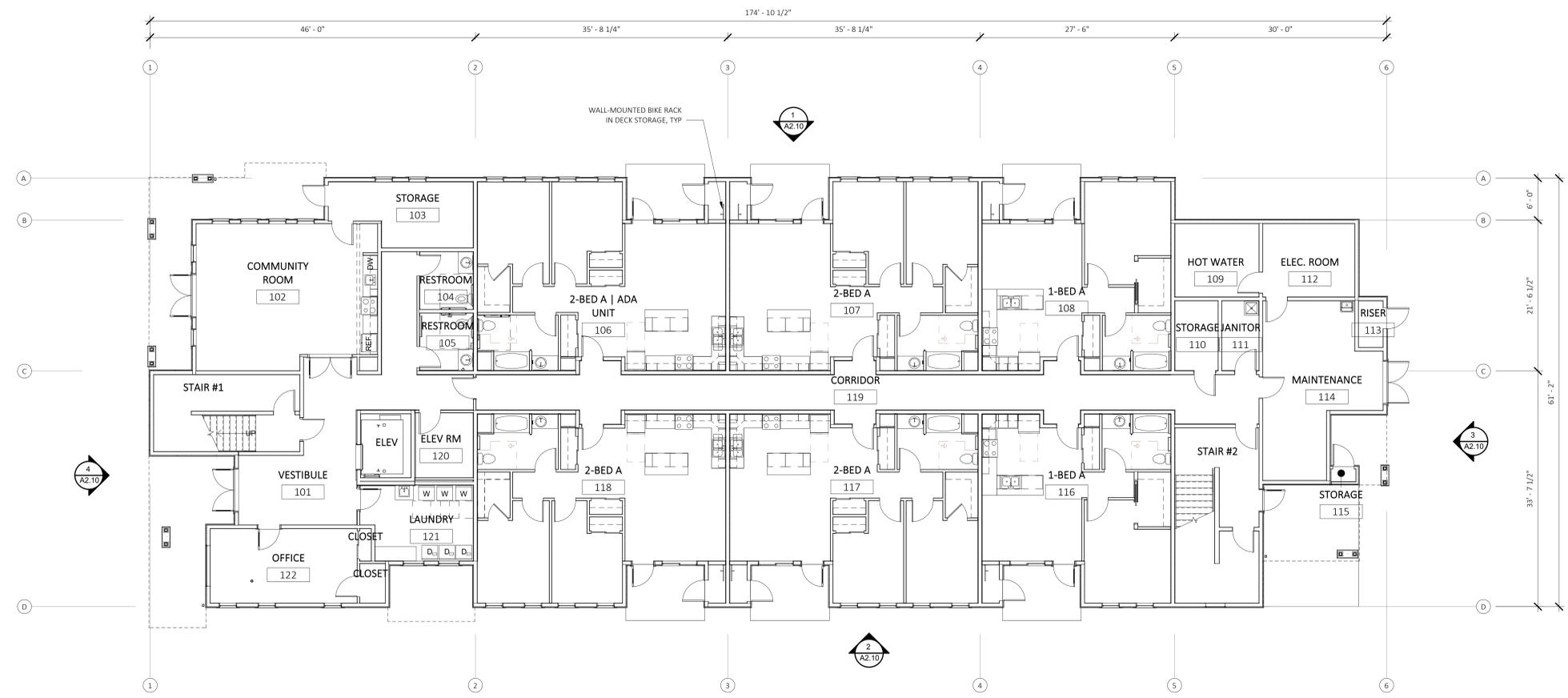
APPROVED FOR	DATE	BY
DESIGN DEVELOPMENT	2020/04/14	MR
BID/PERMIT	2020/06/12	MR

REV	DESCRIPTION	DATE
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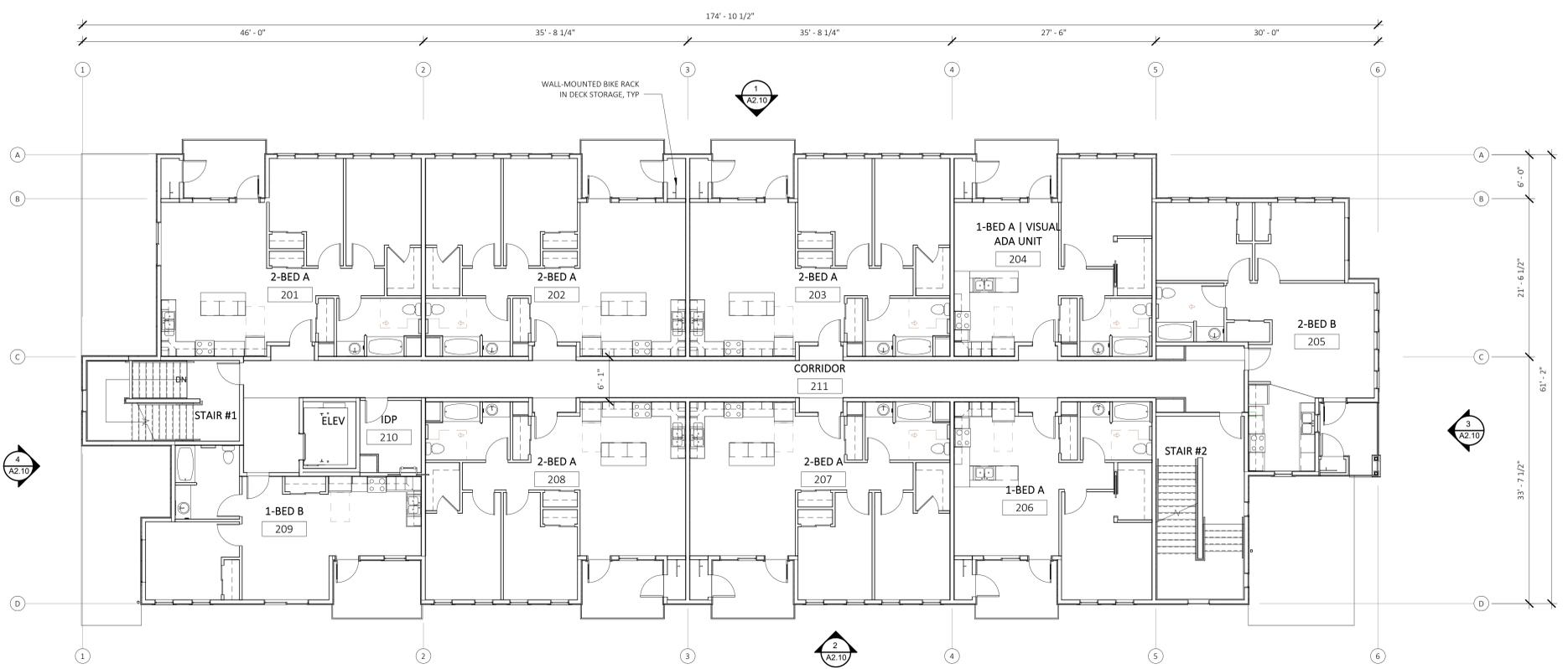
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DRAWN BY: YM
CHECKED BY: MR
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FLOOR PLANS

A1.00



1 1ST LEVEL
1/8" = 1'-0"



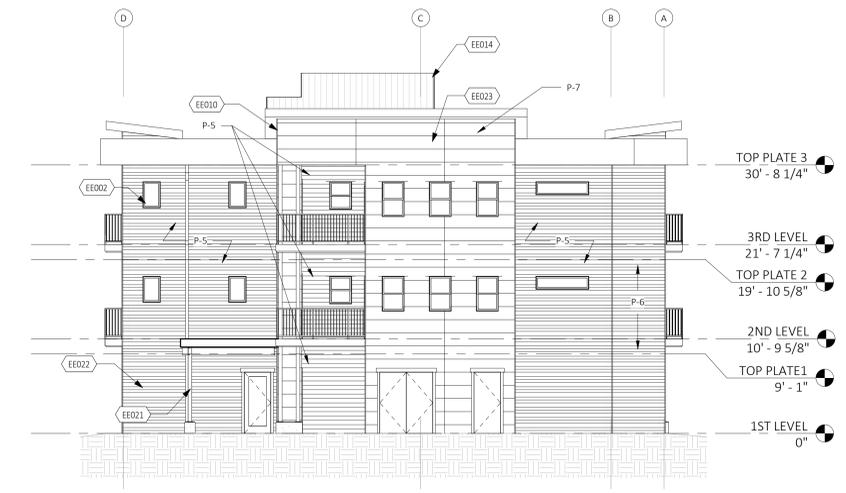
2 2ND LEVEL (3RD LEVEL - SIM)
1/8" = 1'-0"



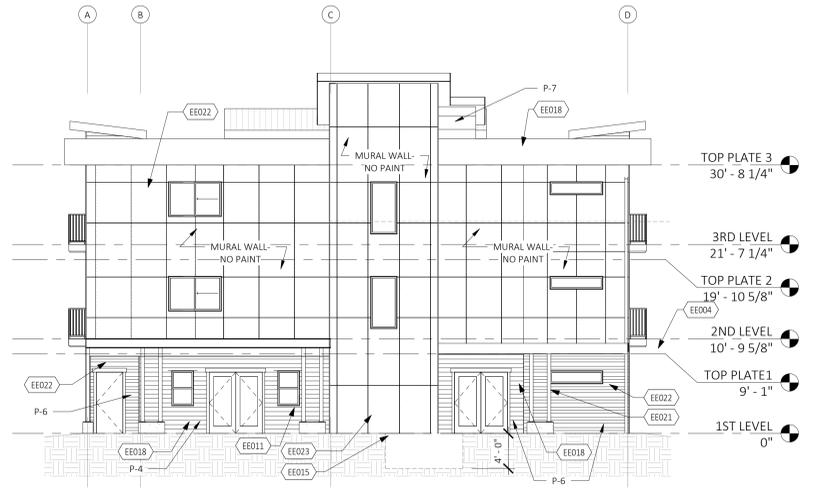
1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

GENERAL ELEVATION NOTES

- GRADE LINES ARE APPROXIMATELY ONLY. SEE GRADING PLANS FOR MORE INFORMATION.
- GC TO COORDINATE ALL EXTERIOR WALL MOUNT AND SOFFIT MOUNT EQUIPMENT TO ENSURE PROPER WEATHER TIGHT EXTERIOR ENCLOSURE.
- GC TO COORDINATE AND MAINTAIN CONTINUOUS FLASHING AND WEATHER TIGHT DETAILS WITH RESPECT TO OPENINGS AND SIDING.
- REFER TO MATERIAL LEGEND D9 0001 FOR FINISH COLORS.

ELEVATION LEGEND

- STANDING SEAM METAL ROOFING
- FIBER CEMENT LAP SIDING, PAINT PER ELEVATION
- FIBER CEMENT PANEL, P-7

ELEVATION KEYNOTES

- EE002 VINYL WINDOWS
- EE004 METAL OVER FIBER CEMENT FASCIA
- EE007 METAL RAILINGS
- EE010 METAL CORNER TRIM
- EE011 METAL TRIM, TYP.
- EE014 STANDING SEAM METAL ROOFING
- EE015 ELEVATOR PIT BEYOND
- EE018 VERTICAL T&G CEDAR SIDING
- EE021 STEEL COLUMN W/ CONCRETE BASE
- EE022 FIBER CEMENT LAP SIDING
- EE023 FIBER CEMENT PANEL SIDING
- EE024 METAL AND FIBER CEMENT FASCIA

P-4	Sherwin Williams	Agneable Gray SW 7029
P-5	Sherwin Williams	Temple Star SW 6222
P-6	Sherwin Williams	Flower Pot SW 6534
P-7	Sherwin Williams	Warm Stone SW 7032



960 SW DISK DR, SUITE 101
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COLONIA PAZ 1 - AFFORDABLE HOUSING

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PROJECT ADDRESS:
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DRAWN BY: JAMES DANIEL
CHECKED BY: YUKO MINO
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EXTERIOR ELEVATIONS

A2.10



Planning Application AR-20-05
Public Comment

June 5, 2020

City of Lebanon
Planning Commission

re: Weldwood drive development - AR-20-05 and VAR-20-02

Regarding the proposed development on Weldwood drive by Farmworker Housing Development Corporation.

A 24 unit complex at the proposed area will cause various issues. Below are reasons and concerns.

1 - Access - City Code 16.12 letter G

Driveways and alleys shall be placed as far away as an intersecting street.

The planned driveway entrance on the west side of the complex is right off of Weldwood drive and the intersection with the parking lot used the the Wal-Mart store. There is a plan apparently for Weldwood to be extended. This will create a traffic and safety issue at that intersection and other intersections in the immediate area. That area, along with the intersection of Weldwood and Cascade drive is already quite busy, and adding housing with those streets being the sole entry and exit will create even more traffic and safety issues.

2 - Access - City Code 16.12 letter I

Access points

The planned development only has one proposed access point. This is not enough ingress and egress for a 24 unit housing complex and needs to be addressed accordingly. Any additional required ingress or egress needs to NOT be on Lebanite Drive or Oak Lane as both of these roads are county roads, NOT city roads. No effort to incorporate either Lebanite Drive or Oak Lane into the City of Lebanon will be allowed by the residents of the area.

The planned development must also have a barrier of some sort between it and the residential area to the south which incorporates Oak Lane, Lebanite Drive and Wagon Wheel Drive. There is already quite a bit of transient foot traffic from Wal-Mart through that residential area, and an apartment complex with no pedestrian barrier will only increase the amount of foot traffic and trespassing on and through those residents lots. A barrier must be installed in order to keep unauthorized pedestrian traffic and trespassing to a minimum. Without it, foot traffic will only be invited with the addition of open pathways and easy access.

3 - Parking - City Code 16.14.070-1 use b

Vehicle parking spaces & Bicycle parking spaces

The planned development, according to the diagram provided only has 44 parking spaces. According to code, the required amount of parking spaces needed are 54 for motor vehicles, with an additional requirement of 12 spaces required for bicycles, motorcycles, etc. This development is 22 parking spaces short of the required amount. With this shortage of parking spaces, it will lead to parking on city streets such as Weldwood in front of the complex, on the portion of Weldwood behind the shopping center to the south, and also in the parking lot of Wal Mart. This parking problem will create driving hazards, and also require children to be on the road which is a hazard for them.

4 - Access to Wal Mart and surrounding stores

Concern for the residents of Weldwood drive to the west of the proposed development. With the opening of Weldwood, there will be a large increase of traffic through that area, which includes a park, a dog park, and an apartment community. By connecting the east portion and west portion of Weldwood, traffic in that area will increase to a level that is unsafe for pedestrians, children, and families. This unsafe situation will begin at Weldwood at its intersection with South Main Road and continue easterly to its intersection with Santiam Highway.

Regards,

Eric & Denette Harrison
780 Wagon Wheel DR
Lebanon, OR 97355
erich03@comcast.net

From:



Subject:

Public Comment for AR-20-05

Date:

Sunday, June 21, 2020 8:47:31 AM

Attachments:

[Neighborhood Letter - Final Draft 6-20-2020.docx](#)

[Neighborhood Signatures.pdf](#)

[Proposed Wall and Trees.pdf](#)

[Neighborhood Survey 2019.pdf](#)

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Public Planning Commission,

This letter of public comment has been created by the neighbors of Oak Loop, Wagon Wheel Drive, and Lebanite Drive. I have attached signatures of all the residents who contributed to the creation of this letter. I have attached a rough drawing of the proposed wall/trees referenced in the letter. I have attached a copy of a survey that was completed in 2019 that we would like the Planning Commission to reference. We would appreciate your careful consideration of the concerns raised in this letter, before moving forward with the approval of the proposed apartment complex adjoining our neighborhood. We are open to collaborative communication about this project prior to its approval. Please send confirmation that this letter has been received.

Respectfully,

The neighbors of Oak Loop, Wagon Wheel Drive, and Lebanite Drive

To: Lebanon Planning Commission

June 17, 2020

Subject: Development proposal for a 24-unit affordable apartment complex at the western terminus of Weldwood Drive (AR-20-05)

First phase of a 110-unit complex by completion of development

We are grateful for the opportunity to have open discussion during this planning process. We are open to continuing this conversation in hopes that we can minimize the impact of this development on our long existing neighborhood. We understand the Lebanon community has a need for low-income housing, but we want to make sure that we are moving forward in a thoughtful manner.

Public Comment:

1. While staff has recommended approval with adoption of conditions of development (Section V), we believe additional consideration should be given to the effect such a development will have on the adjoining single family dwelling neighborhood to the south including Lebanon Drive, Oak Loop, and Wagon Wheel Drive. Streets are used in this area for a considerable amount of pedestrian and bike traffic by residents and visitors from outside the neighborhood. Generally, the limited traffic and larger properties have provided a safe area for these activities. High density apartment buildings would likely use the route as a "short cut" through Wagon Wheel to go in/out of Lebanon. During the school year, many children use this area for access to/from school at Seven Oak Middle School and Sand Ridge Charter School. We believe the potential for additional vehicular traffic caused on Cascade Drive and Wagon Wheel Drive by this development will create an increased and dangerous hazard for walkers and bikers alike. Even without ingress and egress through the neighborhood, drivers will certainly use the Wagon Wheel to View Lane access to commute in the AM and PM periods for points south. Any additional traffic during morning and evening commute hours would be dangerous. We request the Traffic Impact Analysis (TIA) specifically investigate potential impact to this area. Without it, we do not think the development proposal should be approved. If the development is approved, there should be extensive attention to mitigating the impact of increased traffic in/through our neighborhood, such as adding speed bumps and speed limit signs through wagon wheel drive, possibly adding sidewalks, and/or a traffic signal at Cascade/Weldwood intersection.
2. With one access to Weldwood Drive per building, traffic will be greatly increased accessing Cascade Drive and Highway 20. The two intersections get overloaded with traffic currently and especially when school busses and parents are arriving/departing from the school. We would like serious consideration of these issues in advance of approval for this proposal. A traffic light at Weldwood Drive and Cascade Drive takes funding from surrounding developments but has yet to manifest.
3. We are concerned about the impact of developing three high density apartment buildings, drastically increasing population bordering an established, residential neighborhood of single-family homes. A high-density low-income housing unit is currently being constructed on South Main and is yet to be occupied. We will not be able to see the full impact of this development until it is occupied.
4. In our heart of hearts, we believe a 3-story apartment complex is ill suited for development on this land. We would much prefer a single-story commercial development, incorporating retail space as well as restaurant and office space. It would better serve the needs of the surrounding community and cause less negative impact on traffic flows in the area. If an apartment complex is approved at this location,

then limiting development to a two-story unit would be more optimal. Three story housing would have apartments with a view directly to homes on Lebanite Drive.

4. We request that code be strictly adhered to concerning the number of vehicular parking spaces (54) required by code without variance or reduction. Any on street parking should be discouraged. On street parking would create additional driving hazards. No parking on streets adjoining to the development should be posted and adhered to. Parking on narrow side streets will cause a safety issue for the many pedestrian residents and school children walking to/from school.

5. Lebanon School District already has a problem with overcrowding in classrooms. Building more high-density housing, without expanding are school structures, will be overtaxing schools that already have limited space. Although schools will receive additional funding for additional students, plans to expand school space prior to adding additional high-density housing would be a more responsible plan of development for our education system. Between 2009 and 2015, roughly 450 apartments were constructed in Lebanon, not including the veteran's home, without any expansion of school space. During this same time 115 single family homes were built. There have been many apartment complexes and single family homes added in Lebanon since 2015 including, but not limited to, complexes developed on South 2nd Street, Reeves Parkway, 5th/Rose, Oak Street, and Russell Street with many multi-family and single-family homes also added during this time. These have all been added without expanding school space. If we wait to develop school space until after housing is developed, by the time schools are built to accommodate the increase in population, those new schools will already be overcrowded.

6. Adjoining property to the south has an identified creek and has been designated as wetlands. We are concerned about the land that will be used for this project and that the water from the proposed site, that now feeds into ground water, would be diverted/caught, and fed into the city water system. This could negatively impact the neighboring wetlands. All the homes in our neighborhood are on well water, and we are concerned about how this development might affect the water table and well water systems. Any effect this development may have on this area should be identified and mitigated prior to project being approved.

7. Residents of Oak Loop, Lebanite Drive, and Wagon Wheel Drive have moved here because of the area, the trees, the quiet family friendly neighborhood. There must be a consideration about livability, and a three-story building, that is nearly 40 ft tall, speaks to the livability that will be greatly impacted in our neighborhood. Myrtue, Edwards and George families have all lived in this neighborhood for over 35 years. On Lebanite Drive/Oak Loop there are 13 homes that have sides that face south, and 9 homes are retirees. This is a safe and peaceful community.

8. If the development is approved, we would prefer to see a solid wall or barrier, along the lines of the noise barrier construction you see along freeways, to discourage pedestrian traffic to/from and through the property to the south. We would prefer something that is permanent and requires less upkeep such as a wall (ideally 10-20 ft), rather than a fence. A wall would prevent sound and foot traffic and transient population from crossing to/from and through this proposed development onto adjoining property of Lebanite Drive residents. We neighbors have experienced difficulties with unwelcome outside visitors to the wooded area off Lebanite Drive. It has sheltered unauthorized campers and homeless individuals and provided cover for alcohol and drug use, fights, inappropriate behavior, and theft, and hiding of stolen items. These activities have left great quantities of garbage. Wal-Mart

shoppers frequently travel through the area which adds considerable foot traffic. We have noticed that the more clearing of this property, the more encouraged pedestrians are to walk through this private property. Current foot traffic across private property is already an issue from the proposed site. Littering, loitering, theft, and vandalism complaints could increase on adjoining property without mitigation. If a wall were constructed, we would ask that mature trees to be planted on the south side of the wall at regular increments to beautify the wall. The trees should be maintained by the developer. A wall would also help to mitigate noise and light pollution related to increased traffic, increase parking lot noise, and lighting related to complex. A wall would provide security to both our neighborhood and to the proposed complex.

10. With the number of incoming folks with this development, there may be some difficulties and we would strongly suggest that the city put forth a liaison officer to help address any challenges that might arise such as parking, noise, and other disturbances. We would like to build positive relationships with any future neighbors.

11. We are concerned that there has been little to no effort by the developers to discuss this project with impacted neighborhoods. We are extremely interested in seeing the full design plan for the entire 3-building project, rather than focusing solely on the first 24-unit building. It is difficult to understand the full scope of this development if information is limited to the first building. The only communication between parties has been notification of the Planning Commission meeting or communication initiated by neighbor inquiries. We are happy to meet with developers and open to collaborative communication about this project. Here is contact information of some of the impacted neighbors to the south of this project.

1. Ken & Nancy May: 680 Wagon Wheel Drive Kenamay77@yahoo.com, NancyMay1963@yahoo.com, Ken- 541-990-8938

2. Duane & Pam Mattson: 745 Lebanite Drive me@centurytel.net 541-990-5871, pgillett@Centurytel.net 541-990-5875

3. Paul & Karrie Thomsen: 755 Lebanite Drive 541-619-8363 Dumpkinsd@yahoo.com 4. Rick & Deb George: 805 Lebanite Drive rdgeorges11@comcast.net Rick-541-9746478, Deb-541-248-0414

5. Heather & Jordan Balzomo: 825 Lebanite Drive heather_menlo@Hotmail.com, Heather- 650-834-3435, Jordan- 650-225-2075

6. Dan & Colleen Miller: 845 Lebanite Drive 503-391-1083 Kinz4maybe@yahoo.com

7. Ronn & Patty Passmore: 865 Lebanite Drive ronnpassmore@comcast.net 541-9900240, 541-570-5496

8. Ron & Penny Edwards: 875 Lebanite Drive 541-405-2244 oldnorwegian_ron@Comcast.net

9. Don & Lorna Myrtue: 120 Oak Lane 541-258-8360 lla10@hotmail.com

10. Dustin & Taiah Tippey, dustin.tippey@comcast.net, taiah.tippey@gmail.com, Dustin- 971-301-1322

The residents listed above are cocreators of this public comment letter. We appreciate your consideration of these concerns and how this project could impact our neighborhood.

Sincerely,

6/20/2020

The undersigned residents are cocreators of this public comment letter and in agreement with all statements therein:

Ronald J. + Patricia L. Rossman

Rick + Deb George

Deon + Pam Mattan

Don + Cheryl Miley

Dustin + Liana Tyler

Don + Lorna Myrtue

Ron + Penny Edwards

Paul + Kattie Thos

Colleen + Dan Miller

Ken + Charney May

Jordan Balzomo

Heather Balzomo

Method of survey:

This survey was conducted on Wagon Wheel Drive, Lebanite Drive and Oak Loop by Ronald Edwards and Dan Miller. The survey was conducted from August 14, 2019 to September 6, 2019, there are sixty seven homes in our neighborhood with four with no soliciting signs and six homes no body was home. We tried to contact every homeowner in our neighborhood but we did not get to several because they were not home at the time we were there. We tried to ensure that each homeowner was represented on this survey so we marked down everyone who was home, we made three attempts, at each home in this neighborhood. We surveyed the adults that lived in the homes. Some of the folks were renters. If multiple adults were available in a home, we questioned them as well.

We told our neighbors this was a survey for their input to be presented to the county commissioners to let the commissioners know what we are thinking. Our neighbors thought this was a good approach so everyone could have input even if they could not attend the meeting. By participating in the survey, they could still be a part of the process.

To summarize, this survey was done in our neighborhood by members of the neighborhood so everyone could have input in the future of our neighborhood. However, there were several that did not want to participate.

The implement of the survey was a questionnaire with five questions. However, the conductors of the survey permitted open ended responses. When we spoke to everyone while doing the survey there were no right or wrong answers, only expressed opinions. We were careful to mark down each answer and each person for the most part saw me mark down their answers.

Results of the survey: (See Wagon Wheel Drive Neighborhood Survey Results & original document that tallied the responses.)

It may be noted that there is a disparity in the total number of marks on each question. The totals ranging from 98 to 99. At times the discussion became engrossing and I inadvertently skipped over a question. This was done only a few times and does not change the overall trend in the responses.

Discussion of the survey (September 7, 2019):

We will start the discussion with questions one and two because we think there was some confusion about these questions and how they were answered. Everyone who answered **Yes** on question one, then said **No** on question two. As an example, one person said he wanted a shorter drive to work but did not want increased traffic.

The one thing that was consistent was that no one wanted increased traffic on Wagon Wheel Drive. The big concern was that Wagon Wheel Drive would become a race way if the barricade is removed at the end of Wagon Wheel Drive. There was concern for two main reasons. First, there would be an increase in traffic volume due to more development nearby. Second, there would be increased traffic due to a direct route, short cut, being available for Crowfoot Road and Highway 20. In fact with the development close to the Wagon Wheel neighborhood, we have already seen that traffic does increase and the traffic is getting faster and faster; not from the residents of the neighborhood but from those passing through it.

Presently people old and young alike use our area to walk, bicycle, play, and enjoy this neighborhood. They feel they will not be as safe with increased traffic flow from outside the neighborhood. This is a particular concern with new families moving in with young children in this neighborhood. Neighbors have told us that they moved here because this is a nice place, quiet, friendly and reasonably safe. That is to say the livability in this neighborhood is quite high and they want to keep it that way. The neighbors thought with anymore increases in traffic and speed they would feel less safe for their young families.

This survey does not reflect the elderly folks who live on fixed incomes. We think that any improvement in this neighborhood that is forced on us will cause undue hardship because some cannot cope with the cost. We think that it is now easy to see that any so called improvement should take into account the incredible burdens it will place on the residents here. Any changes that may be coming should at least consider the impact on this present neighborhood which has been here since my house was built in 1951 and others not long after. It is inevitable that progress will continue. With that said, however, it does not need to encroach on the folks living in this neighborhood who would like to maintain a safe and quiet neighborhood as it is now.

The most frequently heard comment we had during this survey is how much they like it here with their own wells and septic systems. It was a primary reason for moving to this neighborhood. The parents with young children enjoy the relative safety here.

Any new development should not be a negative impact for the people living in this neighborhood. We think that it is possible to have growth where the existing neighborhood and the new growth can be planned in such a manner that they complement

each other. There does not need to be anything planned that emphasizes one and tears down the other.

Many comments made were made about the speed of traffic in the neighborhood. As for the current increased speed of traffic on Wagon Wheel Drive, we think that can be addressed by speed limit signs on the top of the rise coming off Cascade Drive and after turning off View Lane, maybe even ones with the electronic flashing lights over twenty five miles per hour.

In conclusion, we had a good response to this survey. Everybody that heard what we were doing was enthusiastic and helpful and had ideas about making it better. The vast majority expressed that they like the livability of the neighborhood and with a few tweaks it can be made better without taking anything away from us. It is our hope that the county commissioners will consider the results of the Wagon Wheel Neighborhood Survey and undertake future growth plans with the expressed concerns of the residents of this long established neighborhood taken into account.

Copy

1. Would you like to see Wagon Wheel Drive connected to south main street?

Yes |||

No ~~|||||~~
~~|||||~~

NC

2. Would you like to see the traffic patterns increase due to development nearby?

Yes

No ~~|||||~~
~~|||||~~

NC

3. Would you like the opportunity to be annexed into the City of Lebanon?

Yes

No ~~|||||~~
~~|||||~~

NC |

4. Do you think that a high density/large commercial development project nearby would enhance our neighborhood?

Yes

No ~~|||||~~
~~|||||~~

NC

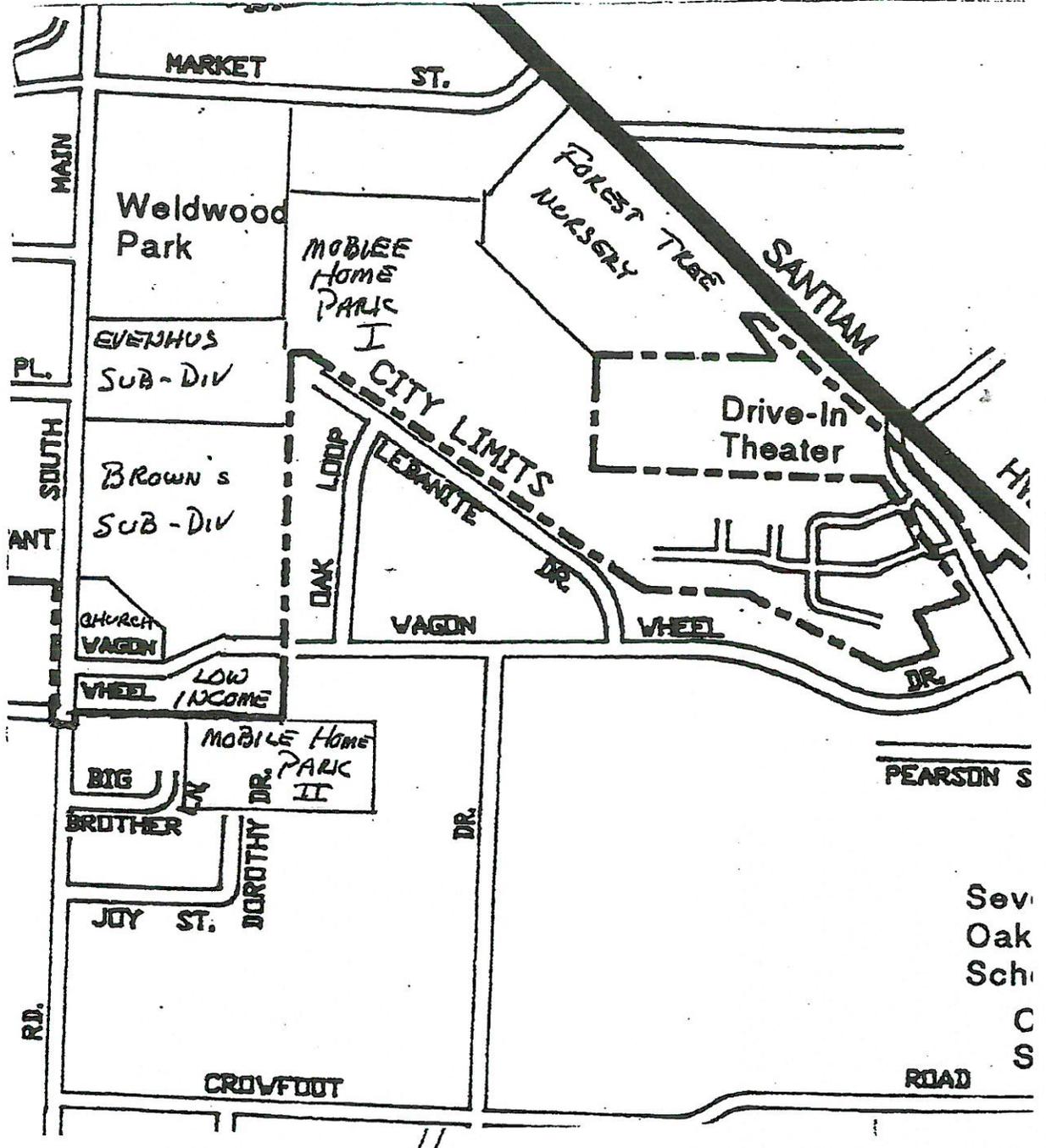
5. Would you prefer this neighborhood to remain a quiet neighborhood as it is now?

Yes

~~|||||~~ No ~~|||||~~
~~|||||~~

NC

Started 8/19/2019
Finished 9/11/2019



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Wagon Wheel Drive Neighborhood Survey Results

1) Would you like to see Wagon Wheel Drive connected to South Main Street?

	#	%
Yes	3	3%
No	96	97%
No comment		
total:	99	100%

2) Would you like to see the traffic patterns increase due to development nearby?

	#	%
Yes	0	0%
No	98	100%
No comment		
total:	98	100%

3) Would you like the opportunity to be annexed into the City of Lebanon?

	#	%
Yes	0	0%
No	97	99%
No comment	1	1%
total:	98	100%

4) Do you think that a high density/large commercial development project nearby would enhance our neighborhood?

	#	%
Yes	0	0%
No	98	100%
No comment		
total:	98	100%

5) Would you prefer this neighborhood to remain a quiet neighborhood as it is now?

	#	%
Yes	99	100%
No	0	0%
No comment		
total:	99	100%

Survey was conducted by Ronald Edwards and Dan Miller during August 14, 2019 to Sept 6.

From: [Rachael Stutzman](#)
To: [Kelly Hart](#)
Subject: Apartments at Weldwood Dr
Date: Thursday, June 18, 2020 11:26:31 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hello,

I was told that there will be a meeting on 6/24 for a discussion about possible apartments on Weldwood drive In Lebanon. I would like this comment to be submitted to the meeting as I am not able to attend.

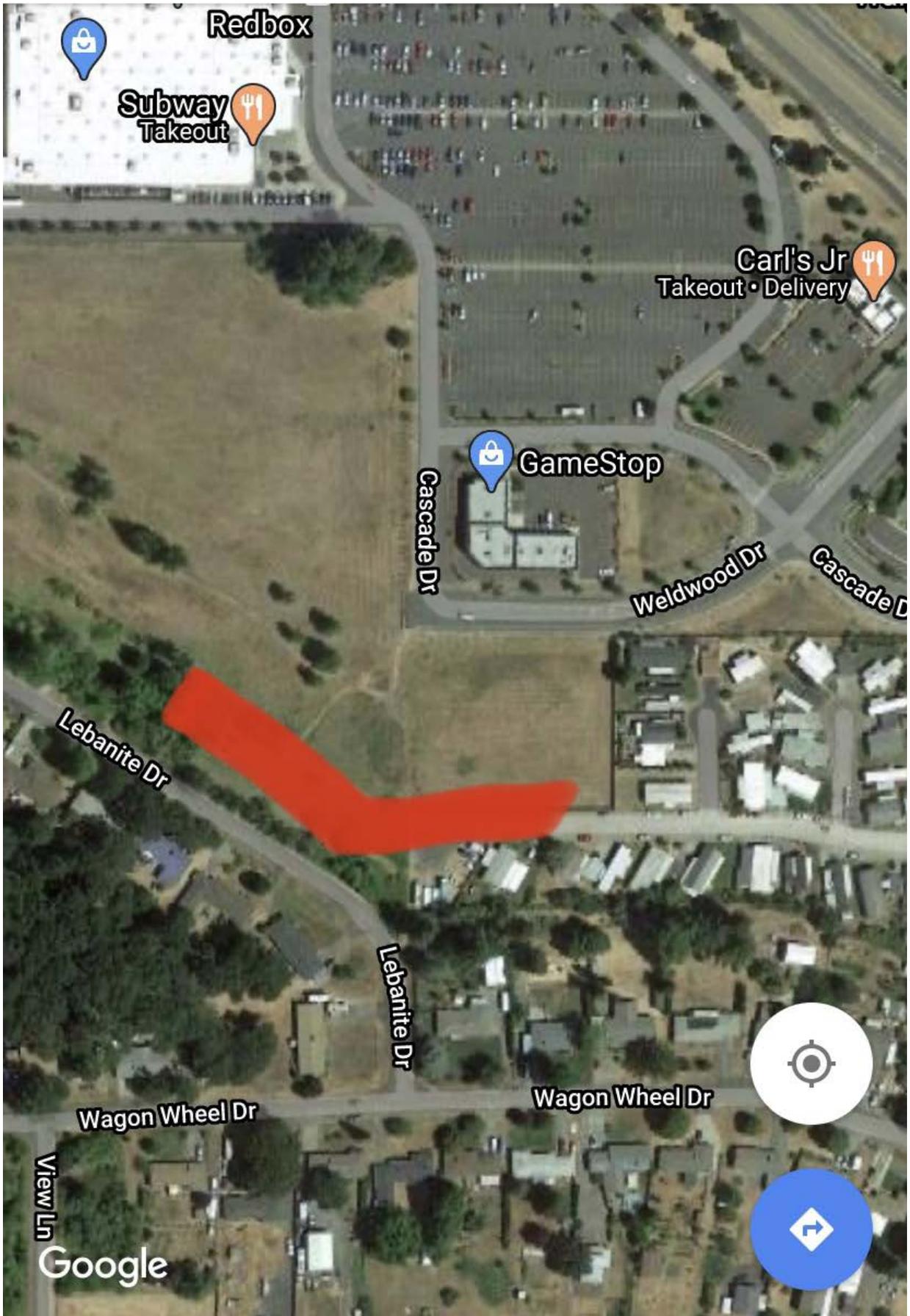
“I am a current home owner on Wagon Wheel Drive, directly behind the field you will be building these apartments. I am against them going into this location. Please don’t get me wrong, I agree that Lebanon needs more housing but I do not think that this location is a good one. We have lived in our location for 1.5 years and already get a high amount of foot and vehicle traffic. We have had our house broken into and property stolen multiple times. This is all without the addition of more people.

Please note, they are already adding a new apartment complex for older adults and have low income housing on Market Street. By adding more so close to other residential neighborhoods it could result in a decline in property values.

The other main issue is where will all of the children go to school. I know that the schools that belong to this area are extremely full, and will need money added to their budgeting to be able to accommodate for such an influx. Will a new school be a possibility somewhere near by? Or will other accommodations need to be made?

Again, I am not against low income housing. But, please consider the location of where these would be going in. Please explore other locations in the town. Even behind Walgreens on Burdell should be considered. There would be more space available and not harm the property values or traffic flow to a major retailer in town.

If it is decided that the apartments will go in, will there be a fence along the property line? Along the back of the property where the city lines meet the county lines? See picture for reference.”



Please let me know if you need any information from me to have this submitted to the meeting.

Thank you,
Rachael Folger

RE: PLANNING CASE # AR-20-05 AND VAR-20-02

FARMWORKER HOUSING DEVELOPMENT CORPORATION

WELDWOOD DRIVE - ADMINISTRATIVE REVIEW AND CLASS II VARIANCE

Comments from Neighbor regarding proposed housing project; Farmworker Housing on Weldwood Drive.

1. The location and size of the proposed project could cause traffic congestion - especially if **Weldwood Drive** is connected to South Main. That area is primarily used by children, dogs, pedestrians & bicyclists who use the paths and parks. Increased traffic would be a hazard to those in using the recreational areas. The neighborhoods of South Main, Oak lane, Lebanite Drive, Weldwood, Wagon Wheel, Cascade Drive, Walmart and surrounding businesses, Bob Smith park and Laura Gillotte Dog Park will all be affected.

Increased traffic near the Walmart intersection leading to **Santiam Highway** would need more regulation such as traffic lights to provide safe entry and exit for the large complex and businesses nearby. It is a busy place.

2. Social and community concerns: As a long term resident of Lebanon for over 20 years and having moved from Seattle where I witnessed transitions of many neighborhoods, I think a vital role in the creation of Farmworker housing is a community liaison of some sort. The liaison's role would provide a "middle man" that could take concerns of both the neighborhood residents and the occupants of the housing complex to the Farmworkers Housing Development Corporation and/or the property managers for resolution.

Neighbors have voiced concerns about increased **foot traffic and noise in** the area. Especially in the wooded area where the creek meets Lebanite Drive. The residents have had increased theft and safety concerns from those crossing the woods in the last few years. The residents would like a berm for noise protection and fencing or concrete wall that prevents access to Lebanite Drive. This would ease tensions in the neighborhood.

In a time of extreme political and economic tension where racism is also a contributor, the liason role would also provide a path for new residents to take any concerns they have about living conditions and rules at the housing complex. For example: noise from loud music, smoking, barbeques and fires, parking, etc.

Who will enforce the rules for tenants and who might the neighbors consult if there are any problems? Will the police department be burdened with complaints or will the property managers deal with problems?

Protection for farmworkers is also a concern as I have heard comments from those in the trailer park nearby that they are "prepared" with ammunition for any trouble that may arise. That is a concern for the families who will be living there and possible violence in the neighborhood. As new residents, they may need counseling about cultural differences, laws and rules for their own protection.

3. Will there be any kind of economic impact on the neighborhoods surrounding the new housing complex? For example, increased taxes, schools, parking, street repairs, sewer and water infrastructure?

4. Will the area between the proposed site and Lebanite Drive where the creek and woods are be impacted in such a way that could cause lack of water drainage and cause flooding? There is a creek there. What impact will it have on the residents property surrounding the creek?

Please address these concerns in further discussions and plans.

Thank you.

Alicia Van Driel

From: [valerie figueroa](#)
To: [Kelly Hart](#)
Subject: ProposedFHDC Housing Development
Date: Sunday, June 21, 2020 5:36:18 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Sent from my iPhone
To: Lebanon Planning Commission
From: Valerie Figueroa
180 Oak Ln. Lebanon, OR.

Dear Members,

I am a retired Criminal Investigator with the State of Oregon. My husband and I lived in our travel trailer for two years while we diligently searched for a home and more importantly the perfect neighborhood to spend our retirement years. We finally found exactly what we were looking for... a beautiful established, quiet neighborhood with very little traffic and gorgeous groves of trees. I was concerned about being in such close proximity to Walmart, but the trees along Lebanite and in the proposed development area, provided a barrier which mitigated my concern.

Unfortunately, this proposed housing project one short block from my home, FAR outweighs the fears and concerns I had about Walmart. While I absolutely recognize the need for affordable housing, I don't believe this neighborhood is the appropriate place for an ultimately very high density Public Housing Project.

This type of housing development will impact the neighborhood negatively on multiple levels. It will decrease our property value, our privacy and our security. There will also be a negative environmental and quality-of-life impact, from the removal of trees, the increase of vehicles and traffic, and spilled lighting and noise from the project...particularly with the ultimate plan of even higher density.

My thirty year career in law enforcement with Oregon DHS, gave me extensive exposure and experience with low income housing developments. Projects such as this often bring unwanted and unforeseen elements and issues, creating division and resentment in the neighborhood and community.

Again, I agree the housing need exists but vehemently oppose this project because I believe it is equally important to value and preserve the identity, integrity and historic culture of Lebanon's older established neighborhoods as it is to provide affordable housing.

Thank you for your attention,
Valerie Figueroa

From: [STEVE POST](#)
To: [Kelly Hart](#)
Subject: weldwood dr. developement ar-20-05 var20-02
Date: Sunday, June 21, 2020 2:35:27 PM

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lebanon planning commission

June21, 2020

recommend that a 6ft. high obscure fence be installed on the south side and a portion of the east side of the proposed development.

i live on wagon wheel dr and the commission may not be aware of the amount of foot traffic that goes down the middle of wagon wheel drive when seven oaks school is in session. dozen of students walk and skateboard down the middle of the street that has no sidewalks on their way to and from school. this creates a real traffic hazard. although most students are respectful, they are kids that aren't always attentive of cars or play games with oncoming traffic. there has already been ONE DEATH from a girl being hit. also since the development of the subdivisions on oak terrace to joy st in the city the amount of foot traffic has increased due to people crossing barriers onto wagon wheel drive. these apartments will potentially add to the amount of children wishing to use lebanonite dr. and wagon wheel as a shortcut to school.

there is already a well-defined foot path from the back of the proposed complex onto lebanonite dr.

i propose that a 6ft. high obscure fence should be built along the south side of the parking lot. this would help deter people using the field as a shortcut to wagon wheel dr. the fence should also continue along the east side of the property at least as far as the apartment building footprint to prevent people from just walking around the back. an obscure fence would also reduce the noise and headlight glare affecting the homes on lebanonite drive.

this is a real safety issue that should be addressed in the planning process. thank you for your consideration.

steve post
665 wagon wheel dr.
lebanon..... [REDACTED]

From: [Douglas Sutton](#)
To: [Kelly Hart](#)
Subject: Farmworker housing project
Date: Sunday, June 21, 2020 5:28:41 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dear Council Members,

I watched the presentation last week about the development proposed for the Weldwood Dr. location. I wanted to register my opposition to it with you. I am in the construction industry having recently been doing an upgrade for Salem Housing Authority. I have seen first hand how these sort of projects progress over time and how the residents treat them over the long haul. I am concerned with how this will affect my property values in the future in addition to how it will manifest itself in the community at large.

Are there any barriers between the Development and Lebanite Dr.?

They have Farmworks in their name but what kind of farmworkers would we be housing in our area. Don't we primarily farm grass here in the Willamette Valley? Isn't that almost completely mechanized here?

Who will be responsible for screening the residents that will be moving in? Not to mention the additional noise, crowding, traffic et al...

The spokesperson said they want the residents to have their share of the American Dream.

That usually means a car for every adult in the household plus the kids that have a driver's license. Now we are talking about a 24 unit multi-family development with nearly a hundred cars.

Looking at the proposed site plan where would they all go?

And what would that mean for this location? I use the word "this" because this is my neighborhood. I likely will be able to see this structure from my home. That would be a drastic change. The Architect did not seem very concerned or informed about the impacts he was creating.

For all these reasons I am opposed to this development as it is planned.

Sincerely,
Douglas Sutton
!80 Oak Lane

Planning case AR-20-05 / VAR-20-Z

The City Staff report is not accurate. It states the subject parcel is 1.39 acres.

This is incorrect, per the Linn county GIS mapping information

Pin id 12S02W23B 01701 with taxlot id of 211280

The lot is 9.53 acres, and is zoned Z-MU (Mixed Use). There seems to be no action on part of the developer to create a new tax parcel, as such the whole lot should be considered not just the Phase 1a work area.

The City incorrectly describes the property south as Vacant. Property Pin #12S02W23B 03800 is a single family lot is developed as such and is zoned UGA-UGM-10.

The proposed development is actually a 110 unit multi-story residential dwelling that will be developed over phases, by not considering the whole planned development, the individual pieces are having lessor criteria applied, The City is applying Z-RM, when it appears Z-RH would apply. This also has cascading consequences when considering allowable setbacks, parking, and or other criteria such as SDC fee calculations.

It is unclear the basis of the variance request for the class two Variance. Until the whole planned development is considered no variance should be granted.

Per City of Lebanon Code. Summary of general zoning requirements,

https://www.ci.lebanon.or.us/sites/default/files/fileattachments/community_development/page/478/2017_summary_of_general_zoning_requirements.pdf

Environmental Quality:

Stormwater Impacts of the development are not fully addressed: Linn County is subject to the MS4 Phase II NPDES permit, which was effective March 1, 2019, and per Linn county code 903.160 (C, D) the proposed development would seem relevant and apply and it appears the City has not addressed these. A simple 1200C permit would regulate the "construction phase" however not the longterm management of the site. Mitigated wetlands, stormwater treatment, and natural streams are in and adjacent to the proposed development. Additionally, per Linn County any development is required to adhere to County Goals for protection as stated in 903.020

Per the USDS NRCS soil mapper information. The soils in the proposed project area are rated in Hydrologic soil group C/D and D, meaning they have very poor infiltration soils, so runoff is likely, and also lends to a potential high water table which would made the site difficult.

Utility capacity for water/sewer/stormwater.

It is unclear on how the City determined in the staff report that sufficient capacity is available for the utilities given those calculations are not present in the plans.

Potential impacts to historic sites.

Given the proximity to the established historic wagon trail road, the site may contain potential historic evidence, the City does not appear to address this adequately in the staff report, an archeological assessment appears to be in order. Per Linn County Code sections of 903.435, and 903.437. Lebanon Muni Chapter 16.31 apply in this case.

Lack of transparency.

The project materials were not accessible to the public until June 17 at which time the City provided the staff report and subsequent developer information. Given the whole projects extent (110 units) it is somewhat curious the lack of community engagement about the project.

Site Suitability.

The project is to provide housing for migrant workers, it this actually a good site for a development such as this. A boarder discussion to review the plans in regards to chapter 7 of the comprehensive plan appear to be in order.

Project incompatibility with standing agreements

The city appears to be in violation of their own Comprehensive plan adopted by City Council on 12-8-2004 as stated on page 21 of chapter 6.

"In October of 1995, the City of Lebanon and Linn County entered into an updated Urban Growth Management Agreement (UGMA) under which the City and the County adopt a joint management procedure for the Lebanon Urban Growth Area (UGA). A number of components of the Urban Growth Management Agreement relate to housing, especially to subdivision and new residential development within the UGA. The agreement requires that the County coordinates with the City of Lebanon to perform a complete review of all applications for partitions, subdivisions, planned-unit developments (PUD), and variances in the UGA."

The City has provided no evidence of coordinating with Linn County on this development. Additionally, no mention of the housing policies appears within the staff report, or presented developer plans. Before the development moves forward the City needs to make a compelling case this development adheres to its own policy, and coordinates with the County to that end.

Impacts to school, regarding the impact this development will have on schools, the City appears to be silent on the expected student load for the whole planned development. This is however in violation of its own adopted policy, found on page 21 of Chapter 9 of the Comprehensive plan.

"P-63: Provide notice, as part of the City's project review process, to the Lebanon School District when major development projects are proposed that may impact the Lebanon School District"

From: [Don Frier](#)
To: [Kelly Hart](#)
Subject: 110 unit low-income apartment complex
Date: Monday, June 22, 2020 8:23:57 AM

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Lebanon Planning Commission,

I hope that you will seriously consider, and approve, the development of low-income living spaces in Lebanon. There is a distinct lack of them at the moment, and development of these buildings will greatly improve opportunity and the ability for people to find a home in the town that friendliness built.

When I initially moved to Oregon from the east coast, I was greatly limited in housing options. I ended up moving into Corvallis, even as someone who wasn't going to school there, just because there were enough housing options available at a reasonable cost. There are too many people who take advantage of the housing shortage in the area, leasing out basements, rooms, or sheds on their personal properties to fill a gap that something like this would fill.

Our town is growing, and affordable housing for individuals will help in that growth.

Thank you for taking the time to read this e-mail,
-Don Frier



June, 20, 2020

To Whom It May Concern:

I am writing to describe the experience and relationship that Woodburn has had with our Farmworker Housing Development Corporation.

We began with land use planning and city council decisions regarding FHDC more than three decades ago that I imagine mirror the discussions you are having now. In those discussions many people in our community expressed wide ranging points of view and their fears. I can tell you that over the last 30 years none of the fears expressed have been realized.

Farmworker housing provided by FHDC is a net positive on many counts for any community. Structuring housing with on-site managers and staff that are there to provide support for their residents helps families maintain a stability that allows them stay in their jobs and their children in schools. Apart from the economic argument that farmworker families provide essential work that feeds our community and our nation and so should have the opportunity for decent housing, is the argument that stable families in our community are less of a drain on our city, county, police, health care system and other social service resources.

Before becoming mayor I served as a middle and high school principal in Woodburn for 12 years. I can tell you that the students living in the environments created by FHDC were, as a group, much more successful and less problematic than students that lived in regular apartment complexes, just like students from more stable neighborhoods.

We all know that when there is a sense of community and structures to support community in neighborhoods or apartment complexes, they become not only positive places to live but safer places, which makes an entire town more safe. FHDC has been amazing in providing stability and community within their apartments – enhancing the livability of our entire city.

Embracing the members of our community with the dignity and support that FHDC provides has provided untold benefits to our city as a whole. I can safely say that once through the storm of criticism and fear you are likely experiencing while weighing this decision, you will land in a place that is not only the right thing to do for your residents working on your farms, but the best thing to do for your entire city. I am more than happy to respond to any questions you have going forward in this process.

Sincerely,

A handwritten signature in blue ink, appearing to read "Eric Swenson", is written over a white background.

Eric Swenson,
Mayor of Woodburn

From: [Chuck Bennett](#)
To: [Kelly Hart](#)
Subject: FHDC project testimony
Date: Tuesday, June 30, 2020 4:06:24 PM

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To Whom it may concern,

I understand the City of Lebanon is in the process of approving an FHDC project. I'm writing to recommend this organization and the work it does. In Salem we have had one of their developments for many years — Colonia Libertad. It has been an enormous success and a very positive to its neighborhood. In addition to housing it has include valuable and important community services for its residents.

The project includes 1, 2, 3 and 4 bedroom apartments with a full set of amenities including appliances, parking, a basketball court, grounds maintenance, laundry facilities, a community garden, community room, computer lab and a playground. It's all delivered in a culturally relevant environment.

This is a vast, vast improvement over the farm worker housing I wrote about in the early 1970's when I was editor of the Woodburn newspaper. It gives this invaluable workforce outstanding housing in a safe, healthy environment.

Quite simply, I'm both grateful and proud to have this community as part of Salem. I know you will have the same experience as it becomes part of the Lebanon community.

Sincerely,

Chuck Bennett
Mayor of the City of Salem

Sent from my iPad

Sent from my iPad

Greetings, my name is Ryon Foster-Edwards. I am providing public comment regarding the planned development (AR-20-05 and VAR-20-02). I have a BS in Biology, and a MS in Environmental Quality Science from the UAA school of Engineering, Have 5 years of private professional experience and 10 years of Public experience in Environmental Compliance and Enforcement.

First. I must state my caution to the City of Lebanon’s creative verbal presentations of submitted written public comments. This practice is rife with pitfalls that can quickly lead staff to edit and materially change submitted statements and give false impressions to those hearing the verbal statements versus reading submitted materials.

Second. This project is part of a larger planned development by Farmworkers Housing Development, which is acknowledged by the City in the City staff report discussions about the Traffic impact studies. This larger development should be part of a larger community wide discussion about the planned developments viability and suitability. The City has clearly not followed their own policies and goals as spelled out in the 2004 City comprehensive plan. The clear purpose of community comprehensive planning is to provide a roadmap for developments to follow. **It is important to note even though the City is aware of future phases to the development plan no “phased plan” has been submitted or disclosed which violates provisions under City Code 16.23.010**

A real question exists about the economic sense this planned project has for the community at large. Who is this project for? Is it to address the real affordable housing needs of current City residents or is it going to bring in new low-income residents from out of area?

All indicators of the owner “Farmer workers Housing Development” and its own web information, demonstrate this project will be geared to predominately serve migrant workers. So, has the City asked itself the question, of whether they and the Lebanon School District can truly absorb the ongoing costs associated with this project? The biggest challenge is funding from property tax revenue. I reviewed the first four properties listed on Farmer workers Housing Development property list and found using the Marion County GIS portal that 3 paid no property tax, and the 4th pay a discounted property tax. I would also suspect that if low income utility rates are available, then those have also been awarded. This site would be eligible for a property tax exemption per Linn County assessor form (150-310-088 or 087 or 085), and potentially low income utility rate reductions per the City rate sheets. If the projected final project will have ~110 units, If you assume a 4.09 people per unit (<https://www.oregon.gov/ohcs/DO/Farmworker/2018/05-24-18-AWHFT-Oregon-MSFW-Enumeration-Study.pdf>), this could mean an additional ~440 “new” residents. All these new people are needing services, but there is no new property tax revenues being generated. Additionally, the school age children will likely be English Language learners or English as Second Language learners, so not only will there be new children needing schooling but they will need the most expensive education delivery. More volume with higher needs, greater turnover with less revenue. That is not a recipe for success. Again, per the Comprehensive Plan the City is supposed to “coordinate and Collaborate with the Lebanon School District”. No evidence has been presented that the City has considered these items or that these discussions have occurred thus violating the City’s own adopted comprehensive plan and per LMC code 16.23.010.G.6 (Adverse Project Impacts) The City should reject the proposal until the developer has submitted information addressing all impacts listed per Code and allowed for public notice and review of those impacts.

Third. As a professional that has a pretty good grasp on Environmental reviews, It is very curious relevant supporting documents, such as the Wetland Delineation Study, Geotechnical Study, Archaeological reviews ,to name a few, were withheld and not included with the public notice and initial public comment packet, and these are absent in the City staff report. Per City Staff, these were “looked at” or stating “capacity is available” is frankly inadequate, it harkens a” just trust me” approach versus proof by evidence. If this happens to be the business as usual standard for the City. I respectfully suggest rethinking the standard.

In conclusion:

While the goal of providing good safe housing for low income and migrant farmworkers is a good one, the specific project in question has not in my opinion met the threshold of meeting local set standards. The project, Developer and City have curiously failed to address and follow the local established Code and Adopted Comprehensive planning policies and goals. If the City elects to ignore its own standards it could be well argued that the City is arbitrary and capricious in enforcing its own standards. This puts the City at risk. I would recommend the City change course and follow the standards for phased developments and the polices and goals laid out in the adopted comprehensive plan. This will lead to a better understanding and accounting for the whole project, its impacts and the necessary mitigations needed to ensure project development success.

From: [Heather what](#)
To: [Kelly Hart](#)
Subject: Public Comment for Development proposal for a 24-unit affordable apartment complex at the western terminus of Weldwood Drive(AR-20-05)
Date: Thursday, July 2, 2020 4:52:44 PM

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Lebanon Planning Commissioners,

This is a letter of public comment created by the neighbors of Wagon Wheel Drive, Lebanite Drive, and Oak Loop. This group of neighbors has met 3 times as a group and has had many additional conversations about this proposed development. We have watched both planning meetings regarding this development. We have invested considerable time, thought, and effort to bring forth legitimate concerns about the impact this development could have on our neighborhood. We were collectively disappointed and appalled at the minimal discussion at the most recent meeting to discuss public comment and how each item of concern either wasn't discussed at all or was simply dismissed, or even called "ridiculous."

We are submitting this second letter for public comment to reiterate our concerns. We ask that the Planning Commissioners spend adequate time discussing the concerns of long-standing members of this community, regarding the impact of this development. You should not be going through the motions, but actively asking how this might affect our community and its existing residents/schools/community. Lebanon is not the same as Woodburn. 3-story high-density apartment buildings interwoven with commercial property is not a responsible plan for developing this town. We are shocked that this development would not make any effort to contact owners of neighboring properties prior to implementing a project of this magnitude and without consideration to neighbor concerns. A letter was submitted stating that all neighbor concerns were alleviated once the development in Woodburn manifested. We again would stress that this community is not the same as Woodburn, and that we don't see how concerns about overcrowding of schools and having three 3-story buildings as neighbors would be alleviated after the project was completed. These discussions should happen prior to this development being approved.

Points for Discussion:

We are concerned about the impact of this and several high-density apartment buildings impacting the Lebanon School District. The planning commissioners just approved a 48-unit apartment building at Franklin Street and Russell. There are duplexes going up at the corner of Williams Street/ Milton. This development will eventually be 110-units. These are among many other apartments/single family homes

built in Lebanon without any consideration to the already overcrowded schools of Lebanon School District. This only hurts our schools and overburdens our school system. At the most recent meeting, the Planning Commission simply commented that the Lebanon School District has not commented on these developments. This was said as if it fulfills the responsibility of the Planning Commission to collaborate with the Lebanon School District on development issues. We don't believe this does fulfill that obligation, and we are asking the Lebanon School District representatives to be actively involved in this discussion going forward. We would ask that there be time for a representative from the developer to meet with our neighborhood and explain the full scope of this plan and to explore if they are willing/able to incorporate any of our input.

There was little/no discussion about the possibility of this project being limited to two-story buildings. It was also suggested that this property would be most appropriate for commercial development. Again, this was not discussed. Community discussion, through social media, suggested two alternative sites for this development. There is property owned by Michael McKibbin at Gilbert/HWY 20 that is 13.948 acres. There is also property owned by Freres Lumber Co off of HWY 20 and behind Walgreens, which is 6.298 acres. Both of these properties have minimal neighbors, would offer similar access to commercial resources, and have existing traffic lights to support traffic regulation.

If this development is approved, we have asked for a wall. Members of our neighborhood met with the County Commissioner this week. It was suggested that we request an 8 ft block wall to be constructed and maintained by the developer. The County Commissioner stated that this is reasonable and consistent with industry standards and with previously constructed walls/borders in our neighborhood. We have attached pictures of walls already existing in our neighborhood. We are not in agreement with a 6 ft cyclone fence and we feel that this would provide minimal sound barrier/privacy/security between properties. The 8 ft block wall would provide the security, privacy, and sound barrier needed for both our neighborhood and the proposed development. We also would want the Planning Commissioners and developers to understand that the homes on Lebanite Drive are elevated from ground level, so without a substantial wall height (8ft or more) we would still be looking directly into the apartment units.

Furthermore, Honey Locust trees planted 30 ft apart would provide little more than decoration. This was a topic of discussion with the County Commissioner and it was suggested that we request evergreen trees that are no more than 10-15 ft apart. Some of the neighbors supporting this letter are Lorna Myrtue, Master Gardener, and Rick George, Horticulture Teacher for Lebanon School District. They suggest that these trees be Fir trees for year-round coverage and ideally placed 10 ft apart for privacy for both our neighborhood and residents of the proposed development. One suggestion was for the parking lot to be relocated to the north side of the proposed apartment building, so that parking and any activity/sound would be closer to Weldwood Drive rather than neighboring properties.

We continue to be concerned about the effect of this much blacktop being added near our properties and how it might affect well water, wetlands both on the proposed

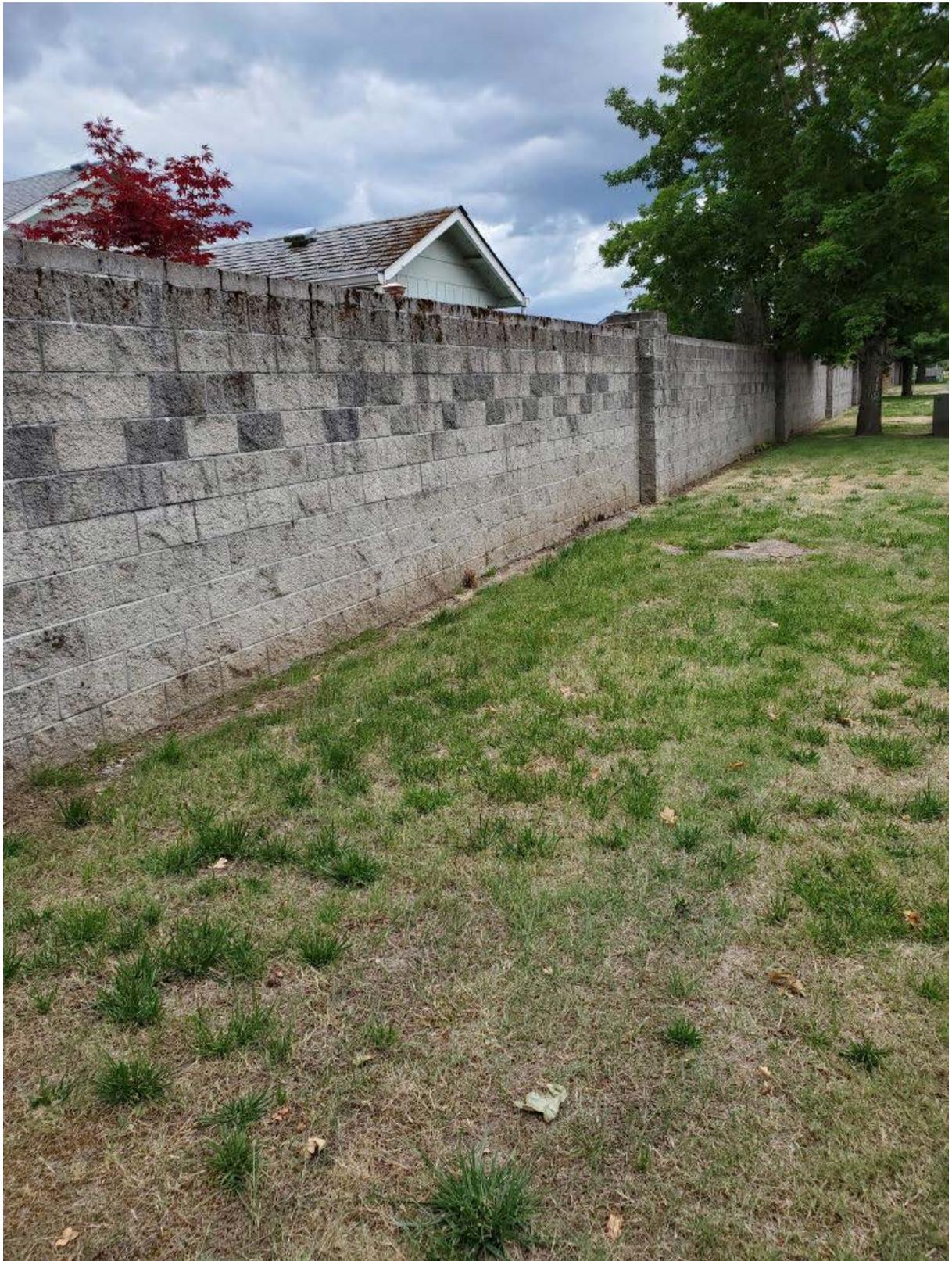
property site and neighboring properties.

The developer mentioned at the most recent meeting that we need to discuss/evaluate the first 24-units of this 110-unit development, by itself. The reasoning provided was that funding for the 2nd and 3rd phase of this project wouldn't likely be approved until July. We propose that the Planning Commission table this decision in order to evaluate this entire phased plan of development as a whole, as the number of units as a whole will likely have a bigger impact on this community. This is a situation where "The whole is greater than the sum of its parts"-Aristotle. It would be inaccurate to assess the impact of each part of this development rather than the entire phased plan of development. This seems like a way of getting a foot in the door, and then the approval of the rest of the development becomes a formality. If the funding is likely to be approved shortly, we would ask that the planning Commission table this decision to see what the scope of this development will really be.

Respectfully,

Wagon Wheel Drive, Lebanite Drive, and Oak Loop residents







Jennifer M. Bragar
Attorney
Admitted in Oregon, Washington,
and California
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121 SW Morrison St, Suite 1850
Portland, Oregon 97204
Tel 503-894-9900
Fax 971-544-7236
www.tomasilegal.com

July 14, 2020

BY EMAIL

Chair Salvage and Planning Commissioners
c/o Kelly Hart, Planning Director
925 Main Street
Lebanon, OR 97355

RE: Application AR-20-05 - Applicant's Request for Procedural Correction

Dear Chair Salvage and Planning Commissioners,

This office represents the applicant, Farmworker Housing Development Corporation ("FHDC" or "Applicant") in the above referenced file seeking Administrative Review of its design proposal for a 24-unit affordable housing complex at the western terminus of Weldwood Drive. Please include this letter and request in the record for the above-referenced file.

The Applicant understands the challenges of holding electronic public meetings and managing public participation in a quasi-judicial land use hearings context during this public health emergency and commends the City staff and commission for its efforts to date. Despite the instructions to date, the Applicant is concerned that the process ensured under ORS 197.763 has not been completely adhered to in this case. The purpose of this letter is to remedy these potential shortcomings and ensure that the quasi-judicial hearings process is met.

First, the Planning Commission hearings constitute the opportunity for all stakeholders – the Applicant and public alike – to participate in this process. Based on our review of the Planning Commission hearing, the general "raise it or waive it" waivers have not been read into the record. While the public notice did include the necessary warning, "Failure to raise an issue in the hearings, in person or by letter, or failure to provided sufficient specificity to afford the decision makers an opportunity to respond to the issue precludes appeal to the Land Use Board of Appeals based on that issue," not all participants in the Planning Commission proceedings may have been adequately notified of this requirement. In order to remedy this concern, the Applicant requests that the Planning Commission vote to re-open the public hearing to make this announcement. In this manner, all participants will have the appropriate notice of the quasi-judicial process. Further, as a result of the notification being provided verbally, the Applicant believes that all participants should be offered an opportunity to participate and that the public record should be left open.

This final point is related to the Applicant's second concern. Some of the verbal instruction to the public during the Planning Commission hearings could have been construed to limit the allowed public testimony. Further, at the June 24, 2020 Planning Commission meeting,

City staff reported that a member of the public requested the record remain open and would be treating the request under the process adopted by the Planning Commission on June 24, 2020. The Applicant agrees that was the right decision, but the process adopted did not protect all of the Applicant's rights under ORS 197.763. In that process, the Planning Commission only allowed for an open record period for opponents to submit information in writing for seven days (deadline July 2, 2020), and then the Applicant to submit rebuttal during the following seven days (deadline July 9, 2020). Thereafter, the Planning Commission would make its decision July 15, 2020. The Applicant's main objection is that this process foreclosed the Applicant's right to present final written argument under ORS 197.763(6)(e), which right the Applicant did not waive. In addition, the instructions may have improperly foreclosed the right of all parties to participate in the request to keep the record open.

In order to remedy these second set of concerns, the Applicant proposes that the Planning Commission follow the open record process provided in ORS 197.763(6), particularly to ensure the rights of all participants when the virtual meeting process can result in additional confusion. To that end, the Applicant requests the Planning Commission open the public record for an initial seven days for any party to submit evidence and testimony into the record. This seven day period would be followed by a rebuttal period by any party responding only to information submitted during the first seven day period. Finally, a last seven day period is set for the Applicant to submit final written argument. After this 21 day period, the record would be closed and the Planning Commission would deliberate and make a decision at its next meeting.

Based on the foregoing, the Applicant requests that the Planning Commission adopt the following motion at its meeting on July 15, 2020:

The Planning Commission moves to reopen the public record for file AR-20-05 based on the letter submitted by Applicant's counsel on July 14, 2020 raising concerns about procedural irregularities on the following terms:

1. The Planning Commission reopens the public hearing to read the quasi-judicial land use procedure rules into the record.
2. The Planning Commission further reopens the public record as follows:
 - a. The record shall be open from July 15 – July 22, 2020 at 5:00 pm for any party to submit any written evidence or testimony pertaining to file AR-20-05.
 - b. Thereafter, from July 23 – July 29, 2020 at 5:00 pm any party may submit written testimony in rebuttal to those submittals in the first seven day period. In other words, responsive testimony to those submittals received between July 15 – July 22, 2020 at 5:00 pm.
 - c. Finally, the Applicant may submit final written argument between July 29 – August 5, 2020 at 5:00 pm.

TOMASI SALYER MARTIN

July 14, 2020

Page 3

3. The Planning Commission shall reconvene on August 19, 2020 to deliberate and make a final decision.

Please also accept this letter as my request to attend the July 15, 2020 Planning Commission meeting by Zoom or conference call to answer any questions from Commissioners related to this objection and proposed motion. Thank your for your consideration of this letter and request.

Sincerely,



Jennifer M. Bragar

JMB/jr

cc: Tre Kennedy (by e-mail)
Kelly Hart (by e-mail)
Client (by e-mail)

From: [Miguel Arellano](#)
To: [Kelly Hart](#)
Subject: Colonia Paz letter of support
Date: Friday, July 17, 2020 4:52:11 PM

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City of Lebanon Planning Commission,

My name is Miguel Arellano. I currently serve as the Basic Needs Navigator at Oregon State University. My role is dedicated to serving students who are homeless, food-insecure, and low-income. I serve quite a number of students from the Lebanon community in my role. I am writing to support the development of Colonia Paz I.

As someone who grew up in low-income housing for farmworkers, and as a current board member for DevNW, I was excited to learn about the new development of affordable housing for farmworkers in Lebanon.

As a child, my earliest memories were formed under filbert orchards and in the berry fields of Marion county. My parents could not afford childcare, and with no other option, they would take me to work. In the summer, when it would become unbearably hot, my mom would make me a shelter out of the plastic berry crates so I can sleep and play underneath. My parents were homeless for some time- growing they would always point to the filbert orchards where they would park their car and live with some of my siblings. These were same orchards they tended to and harvested to feed America.

Eventually, through the support of FHDC, my parents got into permanent housing. The fondest memory I have growing up was moving into a brand new apartment complex- Nuevo Amanecer, a FHDC farmworker housing property! I was 4 or 5. Every day, I would go outside to look at the newly planted grass seeds sprouting. If you have ever planted grass seeds, you know how satisfying and calming it is to gently touch it and look at it. While everything around me was chaotic and uncertain, what I felt while watching the seeds sprout, is what I assumed home felt like- calm, peaceful, and at ease. I felt that through my stay at Nuevo Amanecer, until FHDC supported my parents in purchasing their own home in 1998.

If it was not for Farmworker housing- I would not be where I am today. I would see a glimpse of the American dream, if there is even such a thing. Through my parent's hard work ethic and perseverance, they were able to get out of homelessness, buy a home, and send their kids to college. Helping individuals in poverty is in the fabric of our American values. Farmworkers play a vital role in our society, economy, and community. And just like the rest of us, we all deserve a place to call home.

I am certain that my family and I would not be where we are today if it was not for FHDC. They gave us a roof over our heads, so we can thrive. I ask us today, please do the right thing. Kids in our community deserve a roof over their heads so they can learn and thrive.

Thank you,
Miguel Arellano

From: [Halley Egnew](#)
To: [Kelly Hart](#)
Subject: Colonia Paz
Date: Sunday, July 19, 2020 7:07:41 PM

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To The Lebanon Planning Commission

I am writing in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

The Colonia Paz I, will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalize families and individuals into the larger community. Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non and governmental organizations at no cost. They have become a HUB for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I am a medical student at WesternU COMP-NW, and one of the first things that we learn is that health is shaped not just by a person's actions and genetics, but also by their environment. Housing is one of the most prominent social determinants of health, and residential instability is associated with multiple health problems among youth, including early drug use, increased risks of teen pregnancy, and depression. I refer you to this report on the importance of stable housing for health outcomes, by Portland based research organization CORE: <https://www.enterprisecommunity.org/download?fid=5703&nid=4247>. I want to highlight that providing affordable housing in the community studied decreased Medicaid expenses by 12 percent.

I hope you will give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter. And please do not hesitate in contacting me directly if you have any questions.

Thank you,

Halley Egnew
she/her/hers
OMS-I
COMP-NW
phone: 253 298 1257

Rev. Constance B. Yost
5703 SE Nehalem St.
Portland, OR 97206
503-385-2135
cyost@uuma.org

7/20/20

To: The Lebanon Planning Commission

I am writing in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

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Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non and governmental organizations at no cost. They have become a HUB for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

As President of Farm Worker Ministry Northwest and an advocate for farm workers and other low-wage workers, I urge you to give your full consideration to FHDC application for the development of Colonia Paz I.

Especially in this time of pandemic and years of economic hardship ahead, it is our moral duty to do all we can to help these essential workers who are valuable members of our community.

Thank you for your time and attention to this matter. And please do not hesitate in contacting me directly if you have any questions.

Sincerely,



Rev. Constance B. Yost, President
Farm Worker Ministry Northwest

From: [Sue Alperin](#)
To: [Kelly Hart](#)
Subject: Farmworkers housing
Date: Monday, July 20, 2020 9:41:40 AM

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This has been a subject of talk and controversy for d hope you will, too.so many tears and yet these hard workers continue to live in substandard housing. We need these workers and now, more than ever, they need a safe place to live. I support the prospective housing and hope you do, too.

Sue Alperin
Washington County, Portland

From: [Edgar](#)
To: [Kelly Hart](#)
Cc: [j w hughes](#); [Patricia Hughes](#); [Carol Christ](#); [Deborah Medley](#); [Pr Joe Medley](#); [shelley willem](#); [jim bornzin](#); [Joel Nickel](#); [Manuel Borbon](#); [Oregon Synod](#); [Pr Charles Mantey](#); [Deb Mantey](#)
Subject: Support for Colonia Paz, Lebanon
Date: Monday, July 20, 2020 10:18:35 AM

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City Council, Lebanon, OR

Dear Friends,

I'm writing to support the work of Farmworker Housing Development Corporation (FHDC) and its plan to develop the 24 unit Colonia Paz in Lebanon,

Having been part of the work of FHDC in Woodburn, Independence and Salem, I'm pleased that they've risen to the challenge of providing safe and affordable housing also to farm workers in Silverton, Sublimity and Stayton.

Please support Colonia Paz. FHDC will enhance education, family resources, wellness information and shelter—a great asset to essential workers and the city of Lebanon.

I look forward to hearing from you and welcome your questions and suggestions about providing housing to frontline Willamette Valley workers.

With sincere thanks,

~ Rev Edgar Brandt,
Dallas, OR
Member, Board of Directors
Farm Worker Ministry Northwest

503-917-1326 voice or text
edgarbrandt@q.com email

Sent from my iPhone

From: [Suzanne Price](#)
To: [Kelly Hart](#)
Subject: Colonia Paz
Date: Monday, July 20, 2020 10:28:16 AM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dear City Council,

I hope you will welcome Colonia Paz to Lebanon. We have been fortunate to have Colonia Amistad in Monmouth-Independence for quite a few years. It is always beautifully maintained and the residents are valued citizens of our community. It has amenities and communal activities which give residents ownership and pride.. Perhaps if people had a chance to visit some of the other Farmworker Housing built and maintained by this group, they would feel reassured.

Respectfully,

Suzanne Price

Suzanne Price
Old Children's Books
7210 Helmick Road
Monmouth, OR
503 838 5452
shprice@oldchildrensbooks.com

From: [John Elizalde](#)
To: [Kelly Hart](#)
Subject: Colonia Paz 1
Date: Monday, July 20, 2020 11:43:18 AM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

To: the Lebanon Planning Commission

I have been following the affordable housing emergency in our state through my membership in First Unitarian Church Portland and the Interfaith Alliance on Poverty. I have become aware of your affordable housing opportunity through those relationships.

This week you have the opportunity to support an excellent affordable housing project for your community. My guess is this is a unique opportunity to have a local, tested and proven development entity bring such a premier project to you for approval. My understanding is that this 24 unit development begins to fill a niche in Linn County, in fact, a gaping hole in Oregon - affordable housing. The developers, FHDC, has worked with the community to assure that their project will target the marginalized and underserved workers in Lebanon.

Please approve this project and encourage FHDC to bring future projects of this quality to the city/county.

John Elizalde
8195 SW 71st Ave
Portland 97223

From: [Mary Ann Barham](#)
To: [Kelly Hart](#)
Subject: Farm worker housing
Date: Monday, July 20, 2020 1:05:31 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

To whom it may concern,

I am writing to lend my voice to all those groups who support the need for housing for farmworkers in Lebanon. These essential workers deserve adequate housing and Colonia Paz will meet this need.

Thank you for working to assure that this housing is built.

Mary Ann Barham

--

Mary Ann Barham
she/her/hers

mab8150@gmail.com

From: lienjud@aol.com
To: [Kelly Hart](#)
Subject: please support Colonia Paz I housing!
Date: Monday, July 20, 2020 1:31:01 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

To The Lebanon Planning Commission

I am writing in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

The Colonia Paz I, will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalize families and individuals into the larger community. Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non and governmental organizations at no cost. They have become a HUB for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter. And please do not hesitate in contacting me directly if you have any questions. thanks,

Judith Lienhard, retired RN and military veteran

From: [Debbie Wong](#)
To: [Kelly Hart](#)
Subject: Colonia Paz
Date: Monday, July 20, 2020 1:54:43 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

To The Lebanon Planning Commission:

I am writing in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions. It will enable farm workers to work in fair and just conditions. The Colonia Paz will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County.

In addition, from a public health standpoint, COVID disproportionately affects the Latino population who often live in crowded conditions making it impossible to adhere to CDC guidelines of social distancing. Lebanon is noted to have a high percentage of the total state's cases of COVID. Addressing housing needs will help mitigate the spread of COVID.

As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalize families and individuals into the larger community. Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non and governmental organizations at no cost. They have become a HUB for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter.

Sincerely,

Debbie Wong

ENLIVEN FOUNDATION

Date: July 20, 2020

Attn: Lebanon Planning Commission

Re: FHDC proposal for 24-units in AR 20-05

This letter is in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05 for affordable housing on the property that is zoned for multi-family use.

The Colonia Paz I will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. I encourage you to look at their website if you haven't done so already. Here is the link: fhdc.org This is not just low-income housing like the others we have in town. They have a program that supports and encourages success. What I can tell through their website and by speaking with directors Meg and Claudia, is they take pride in having high quality complexes with a beautiful exterior. It is my understanding that the neighboring residence are afraid of the population this may bring to the area. I believe this will bring; more to our economic growth, an answer to our ongoing problem of the need for affordable housing, a safe clean place for hard working residence to live and thrive, and be one more asset that pulls our community together.

As the CEO of Enliven Foundation, an organization that assist single-parents in achieving their academic goals to overcome poverty, I understand and see the need first hand at how important it is to have what they are offering our community. Low-income families are in high need of safe housing and the programs that are included, such as; free life-skill, budgeting, parenting, and nutrition training, ... and more. This is inline with the mission of Enliven Foundation. I really look forward to having them in our community. I look forward to housing my students in this complex, and to working together for the better good of our community.

I ask that you give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter.

Respectfully,



Becky Van Atta
CEO, Enliven Foundation
Nonprofit of the Year, 2018
C: (541) 409-2537
becky@enlivenfoundation.org

From: [Mikaela Vanderperren](#)
To: [Kelly Hart](#)
Subject: farmworker housing
Date: Monday, July 20, 2020 3:37:54 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dear City of Lebanon,

The work that farmworkers do literally puts food on our tables. I love to eat the various foods they pick but I certainly don't want to pick it myself. After long days of work, they deserve a good place to call home! The planned farmworker housing is beautiful and necessary! Please approve it and know that you are moving their lives forward that will have a positive impact on generations to come!

Thank you,

Mikaela
SW Portland

Building healthier communities together

July 21, 2020

Lebanon Planning Commission
City of Lebanon
925 S. Main Street
Lebanon, OR 97355

RE: Colonia Paz Housing Project, AR 20-05

Dear Planning Commissioners:

On behalf of Samaritan Lebanon Community Hospital, I am pleased to add my support to the Colonia Paz Housing Project you are currently considering.

As one of Lebanon's largest employers, the hospital hires individuals for jobs across the wage continuum. It is preferable for many of our employees to live close to work in case they are called in to assist in an emergency or in times of high patient volume. The housing proposed for Colonia Paz will help fill a much-needed gap in housing for lower income workers, allowing them to more easily get to work and to support local businesses.

Increasingly, we as health care providers are understanding the strong link between overall health and an individual's access to safe, affordable housing close to work. Colonia Paz residents will also benefit from the supportive services planned for this project, including a community room/center that is available at no charge to provide convenient access to community and social service organizations. These supportive services help residents develop the additional education and skills needed to qualify for home ownership and the ability to contribute through property taxes to local schools, City and County services.

The housing developer, FHDC, is a respected provider with more than 30 years' experience in Marion and Polk counties. We have met with them about this project, as have leaders of other community organizations including Community Services Consortium and the region's Early Learning Hub. I believe FHDC and the Colonia Paz project will help address an important community need, and I encourage your favorable consideration of their proposal.

Sincerely,



Marty Cahill
Chief Executive Officer
Samaritan Lebanon Community Hospital



DEVELOPING THRIVING COMMUNITIES

July 18, 2020

Dear City of Lebanon Planning Commission:

Thank you for the opportunity to provide testimony in **strong support of Colonia Paz I to be developed by Farm Worker Housing Development Corporation (FHDC)**. Oregon is in an unprecedented housing crisis, with high unemployment due to COVID 19 and stagnant wages; 49.5% of renters spend more than 30% of their gross monthly income on rent and utilities, making Oregon the 37th least affordable state for renters. As Commissioners, you are well aware of the challenges faced by many in Oregon who lack affordable housing. Colonia Paz I will contribute to the critical shortage of affordable housing for low-income individuals and families in Linn County.

DevNW has had the opportunity to partner with FHDC over the years. They have a very impressive track record, developing quality affordable housing, and working with community stakeholders to integrate underserved families and individuals into the larger community. The community rooms are available to residents and other social services agencies. The community rooms are used for youth summer and after school activities, early childhood education, adult education, and today is a critical point for COVID 19 testing, food boxes distribution, PPE distribution, and education about the virus. FHDC brings not only housing but an entire support system for their residents.

Please approve the FHDC application for the development of Colonia Paz I. Thank you for your time and service to the City of Lebanon.

Sincerely,

A handwritten signature in black ink that reads "B Olson".

Brigetta Olson, COO

devNW.org



212 Main Street
Springfield, OR 97477

257 SW Madison Avenue #200
Corvallis, OR 97333

437 Union Street NE
Salem, OR 97301

421 High Street, Suite 110
Oregon City, OR 97045

From: [Wendy Rankin](#)
To: [Kelly Hart](#)
Subject: Letter of support for Colonia Paz
Date: Monday, July 20, 2020 4:13:01 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dear Lebanon City Leaders,

I am writing today to encourage you to give full support to the planned farm worker housing.

Housing makes a real difference in people's lives.

A few years ago I had the opportunity to visit some farms in the Woodburn area and see for myself the miserable living conditions of the people who harvest our food.

Our food! It is so important to have healthy food to be a healthy person and the social determinants of health also show us that housing is another important community health factor.

I urge you to stand up to those who would be so unkind as to protest decent housing for ANYONE and most especially farm workers without whom we wouldn't eat and who are part of our Oregon economy.

Please support and celebrate the builders of Colonia Paz.

Wendy Rankin

From: [susan muller](#)
To: [Kelly Hart](#)
Subject: Colonia Paz
Date: Monday, July 20, 2020 5:32:33 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dear Lebanon Planning Commission,

Farm workers are a critical and necessary part of being able to harvest the locally grown fresh fruit and vegetables that we value in Oregon. To support the local farmers and to be able to bring us fresh produce, the farm workers need to have housing that is decent and reliable. Farm worker provide us with a valuable service that many people would not want to do and in return for that service we should provide them with safe housing while they do so.

I am writing in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

The Colonia Paz I, will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalize families and individuals into the larger community. Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non and governmental organizations at no cost. They have become a HUB for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter.

Best Regards,
Susan Muller

From: [Suzanne Boddy](#)
To: [Kelly Hart](#)
Subject: Immigrant Housing
Date: Monday, July 20, 2020 5:42:52 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

I am writing in favor of proposed housing for farm workers. They are a needed group to supply our produce. They deserve safe places to live that are not substandard.
Sent from my iPhone

From: [connie cleaton](#)
To: [Kelly Hart](#)
Subject: Colonia Paz I
Date: Monday, July 20, 2020 5:43:36 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

To The Lebanon Planning Commission

I am writing in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

The Colonia Paz I, will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalize families and individuals into the larger community. Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non and governmental organizations at no cost. They have become a HUB for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter. And please do not hesitate in contacting me directly if you have any questions.

Constance Cleaton
ccleaton@ipns.com
1220 NE 17th Ave 9d
Portland, OR

From: [Helena Lee](#)
To: [Kelly Hart](#)
Subject: Colonia Paz I
Date: Monday, July 20, 2020 6:14:07 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dear Planning Commission of the Lebanon City Council,

As an Oregonian and church-going woman, I am very concerned about the well-being of all the residents of our state. The health and financial stability of all groups will help ensure a more livable community. Today I write in support of the Colonia Paz I development which will include 24 units. A multi-family complex such as this moves us closer to the goal of livable communities throughout Oregon. You are in the position to facilitate this goal. Please use your authority to move this project along at this time of critical housing needs due to the current economic crisis as well as the pandemic.

Thank you for your attention and service to the community,
Sincerely,

Helena Lee
503-260-6466

From: [Anne S. Wagner](#)
To: [Kelly Hart](#)
Subject: In Support of Moving Colonia Paz Forward
Date: Monday, July 20, 2020 6:30:37 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dear Lebanon Planning Commission and City Council:

I want to voice support for moving forward the FHDC proposal to build 24 decent housing units for farm workers and low-income families and individuals - Colonia Paz. In Pandemic times, we are all "in this" together and what has been done to provide housing for these individuals and families previously has obviously become insufficient, even dangerous, not just to the farm workers, but to our surrounding communities.

The fact that this land is already zoned for multi-family and that FHDC has an apparently solid track record of working with communities to create decent, human housing for low-income peoples frankly makes it seem like an obvious choice. The additional information regarding the social service support options that will be possible should lead to strengthening the Lebanon community, not harming it.

Please approve the proposal for the FHDC units.

Thank you,

Anne S Wagner
1507 NE 150th Ave.
Portland, OR 97230
member of Wy'east Unitarian Universalist Congregation

July 20, 2020

To the Lebanon Planning Commission:

I am writing in support of the development of Colonia Paz I, FHDC proposal for 24-units in AR 20-05. This project will go a long way toward meeting the affordable housing need on property that is zoned for multi-family, and it's an application that meets all the requisite code provisions.

My organization, Our Children Oregon, is a statewide organization that recently brought together two historic Oregon organizations (Children First for Oregon and The Children's Trust Fund of Oregon). Our mission is centered on preventing child abuse and helping every child thrive. We know that one out of every four families in Linn County are spending more than 50% of their income in rent. The number of affordable units needed for every family in the county to be served is 3,025. Shockingly, one in every 20 students experienced homelessness in the 2018-2019 school year; time will tell the impact of COVID-19 on these young people. In our most recent KIDS COUNT Data Book, I would note that one out of five Linn County children are food insecure, and over 5000 young people live in poverty. These numbers are from before the pandemic began. FHDC's work to build affordable housing is a necessary and important step in supporting the families of this beautiful city.

The Colonia Paz I will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. For 30-years FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC's vision and expertise working with low-income families is apparent in their building designs, which includes a community room/center. The community spaces are open to other organizations at no cost, in order to offer vital services to community members. They also serve as a HUB for youth summer and after school activities, early childhood education, and adult education. Today they provide a critical point for COVID-19 testing, food box distribution, PPE distribution, and education about the virus. FHDC brings not only housing, but an entire support system for families.

I hope you will give your full consideration to FHDC's application for the development of Colonia Paz I. The children of Lebanon and Linn County are counting on us to make choices that support their future. I welcome the opportunity to share more if you have questions or would like to explore further how this effort supports the well-being of the children of Lebanon.

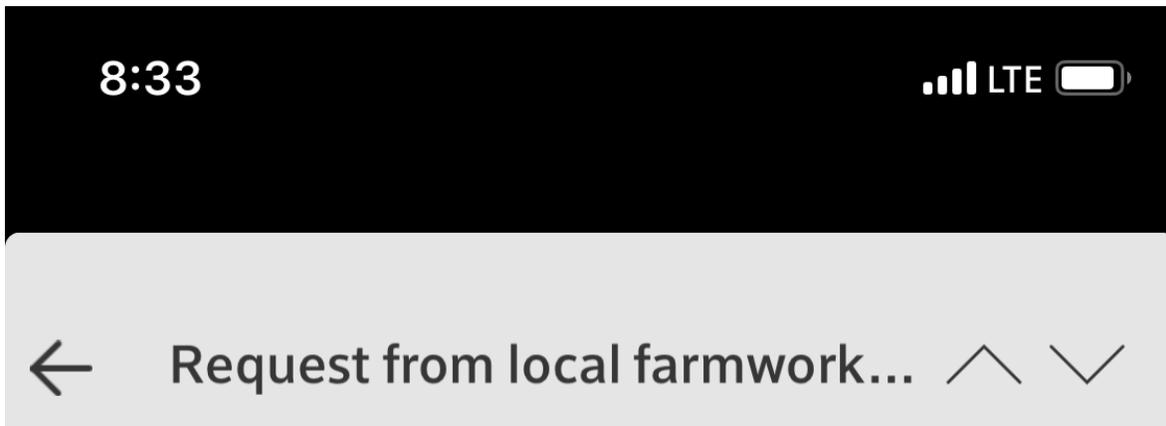
Respectfully,

Jenifer Wagley
Executive Director
Our Children Oregon

Together we can be a voice for the common good of all Oregon children.

From: [Heather what](#)
To: [Kelly Hart](#)
Subject: Public Comment AR-20-05
Date: Wednesday, July 22, 2020 9:53:59 AM
Attachments: [IMG_7476.png](#)
[IMG_7477.png](#)
[Sample Letter.docx](#)

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]



Unfortunately, there has been a very vocal anti-immigrant group that doesn't want this housing built. And we're hoping you can help us push back by sending a letter or email of support to the Lebanon City Council in *support of Colonia Paz being built.*

PLEASE SEND BY **Wednesday, July 22, 2020.** Written testimony may be emailed to khart@ci.lebanon.or.us, or may be mailed to the City at [925 S. Main Street, Lebanon, OR 97355](#), or delivered to the City and dropped in the white mailbox in front of City Hall. Please note for mailed testimony, the letter must be received by the City no later than **5:00pm on Wednesday, July 22, 2020.** See

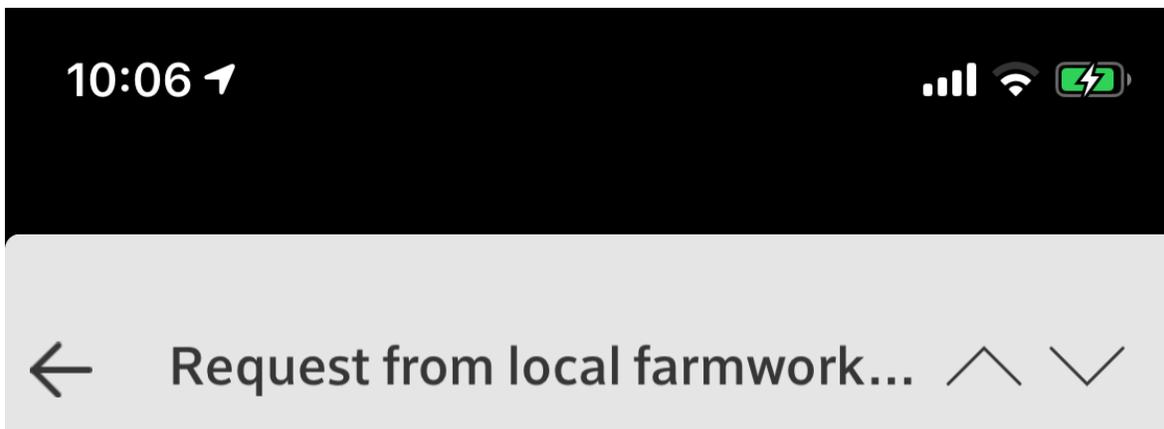
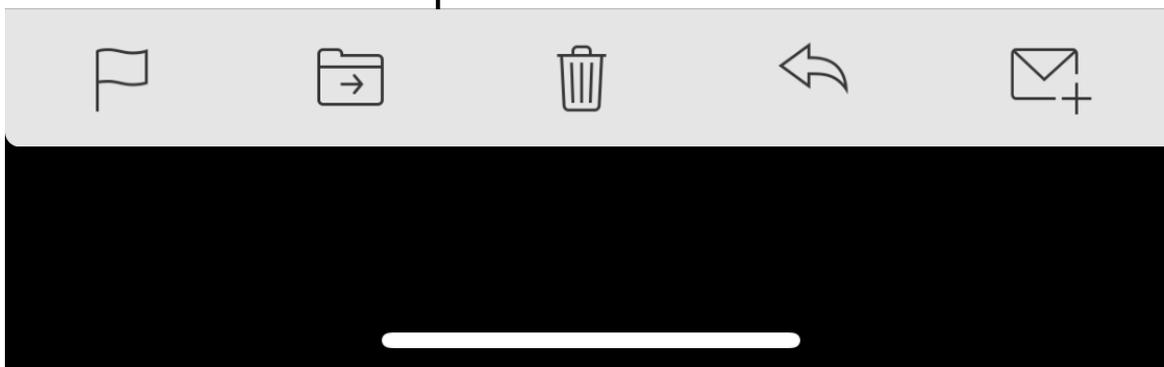
the sample letter below.



**Reyna Lopez
Osuna** (she/her/they)

Executive Director

reynalopez@pcun.org | ([971-240-7414](tel:971-240-7414))



Request from local farmworkers union
July 21, 2020 at 1:46 PM



Hello LEA Members:

Below is a request that came to us from PCUN, our local farm workers union, via OEA's Vice-President, and I am passing it along to you for your consideration. If you would like to help the campaign, there is an attached sample letter.

Thank You,
Bonita Randklev

Hello Friends,

I am reaching out to you today because PCUN, and our sister organization [Farmworker Housing Development Corporation](#) need your help!



Please send your comments/letter to :

Wednesday, July 22, 2020. Written testimony may be emailed to khart@ci.lebanon.or.us, or may be mailed to the City at 925 S. Main Street, Lebanon, OR 97355, or delivered to the City and dropped in the white mail box in front of City Hall. Please note for mailed testimony, the letter must be received by the City no later than 5:00pm on Wednesday, July 22, 2020.

There will be no testimony accepted in person.

PLEASE COPY TO YOUR LETTER HEAD

To The Lebanon Planning Commission

I am writing in support of the development of Colonia Paz I. Farmworker Housing Development Corporation (FHDC) proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

The Colonia Paz I, will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalize families and individuals into the larger community. Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non and governmental organizations at no cost. They have become a HUB for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter. And please do not hesitate in contacting me directly if you have any questions.

To: Lebanon Planning Commission

July 21, 2020

Subject: Development proposal for a 24-unit affordable apartment complex at the western terminus of Weldwood Drive (AR-20-05)

First phase of a 110- unit complex by completion of development

Public Comment:

We as the neighbors of Wagon Wheel Drive, Lebanite Drive, and Oak Loop have met again tonight, 7-21-2020, and would like to reiterate, in this third letter of public comment, that our previous concerns have not been adequately addressed. We encourage the Planning Commission to further review our previous letters of comment. We have provided all of our names, addresses, emails, and phone numbers to the Planning Commission, in hopes that there could be more open dialogue. This information has been available to the Farmworker Housing Development Corporation and stated that we would welcome a conversation about our concerns. There have been no attempts by the developer to discuss any development plans or related concerns with anyone from this neighboring community.

Noise pollution is a concern that we would like the Planning Commission to investigate further. We would like the Planning Commission to measure/investigate the decibels of sound related to air conditioning units for this development, which will realistically be for 3 buildings rather than just the one building being considered in phase 1 of this proposal.

The traffic study referred to for this development is 5 years old. We propose that the amount of growth in Lebanon during the last 5 years would dictate that a new traffic study is necessary in order to accurately assess the impact this development would likely have on current traffic flow in Lebanon.

It was brought to our attention the Executive Director of PCUN, Reyna Lopez Osuna, has been soliciting support for this development by asking Oregon Education Association (OEA) members to submit a form letter of support, provided by PCUN, to the Lebanon Planning Commission. This request was passed along to Lebanon Education Association (LEA), the educators in our community, and Live Longer Lebanon, a volunteer organization in Lebanon. These form letters should be seen for what they are,

the result of a campaign effort. The most concerning part of this, is that Reyna Lopez Osuna mislabeled and misinformed these groups by stating in her request for letters of support that there is a "very vocal anti-immigrant group" opposing the development. Since our group of neighbors is the only group raising concern about this development, we have reasoned that she is referring to our group of neighbors. This is unconscionable. This is slanderous and seems like an attempt to disenfranchise us from the conversation and inflame angry supporters to the developer's cause. This raises all kinds of ethical concerns. This is a completely unacceptable, unprofessional, and offensive statement, likely made in an effort to drum up support for this development. Furthermore, the neighbor in our group-who owns the property directly neighboring the proposed development site-is an interracial couple with one spouse being an immigrant from the Philippines, so this couldn't be further from the truth. This group has no issue with who might inhabit this development. Our concerns have been outlined in detail and are not related to anyone's immigration status. This is a completely false representation of our group. We have attached proof of the statement made by Reyna Lopez Osuna and the form letter she has been asking community members to submit.

Respectfully,

The neighbors of Wagon Wheel Drive, Lebanite Drive, and Oak Loop

July 22, 2020



RE: Farmworker Housing Development Proposal AR-20-05

Dear Lebanon Planning Commission:

Thank you for your thoughtful consideration of this proposal. It is exciting to be looking at an opportunity to provide nice, affordable housing – along with the landscaping maintenance, on-site management, and resident wrap-around supports to help ensure security and success for the tenants who will reside there.

This will be a significant change for the existing neighborhood, and we applaud your efforts to meet the needs of the neighbors while honoring the needs of this project that will serve our community. This project will be a great improvement over the unmanaged homeless camp often occupying that area.

Our farmworkers are essential to the food security of our region. This project will create a clean, well-kept, well-managed residential space for this population especially. We are in desperate need of this type of housing in our community, and support this as a step toward helping our unsheltered residents and inadequately sheltered residents get on their feet and off the streets. Affordable housing is an important goal of the Lebanon Community Strategic Plan, and this will help greatly in helping us move toward that goal.

Thank you.

Sincerely,

Katie Trebes

Katie Trebes, Facilitator
On behalf of the Live Longer Lebanon coalition

InterCommunity 
Health Network CCO

July 22, 2020

Ms. Kelly Hart
Planning Director- City of Lebanon
925 S. Main St.
Lebanon, OR 97355

Dear Ms. Hart:

I am pleased to be writing on behalf of InterCommunity Health Network Coordinated Care Organization (IHN-CCO) in support of the development of Colonia Paz I, a Farmworker Housing Development Corporation (FHDC) proposal for 24-units in AR 20-05. We believe this project will go a long way in helping the community meet its affordable housing needs and is appropriately located on property that is zoned for multi-family and otherwise appears to meet all the requisite code provisions.

As you probably know, FHDC has a strong reputation of working with community stakeholders to integrate marginalized families and individuals into the larger community. Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County.

One example of FHDC's vision and expertise working with low-income families shows in their building designs, which include community room(s)/center(s) that are often open to other social services at no cost. They have become a HUB for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

Again, we believe that Colonia Paz I will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. I hope you will give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter. And please do not hesitate in contacting me directly if you have any questions.

Sincerely,



Gabriel Parra, Chief Strategy Officer
541-768-4894
Gparra@samhealth.org

From: eveningstarfarm@centurytel.net
To: [Kelly Hart](#)
Subject: Colonia Paz I, FHDC Proposal
Date: Wednesday, July 22, 2020 1:47:29 PM

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To: The Lebanon Planning Commission

I am writing in support of the development of Colonia Paz I, FHDC proposal for 24-units in AR 20-05.

I have seen our community grow tremendously during the 22 years that I have lived here. Lebanon can be proud of the progress we're making, and yet there is much more that we can do to improve our community. The FHDC proposal is an excellent opportunity to provide fair and just housing for families within our community.

As a teacher in the Lebanon Community School District I know what a difference stable housing makes to student achievement. Unfortunately, a large percentage of families in our community face housing insecurity. The Colonia Paz I will help address the critical shortage of affordable housing for low income individuals and families in Linn County. FHDC is known for working with community stakeholders to integrate marginalized families and individuals into the larger community. FHDC building designs include community room/centers, which are open to other social services and non and governmental organizations at no cost. These centers have become a hub for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to the FHDC application for the development of Colonia Paz I.

Thank you for your consideration of this matter.

Sincerely,
Carmen Robinson
39345 Plagmann Drive
Lebanon, OR 97355
eveningstarfarm@centurytel.net



July 21, 2020

Planning Commission
City of Lebanon
925 S. Main Street
Lebanon, OR 97355

Dear Planning Commissioners:

The Fair Housing Council of Oregon (FHCO) is submitting this letter regarding AR-20-05, a proposal for the development of 24 units of affordable housing on a currently vacant property. FHCO is a statewide civil rights organization whose mission is to eliminate housing discrimination through access to enforcement and education. FHCO promotes equal access to housing by providing education, outreach, technical assistance, and enforcement opportunities specifically related to federal, state, and local fair housing laws.

FHCO is in support of the development of Colonia Paz I, the FHDC proposal for 24-units. This project will go a long way to meeting the affordable housing need on property that is currently zoned for multi-family. The application meets all the requisite code provisions. The Colonia Paz I will contribute to the critical shortage of affordable housing for low-income individuals and families in Linn County.

The Fair Housing Act was passed in 1968 and ensures that people are not treated differently in housing contexts based on protected classes. Protected classes includes race, color, national origin, religion, gender, familial status and individuals with physical or mental disabilities, including mental disabilities that relate to conditions such as substance abuse or various other mental health issues. 42 U.S.C. § 3602(h)(1). The Act makes it illegal to “discriminate in the sale or rental, or to otherwise make unavailable or deny a dwelling to any buyer or renter because of a handicap of... a person residing in or intending to reside in a dwelling.” 42 U.S.C. § 3604(f)(1)(B). The Fair Housing Act applies to jurisdictions including jurisdictional processes of zoning and land use regulations.

I hope you will give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and consideration. Please do not hesitate in contacting me directly if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Allan Lazo". The signature is written in a cursive, flowing style.

Allan Lazo, Executive Director



Main Office • 133 SW 2nd Ave, Ste 201 • Portland, OR 97204
Willamette Valley Office • 454 Willamette St, Ste 213 • Eugene, OR 97401
Southern Oregon Office • PO Box 2442 • Grants Pass, OR 97528

July 22, 2020

Sent by e-mail to: khart@ci.lebanon.or.us

City of Lebanon
Planning Commission
925 S. Main Street
Lebanon, OR 97355

Re: AR 20-05, Colonia Paz I

We write today in support of the proposal by the Farmworker Housing Development Corporation for a 24-unit residential development.

1000 Friends of Oregon is a nonprofit, membership organization that has worked with Oregonians for more than 40 years to support livable urban and rural communities; protect family farms, forests and natural areas; and provide transportation and housing choice. Our work includes ensuring that the promise of Oregon's Goal 10, Housing, is implemented inside Oregon's cities and towns with policies that both encourage and require needed, diverse, and affordable housing choices for all. Specifically, Goal 10 requires that the local land use plans of every town and city:

“encourage the availability of adequate numbers of needed housing units at price ranges and rent levels which are commensurate with the financial capabilities of Oregon households and allow for flexibility of housing location, type and density.”

The FHDC proposal for Colonia Paz I is for an area that is already zoned multi-family and, as we understand, the application meets the applicable zoning code provisions. Colonia Paz I will contribute significantly to meeting the need for affordable housing of low-income individuals and families in Linn County. FHDC has an established history of working with localities to develop well-design, functional housing that both creates community and integrates into its surroundings. Finally, the proposal supports the local, thriving agricultural economy.

We recommend that you approve the FHDC application for the development of Colonia Paz I. Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink that reads "Mary Kyle McCurdy".

Mary Kyle McCurdy, Deputy Director

From: [James Henne](#)
To: [Kelly Hart](#)
Subject: Proposal for 24 - units in Linn County
Date: Wednesday, July 22, 2020 4:27:06 PM

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To The Lebanon Planning Commission

I am writing in support of the development of Colonia Paz I FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

The Colonia Paz I will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalized families and individuals into the larger community. Over the last 30 years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC's vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non- and governmental organizations at no cost. They have become a hub for youth summer and after-school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution, and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to FHDC's application for the development of Colonia Paz I. Thank you for your time and attention to this matter.

James Henne
757-243-1128
870 Glenwood St, Lebanon OR

From: [Karen Sorensson](#)
To: [Kelly Hart](#)
Subject: Colonia Paz
Date: Wednesday, July 22, 2020 4:24:37 PM

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To The Lebanon Planning Commission

As a community member and nurse at our community hospital, I am writing in support of the development of Colonia Paz I FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

The Colonia Paz I will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalized families and individuals into the larger community. Over the last 30 years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC's vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non- and governmental organizations at no cost. They have become a hub for youth summer and after-school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution, and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to FHDC's application for the development of Colonia Paz I. Thank you for your time and attention to this matter.

Karen Sorensson, RN
757-243-1128
870 Glenwood St, Lebanon OR

-

From: [Ebba Haines](#)
To: [Kelly Hart](#)
Subject: Proposal for 24 - units in Linn County
Date: Wednesday, July 22, 2020 4:12:38 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

To The Lebanon Planning Commission

I am writing in support of the development of Colonia Paz I FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

The Colonia Paz I will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalized families and individuals into the larger community. Over the last 30 years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC's vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non- and governmental organizations at no cost. They have become a hub for youth summer and after-school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution, and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to FHDC's application for the development of Colonia Paz I. Thank you for your time and attention to this matter.

Ebba Haines
540-613-5138
870 Glenwood St, Lebanon OR



*Housing Oregon
Board members:*

*Sheila Stiley,
Board chair – NW
Coastal Housing*

*Diane Linn,
Vice-chair - Proud
Ground*

*Travis Phillips,
Secretary –
Catholic Charities
of Oregon*

*Trell Anderson,
Treasurer –NW
Housing
Alternatives*

*Rachael Duke -
Community
Partners for
Affordable Housing*

*Ernesto Fonseca -
Hacienda CDC*

*Nkenge Harmon
Johnson – Urban
League of Portland*

*Sean Hubert-
Central City
Concern*

*Richard Morrow –
Columbia Cascade
Housing Corp.*

*Arielle Reid –
NeighborWorks
Umpqua*

*Lisa Rogers –
CASA of Oregon*

July 22, 2020

khart@ci.lebanon.or.us
Lebanon Planning Commission
City of Lebanon
925 S. Main St
Lebanon, OR 97355

Dear Lebanon Planning Commission:

Housing Oregon is writing in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

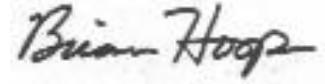
The Colonia Paz I, will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalize families and individuals into the larger community. Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non and governmental organizations at no cost. They have become a HUB for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter. And please do not hesitate in contacting me directly if you have any questions.

Housing Oregon is a membership-based statewide association of 50 affordable housing Community Development Corporations (CDCs) committed to serving and supporting low-income Oregonians across the housing needs spectrum – from homeless to homeowner. We are

working towards a day when every Oregonian has a safe and healthy place to call home.

Sincerely,

A handwritten signature in black ink that reads "Brian Hoop". The signature is written in a cursive, slightly slanted style.

Brian Hoop
Director
Housing Oregon



7-21-20

To The Lebanon Planning Commission

I am writing in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on property that is zoned for multi-family and an application that meets all the requisite code provisions.

The Colonia Paz I, will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. As you know, FHDC has a long and impressive track record of working with community stakeholders to integrate marginalize families and individuals into the larger community. Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC vision and expertise working with low-income families shows in their building designs, which includes a community room/center. The community rooms/centers are open to other social services and non and governmental organizations at no cost. They have become a HUB for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

I hope you will give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter. And please do not hesitate in contacting me directly if you have any questions.

James Lutz

From: [Pastor Patricia Hughes](#)
To: [Kelly Hart](#)
Subject: in support
Date: Wednesday, July 22, 2020 6:54:57 PM

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

I am writing to support the work of Farmworker Housing Development Corporation (FHDC) and its plan to develop the 24 unit Colonia Paz in Lebanon,

Please support Colonia Paz. FHDC will enhance education, family resources, wellness information and shelter—a great asset to essential workers and the city of Lebanon.

I am pastor of a congregation in Salem, Oregon who is interested in supporting those who struggle for equality and the right to work. Please help these individuals.

I am open to speaking to you personally about the importance of providing housing for these individuals.

Thank you

Reverend Patricia Wolf Hughes, Holy Cross Lutheran Church, 1998 Lansing Ave NE, Salem, OR 97301

July 18, 2020

Dear Lebanon City Council:

I would like to share a story and some thoughts and ideas about housing in Linn county that I would like for you to consider, especially since we have a currently proposed opportunity.

Milwaukee Wisconsin public health statistics read like this: infant mortality is three times higher, life expectancy is 14 years shorter, and there are gaping disparities in education, income, and health for non-white citizens that had been rooted in generations of anti-Black racism and the chronic stress it is still causing and as a result of these numbers, in May 2019, the city declared racism a public health crisis. Making the link between racism and health took some persuading, especially since there is a population that does not have this experience. The reaction was, "I'm not a racist." But that is personal racism. What the city is addressing is structural racism (see definition below).

Milwaukee started this journey by conducting racial bias training in their county and creating a new budgeting tool to help make decisions that factor in racial equity (see definition below). With a new tool, it was discovered that housing assistance was a great need and they have shifted their county funds to meet housing needs.

Today in Linn county there is a proposal for a 24 unit development called Colonia Paz I and there is an anti-immigration group protesting it. It is an act of structural racism (see definition below) to group together to ban seasonal immigrant employees from working in this county and prevent them from having a roof to protect them after gathering our county's harvest all day. Also, there are Latin people in Linn county that work as farmers and laborers and are either legal residents or citizens. Will you make this group of people feel included and protected in their home county with a vote against this development? Or oppressed (see definition below)? It is also a prejudicial misnomer to think all Latin people working in farming are seasonal immigrant employees and even if they are, this is a temporary seasonal situation. Even injustice crusader Cesar Chavez had his dark night of the soul when he accused seasonal immigrant employee strikebreakers as "illegal" when he was protesting the United Fruit Company (UFC) injustices of work, pay, and housing conditions (Citation: Pawel, Miriam (2014). *The Crusades of Cesar Chavez: A Biography*. New York: Bloomsbury Press. ISBN 978-1-60819-710-1.). Please don't let this be the city of Lebanon's, The City That Friendliness Built, be its dark night of the soul too.

Linn county has no declaration of addressing the disparities our state has calculated, by county, as it relates to housing, education, and wage. There is no county-wide racial bias training. There is no new budgeting tool to help make different decisions that factor in racial equity and generational poverty as it relates to housing, health, jobs, education.

There are Lebanon citizens that protested in June for such things; will you wait until they vote for a new city council if they do not see change? Here is an opportunity to not sit on the sidelines of the housing issue.

One apartment complex in this city, purchased in 2019 by an outside LLC, raised rents 21.5 percent in 2019, in 2020, raised rents 11.5 percent and more. They can do this because the property is under 15 years old, but they can also do it because the city hasn't had the impetus to create a safety cushion for its citizens. Here are three basic solutions to a situation like this and other housing disparities in Lebanon:

1. Since this property is located in the only high poverty hot spot in the city of Lebanon, why not create a local ordinance that says something to the effect of: until this area is out of this statistical high poverty bracket, there will be rent control in this geographic area and once gone, the rent control will be lifted.
2. Another local ordinance can be for every new condo, apartment, townhouse development, 15 percent of it must be designated for below the poverty level.; this is a basic ordinance that some cities with housing inequity in both California and Oregon institute.
3. Right now, you have many pending evictions in the city of Lebanon due to people losing their jobs from the COVID-19 virus. Something creative can be done here too, yet the city of Lebanon is doing nothing about that either.

But now, the city of Lebanon has an opportunity to build housing for people gathering the city’s harvest. I would suggest that if the anti-immigration people have anyone in mind that would like to work for this farm outfit and be eligible for this housing, they apply.

I am writing in support of the development of Colonia Paz I, FHDC proposal for 24-units in AR 20-05 that is zoned for multi-family and meets requisite code provisions.

I fear that in sharing my support to Colonia Paz I, I can be silently targeted and discarded. I hope that will not be the case with the friends I have met and served business and fun in this city. After all, I am speaking from personal experience with the issues of housing in the city of Lebanon.

P.S. The following terms (some are used in this letter) are being used in the current dialogue our nation and world is having that are a new part of the global conversation on discrimination and are included because I would like to see these items included in a city-wide and county-wide racial bias training (incorporating concepts of Diversity, Equity and Inclusion (DEI), along with a new budgeting tool in the hopes of creating a gap closure in the generational and racial poverty and opportunity disparities in the city of Lebanon and Linn county.

All the best,

Jennifer Puccio
 City of Lebanon resident
 City of Lebanon Chamber of Commerce member
 Trees & Trails Advisory Committee, City of Lebanon

TERM	DEFINITION
Discrimination	As it relates to people, making a distinction in favor of or against a person based on the group, class, or category to which that person belongs rather than on individual merit.
Harassment	The act or an instance of disturbing, pestering, or troubling repeatedly; persecution.
Diversity	Inclusion of individuals representing more than one national origin, color, religion, class, gender, sexual orientation, etc.

	It has come to refer to the various backgrounds and races that comprise a community, nation, or other grouping — not only acknowledging the distinctiveness of others but appreciating those differences.
Equity	The quality of being fair and impartial. In the context of those from various backgrounds and races, the focus is to provide access to populations that historically have different levels of access to opportunity. For example, creating a building structure in such a way that no additional supports need to be put in place for different groups; the structure is created for all levels of access (i.e., no need to build ramps if all entrances do not have stairs).
Inclusion	Process of bringing traditionally excluded and/or underrepresented individuals and groups into processes, activities, decisions, and policy making.
Racism	Prejudice, discrimination, or antagonism directed against a person or people based on their racial or ethnic group, typically one that is a minority or marginalized. A belief that different races possess distinct characteristics, abilities, or qualities that distinguish them as inferior or superior to one another. Hatred or intolerance of another race or other races.
Institutional racism	Refers to the policies and practices within and across institutions that, intentionally or not, produce outcomes that chronically favor, or put a racial group at a disadvantage. Examples can be found in school disciplinary policies where students of color are punished at much higher rates than their white counterparts, the criminal justice system, and many employment sectors where daily operations and hiring and firing practices can significantly disadvantage workers of color.
Structural racism	A system in which public policies, institutional practices, cultural representation, and other norms work in various, often reinforcing ways, to perpetuate racial inequality. It identifies dimensions of our history and culture that have allowed privileges associated with “whiteness” and disadvantages associated with “color” to endure and adapt over time, becoming a feature of the social, economic, and political systems in which, we all exist. These dimensions shape our attitudes and judgments about social issues, national values, and become a historical accumulation of privilege and culture gaps.
Oppression	Systemic exercise of authority or power in a burdensome, cruel, or unjust manner. As it relates to race, a restraint that curtails opportunity, a person’s life choices and sense of possibility and ultimately, creates a disempowerment of subordinated and/or targeted groups, which permeates most aspects of life in a society and manifests as bigotry, institutional and systemic discrimination, personal bias, etc.
Privilege	A right, immunity, or benefit enjoyed only by a person beyond the advantages of most due to their social group membership (i.e., race, wealth).

White privilege	A phrase used to describe a head start associated with “whiteness” due to hundreds of years of institutional and structural racism that disenfranchises people of color in areas of quality education, decent jobs, livable wages, home ownership, retirement benefits, wealth, etc. It does not say life is not difficult for those with lighter skin but that one’s skin color hasn’t contributed to the difficulty in a white person’s life and generally, this invisible package of unearned assets is not obvious to the person.
Racial equity	A condition achieved if one’s racial identity no longer predicted how one fares and the distribution of society’s benefits and burdens would not be skewed by race. This state would be a reality if a person is no more or less likely to experience society’s benefits or burdens due to skin color. This concept holds society to a higher standard, demanding we pay attention not only to individual discrimination but to overall social outcomes that point to persons of color being more likely to live in poverty, be imprisoned, drop out of high school, be unemployed and in poorer health.
Anti-racism	Active process of identifying and eliminating racism by changing systems, organizational structures, policies, practices, and attitudes so power is redistributed and shared equitably. It is the practice of identifying, challenging, and changing values, structures, and behaviors that perpetuate racism, starting with oneself.
Anti-racist proponent	A person seeking to learn more about how they have been affected by institutional racism, regardless of race, and to actively seek change in societal norms through a variety of means – discourse, changing organizational policies and practices, protesting, etc. – to help build an equitable society.
Ally	A person from a non-marginalized group uses their privilege to advocate for a marginalized group and help change the systems that challenge that group’s basic rights, equal access, and ability to thrive in our society.
Code-switching	In linguistics, it occurs when a speaker alternates between two or more languages or language varieties; one reason is to express group identification. However, due to structural inequality and centuries of segregation, different cultural norms and ways of speaking emerged among white and black American and since the dominant culture is white, and whiteness is acknowledged in institutions as natural, normal and legitimate, there is more incentive for people of color to adapt to the dominant culture to improve their prospects. White Americans rarely, if ever, feel this same pressure in their daily lives. As a result, it can be mentally taxing, even demoralizing, if one must hide or adjust parts of oneself.
Acculturation	Process of adopting the cultural traits or social patterns of another group.
Enculturation	Process whereby individuals learn their group’s culture through experience, observation, and instruction.



Planning Application AR-20-05
Applicant Record Submittal



Jennifer M. Bragar
Attorney
Admitted in Oregon, Washington,
and California
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Portland, Oregon 97204
Tel 503-894-9900
Fax 971-544-7236
www.tomasilegal.com

July 22, 2020

BY EMAIL

Chair Salvage and Planning Commissioners
c/o Kelly Hart
925 Main Street
Lebanon, OR 97355

Re: Applicant's Open Record Submittal
File No. AR 20-05

Dear Chair Salvage and Commissioners:

As you know this office represents the applicant, Farmworker Housing Development Corporation ("Applicant" or "FHDC"), in the above-referenced file. The proposed development of 24-units of affordable housing is located at the western terminus of Weldwood Drive ("subject property" or "site"). FHDC has named the development Colonia Paz I. After considering comments made at the public hearing, and reviewing comments submitted to the record through July 15, 2020, the Applicant provides this additional information in response. Please accept these comments and additional information that further supports approval of this application and include this letter and the attachments in the record.

I. Colonia Paz Operations

While many comments did not address land use criteria, in an effort to be responsive to the range of information provided in public comments, the Applicant offers additional information to explain how the subject property is well-suited for the proposed use and how FHDC will offer services for the residents of Colonia Paz I. Before this description, FHDC alerts the Planning Commission to protections under the Fair Housing Act as amended ("FHA"). Since the comments the Applicant responds to here can be construed to be race-based comments, this letter points out that review of this application cannot be decided on race-based characteristics of the individuals who will live at the site, but must be based on the ability of the Applicant to meet the applicable land use approval criteria.

The FHA declares that "it is the policy of the United States to provide, within constitutional limitations, for fair housing throughout the United States." 42 U.S.C. § 3601. To achieve this goal, the FHA makes it unlawful to "make unavailable or deny, a dwelling to any person because of race, color, religion, sex, familial status, or national origin. 42 U.S.C. § 3604(a). A denial here based on comments such as the request to build a "wall" that is 10-20 feet, when the Lebanon Development Code ("LDC") provides for a maximum height of 8 feet if a developer uses masonry fencing under LDC 16.150.030.D and prohibits hedges over 8 feet tall

under LDC 16.15.060.A.4.c could violate the FHA. In Applicant's view, the commenter is submitting barely veiled race-based comments with reference to a wall being constructed in the southern United States to hinder illegal migration. See Attachment 1. These types of comments, as well as references to English as a second language for children who may live in Colonia Paz; fear that the neighborhood will no longer be quiet or safe; claims that property value will be reduced; that the residents themselves should be counseled about cultural differences, laws and rules "for their own protection;" potential threats of violence against farmworker residents; and requests for a "liaison officer" are race-based comments that do not address land use criteria. The comment about second language students, in addition to focusing on race, also violates the FHA as a comment based on familial status of the potential residents of the development. Further, comments that raise questions like "what kind of farmworkers would be housing in our area" also show unfounded race-based fears about the development. Given this background, the Applicant offers the following description of its development.

Tellingly, FHDC proposed the name Colonia Paz for this development. Colonia Paz translates to "Community of Peace." Based on its over 30 years of experience, FHDC is well-placed to begin development of the subject property with farmworker housing, with much financial support through the United States Department of Agriculture ("USDA"). The USDA will fund site acquisition and development. See Attachment 2, an excerpt of the government funding application the development, reflecting USDA's award of funds and the need for affordable housing in this poverty hotspot. Colonia Paz is targeted to farmworkers and their families earning less than 70% area median income ("AMI"), with 62% of the units targeted to families with incomes below 50% AMI, and 10% to families at or below 30% AMI. Colonia Paz has received Rental Assistance from USDA Rural Development, ensuring most tenants pay no more than 30% of their income toward rent. The operations of Colonia Paz are explained below to clarify any misconceptions and to provide a better understanding of the proposed use as stable housing for area farmworkers and attendant services, including benefits to surrounding property owners.

The consideration of surrounding property values are not one of the approval criteria for this development and in the context of the comments made improperly focus on the character of the potential residents at Colonia Paz. Nonetheless, FHDC reviewed property valuation for properties that share a direct boundary or are adjacent to an existing FHDC development in Marion County. See Attachment 3. For each property listed, the values have steadily increased over the summarized nine year period from 2009 – 2018. The only exception is an old quarry site that is now government owned, and is not comparable to any site near the proposed application. While 17 out of 74 properties in Attachment 3 show some reduction over the time period, all non-FHDC properties, including those with reductions, have equal or greater value than they did in 2009. These reductions are mentioned as reported facts, not as a correlation to the FHDC developments, as there are many reasons why a single property could see a reduction in value. Overall, the properties surrounding FHDC developments have increased in value over time, benefiting in wealth generation for the subject owners from the new construction and well-maintained FHDC developments.

FHDC is committed, as it has done across all of its developed properties in Oregon, to create a community. The development is intended to serve year-round agricultural workers in and near Lebanon. This community building is shown through the design elements that include pedestrian friendly design, ample bicycle parking, and outdoor recreation space including a covered eating area and children's' playground.

In addition, the funding for the development will include a budget for an onsite property manager to maintain the property in good repair, as well as fund a resident service coordinator. The resident service coordinator will link residents to service providers, including health providers, school representatives, and other resources to help the farmworkers stabilize other aspects of their lives and participate in Lebanon activities. Further, FHDC typically has neighborhood meetings to invite neighboring property owners to meet and learn about the farmworker community. Such activities have included community discussions, shared use of onsite garden harvests, community celebrations and other activities. Some of these activities to build community connections will be implemented at Colonia Paz.

As described at the Planning Commission hearing, FHDC has engaged with community leaders over the past year, including the school district, local volunteer-organizations, and faith-based communities, to learn about the fabric of support that will be available for future residents at Colonia Paz. Letters of support from community partners and individuals are included here as Attachment 4. Each letter has a consistent theme – that FHDC's developments do create a community that helps farmworkers and their families by providing new opportunities to help them reach the American Dream, while they work daily to feed America.

II. Only clear and objective standards can be applied to this proposal.

The application is for multifamily units that qualify as needed housing under state law. See ORS 197.303(1)(a). As a result, the Applicant reserves the right to request that the City apply only "clear and objective standards, conditions, and procedures" to the development. ORS 197.307(4). As a result of public comment, the Applicant is submitting a supplement narrative. See Attachment 5. The Applicant specifically identifies those criteria that do not contain clear and objective standards in the supplemental narrative and objects to the use of such standards in review of this application.

III. FHDC addresses soil conditions and confirms the onsite stormwater control system is designed to collect runoff from new impervious surfaces and to better control offsite runoff.

A member of the public, Ronald Edwards, generally raised concerns about whether the Applicant had performed a geotechnical study to determine the subject property could be developed as proposed. In addition, another comment raised concerns about whether the particular onsite soils would have poor infiltration.

The Applicant's materials included a preliminary grading and drainage plan as Sheet C-2.1. In addition, the Applicant performed a Geotechnical Report and provides findings pertinent

to Colonia Paz I in Attachment 6. This report concludes that the site can be engineered to address soil and groundwater conditions and recommends certain actions that the Applicant can feasibly undertake during development to address geotechnical matters.

All stormwater will be captured onsite. In addition, Applicant's civil engineer describes that water will infiltrate through landscaped bioswales, and underground infiltration chambers after capture, but will not change the course of natural flow from the predevelopment site conditions. Prior to release through infiltration, surface waters will run through sumps or swales to prevent pollutants from entering the environment. Attachment 7. The proposed development will not impact offsite flow direction, but will control stormwater on site through the drainage plan that is designed to capture runoff from new impervious surface.

Based on the Geotechnical Report included in this open record submittal and other application materials in the record, the proposed engineered stormwater system on the subject property provides information in the record to show the development can feasibly be constructed to meet the code requirements and addresses the vague concerns raised by the public.

IV. Well and Wetland Concerns

Several neighbors signed a joint letter raising concerns about potential impacts to their well water from development of this property. Other comments questioned whether the proposed development would adversely affect a wetland located northwest of the proposed development. FHDC attaches its Wetlands Delineation Report as Attachment 8. On page 45 of Attachment 8, the delineated wetlands area is depicted. The Applicant retained a EVREN Northwest, Inc. ("EVREN") to prepare a limited hydrogeological evaluation to analyze FHDC's Geotechnical Report, Wetlands Delineation, proposed stormwater design, and data about surrounding wells. The EVREN Technical Memorandum is attached hereto as Attachment 9.

As the memorandum describes and concludes:

"nearby wells derive their water from a regional ground water aquifer at depths that are hydraulically separated from overlying perched ground water and local infiltration. The regional aquifer covers a broad geographic area and is likely recharged from areas distal to the site. Very little if an replenishment of the aquifer is from surface infiltration near the proposed development site."

Based on this review, EVREN concludes the development will not have a significant impact on surrounding well water quantity or quality.

Further, the memorandum describes the location of nearby wetlands and concludes that based on the storm water design, treatment plan, and infiltration, the shallow groundwater hydrology that feeds the wetlands will not be significantly impacted by the proposed development. Therefore, this application will not have significant impact on surrounding wells or wetlands.

V. Other neighborhood concerns are addressed.

Many public comments seek to direct the development of traffic improvements related to access, traffic impacts, and onsite parking. The Applicant has addressed the applicable criteria in greater detail in the attached supplemental narrative. Attachment 5, see especially Applicant's response to specific criteria raised in public comments, including LDC 16.12.030.G and I. Moreover, any future development on property surrounding the subject property will be required to submit application materials and be reviewed on its own merits.

In addition, all onsite parking requirements have been met. Although some comments make vague remarks about on-street parking demands, on-street parking is equally available to anyone who desires to use the spaces at a particular time. The City of Lebanon will govern on-street parking allowances on the extension of Weldwood Drive. Further, some comments were made about connecting Weldwood as a through street. However, the Applicant will not connect the Weldwood extension through the private road portion of Weldwood as it traverses the nearby manufactured home park. Therefore, the extension of Weldwood Drive will be limited to traffic impacts from this development, and there is no indication that pedestrians will be unable to follow traffic patterns associated with the driveway access to the proposed development, as both the right-of-way for Weldwood Drive, and the driveway width meet LDC requirements.

One comment related to maintenance of landscaped area. Under the code, failure to maintain landscaping is a code violation and subject to enforcement. Therefore, no separate condition of approval or response from Applicant is required.

Applicant's civil engineer and the City's environmental management staff corresponded about the availability of water and sewer to serve the proposed development. See Attachment 10. In addition, as this proposed development is an allowed use under the zoning, the City has planned adequate public facilities to serve the site as part of its comprehensive plan, and its facilities master plan. The City may rely on its own staff's expertise to find that adequate public facilities are available to serve this development.

Further, the public facilities approval criteria relate to utilities like water and sewer. The City's definition of public facilities does not include schools. The Lebanon Community Schools has been notified of this application and did not provide comments about interference with school planning and capacity. Further, the school district had an opportunity to comment when zoning decisions were made, and yet this parcel has been zoned for mixed use, where the multi-family use proposed here is listed as an allowed use. For these reasons, the Applicant is not required to take further action in meeting school district planning capacity. Notwithstanding the foregoing, the Applicant notes that the school district, in its Student Investment Action Grant Application, has requested nearly \$1 million in funds to reduce class size. Attachment 11.

One public comment raised a question about why no archaeological study was included in the application materials. The subject property is not on the Lebanon historic register and has no identified historic resource of statewide significance, therefore, no archaeological study is

required. See also Attachment 5, Applicant's supplemental narrative with additional response to LDC 16.31.040.

Several comments suggest that the Applicant should be subject to the approval criteria for a planned development. Under LDC 16.23.010.E an applicant may elect to develop a project as a planned development. However, FHDC did not elect to apply for a planned development. Therefore, LDC Ch. 16.23 does not apply to this application.

Finally, other public comments appear to request direct application of Comprehensive Plan policies. However, the LDC implements the City's Comprehensive Plan for allowed uses, such as this proposed development, and no applicable code provision requires direct application of the Comprehensive Plan.

Based on the foregoing, none of the public comments raised during the review process provide grounds to deny the application.

VI. FHDC Requests Modification of the Conditions of Approval.

The Applicant requests a number of modifications of the conditions of approval to address concerns raised by the public, as well as to more accurately reflect the proposed development under consideration in this application.

First, for the reasons set forth in the supplement narrative in Attachment 5, condition of approval 1.a should be modified to reflect the Applicant's proposal and read as follows:

1.a. A landscape plan shall be submitted in compliance with Chapter 16.15 and approved prior to the issuance of a building permit, without application of subjective standards. The landscape plan shall include a six-foot tall site obscuring fence of chain link with vinyl slats along the south and east property lines as delineated in the Minor Land Partition in condition 1.d, with a minimum five foot landscape buffer.

Second, the Applicant's supplemental narrative in Attachment 5 proposes particular landscaping and illumination specifications. Based on this submittal, condition of approval 3 Engineering Department e should be modified to read,

1.e. Provide a landscape and illumination plan as part of the engineering site plan review plan set consistent with the Applicant's representations about landscaping and illumination in its supplemental narrative submitted July 22, 2020.

Third, the Applicant requests removal of conditions of approval 3, Transportation, c and d. As the staff report, and information requested in Applicant's July 16, 2020 letter to the Planning Director indicate, staff determines whether a traffic impact analysis is required. Since the staff determined no traffic impact analysis is required, the conditions of approval should not discuss the traffic impact analysis that will be required at a later date when the Applicant pursues

future development. No mitigation under a traffic impact analysis is required here, and references to the analysis in the conditions of approval should be removed.

Fourth, condition of approval 3, Storm Drainage a, needs to be modified. The current first sentence is not clear and objective and does not match the test for storm drainage impacts to adjacent properties. Where the Applicant does not change the natural flow of water to neighboring properties by the proposed development, it is under no duty to control the water runoff. *Garbarino v. Van Cleave*, 214 Or 554, 561 (1958). The Applicant's civil engineer has submitted Attachment 7 to show that the historical rate and natural flow of water to adjacent properties will be maintained. Therefore, the first sentence of this condition should be removed and the condition of approval should read:

- a. Storm drainage facilities must be designed and constructed to ensure historical rates of discharge are not exceeded. Storm drain capacity shall be determined by the Rational Method for a 10-year event with a 15-minute minimum durations time using the curve (fig 5.3) in the master plan. A detailed design including engineering calculations shall be submitted as part of site plan review.

CONCLUSION

Based on the foregoing information, the Applicant's narrative, and the established need for farmworker housing in Lebanon, the Applicant respectfully requests approval of this application.

Sincerely,



Jennifer M. Bragar

Attachments
cc: client

Attachment #1

NEWS

Construction starts on border wall in Arizona with plans to build 450 miles of fencing by next year



This picture taken on August 28, 2019 shows a portion of the wall on the US-Mexico border seen from Chihuahua State in Mexico, some 100 km from the city of Ciudad Juarez. The US Defence Department said on September 3 it was freeing up \$3.6 billion in funds budgeted for other projects to build a wall on the Mexican border as ordered by President Donald Trump. Six weeks after being confirmed by Congress, Defence Secretary Mike Esper has signed off on the diversion of funds, said Pentagon spokesman Jonathan Hoffmann. (Photo credit Herika Martinez/AFP/Getty Images)

YUMA, Ariz. (AP) — On a dirt road past rows of date trees, just feet from a dry section of Colorado River, a small construction crew is putting up a towering border wall that the government hopes will reduce — for good — the flow of immigrants who cross the U.S.-Mexico border illegally.

Cicadas buzz and heavy equipment rumbles and beeps before it lowers 30-foot-tall (9-meters-tall) sections of fence into the dirt. “Ahí está!” — “There it is!” — a Spanish-speaking member of the crew says as the men straighten the sections into the ground. Nearby, workers pull dates from palm trees, not far from the cotton fields that cars pass on the drive to the border.

South of Yuma, Arizona, the tall brown bollards rising against a cloudless desert sky will replace much shorter barriers that are meant to keep out cars, but not people.

This 5-mile (8-kilometer) section of fencing is where President Donald Trump’s most salient campaign promise — to build a wall along the entire southern border — is taking shape.

The president and his administration said this week that they plan on building between 450 and 500 miles (724 and 806 kilometers) of fencing along the nearly 2,000-mile (3,218-kilometer) border by the end of 2020, an ambitious undertaking funded by billions of defense dollars that had been earmarked for things like military base schools, target ranges and maintenance facilities.

Two other Pentagon-funded construction projects in New Mexico and Arizona are underway, but some are skeptical that so many miles of wall can be built in such a short amount of time. The government is up against last-minute construction hiccups, funding issues and legal challenges from environmentalists and property owners whose land sits on the border.

play out in immigration court.

In Yuma, the defense-funded section of tall fencing is replacing shorter barriers that U.S. officials say are less efficient.

It comes amid a steep increase since last year in the number of migrant families who cross the border illegally in the Yuma area, often turning themselves in to Border Patrol agents. Many are fleeing extreme poverty and violence, and [some are seeking asylum](#).

So far this year, Border Patrol agents in the Yuma sector have apprehended over 51,000 family units. That's compared with just over 14,500 the year before — about a 250% increase.

The Yuma sector is the third busiest along the southern border, with officials building a temporary, 500-person tent facility in the parking lot of the Border Patrol's Yuma headquarters in June.

It spent just under \$15 million for the setup and services for four months, including meals, laundry and security, but officials are evaluating whether to keep it running past next month as the number of arrivals in Yuma and across the southern border have [fallen sharply](#) in recent months.

The drop is largely due to the Mexican government's efforts to stop migrants from heading north after Trump threatened tariffs earlier this year to force Mexico to act.

The number of people apprehended along the southern border fell by 61 percent between this year's high point in May and the end of August. In Yuma, it fell by 86 percent, according to government figures. Most people apprehended are

past couple of months,” Border Patrol spokesman Jose Garibay said. “They’ve just been pouring over the border due to the fact that we’ve only ever had vehicle bollards and barriers that by design only stop vehicles.”

Victor Manjarrez Jr., a former Border Patrol chief who’s now a professor at the University of Texas, El Paso, was an agent when the government put up the first stretch of barriers along the southern border — in San Diego.

He’s seen barriers evolve from easily collapsible landing mats installed by agents and the National Guard to the sophisticated, multibillion-dollar projects now being done by private contractors.

Manjarrez says tall border fencing is crucial in some areas and less helpful in others, like remote stretches of desert where shorter barriers and more technology like ground sensors would suffice.

“One form doesn’t fit in all areas, and so the fence itself is not the one solution. It’s a combination of many things,” Manjarrez said.

The ease of construction varies by place and depends on things like water, Manjarrez said, adding that just because a plot of land is flat “doesn’t mean it’s not complex.”

He said building 450 to 500 miles (724 and 806 kilometers) of fence by the end of next year would be tough if that figure doesn’t include sections of the wall that have been built recently.

“As it stands now, contractors are building pretty fast,” Manjarrez said. The real question is whether the government needs to build that much fencing, he said.

The Trump administration may face those issues along with lawsuits from

along the border with Mexico.

Near Yuma, the Cocopah Indian Tribe's reservation is near the latest fencing project, and leaders are concerned it will block the view to its sacred sites, spokesman Jonathan Athens said.

[Suggest a Correction](#)

Attachment #2

Project Name:

Colonia Paz

4.1A: Questionnaire

(B)

If New Construction or Acq/Rehab: Describe the numeric and percentage gap between your target population group and the funded affordable housing to serve that group in your community (county or city as listed above). If a project is scattered site, address this question for each project site.

Housing Inventory available online here: <http://www.oregon.gov/ohcs/Pages/research-multifamily-housing-inventory-data.aspx>

If Preservation; describe what percentage of the target geographies affordable housing is represented in this project. If a project is scattered site, address this question for each project site.

Colonia Paz is a new construction project. According to the OHCS affordable housing inventory, there is a shortage of 1,744 affordable housing units in Linn County. Linn County's equitable distribution is 2.7% when compared to the entire number of affordable housing units at the state level. Based on this inequitable distribution estimate in Linn County, even if we added 24 units of affordable housing per year, not adjusting for population growth, it would take the next 73 years to equitable distribution. Realistically, due to population growth and the limited resources for affordable housing, Linn County is likely to remain underserved for at least the next three decades. The addition of Colonia Paz's 24 units of affordable housing is particularly critical to address the need in Linn County.

According to OHCS data, most of the current rental stock in Linn County is newer than 1950 (81%), however, over 25% in Linn County are severely rent burdened, paying more than 50% of household income on rent. Additionally, 24% of the Lebanon's population received Food Stamps/SNAP benefits, and 11% are without health insurance, also considerably above County and State percentages. The majority of Farmworker Housing Development Corporation's (FHDC) communities are rurally located, low-income families averaging approximately \$26,000 a year for a family of four.

According to the Linn-Benton Housing Authority (LBHA), there are 2,882 households on its waiting list for housing assistance, including 443 households in Lebanon, including 139 families with children. LBHA provided a letter of support for the development of Colonia Paz, and it's included in section 2 of this application.

Colonia Paz will be the first affordable housing property for agricultural workers and their families in Linn County. Colonia Paz will help ease the burden providing, quality affordable housing and create workforce housing critical to the agricultural industry in Linn County.

In September 2018, Colonia Paz received a \$3,000,000 loan and grant combination from USDA Rural Development, and 23 units of Rental Assistance. This allows us to serve the lowest income farmworkers in Linn County.

Scoring Criteria:

Severity of Need Measures:
city / county vs State

	3 points	2 points	1 point	-1 point
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Attachment #3

Summary of Change of Property Valuation for Properties near existing FHDC Developments in Marion County

Data Sourced from Marion County Assessor's Office Property Records Online - <https://mcasr.co.marion.or.us/>
 FHDC Sites are the first entry in each list. All other properties share a direct boundary or are adjacent to the subject property.

Tax exempt sites are not included in these lists except for subject properties.
 Entries in orange saw a decrease in value at some point between 2009 and 2018, see notes for details.

Colonia Libertad Limited Partnership (48 units)

Tax Account	2009	2018	Downturns?	SFH/MFH/Comm	Notes
CLLP/529424	\$ 2,779,980	\$ 2,641,220	Yes	MFH	Slip from 2.7 mil to 1.9 mil between 2009 and 2010. Continued increase every year since.
529425	\$ 108,210	\$ 141,150	No	SFH	Steady increase in value, no reductions.
529429	\$ 131,280	\$ 171,240	No	SFH	Steady increase in value, no reductions.
529430	\$ 1,081,210	\$ 1,410,680	No	MFH	Steady increase in value, no reductions.
529470	\$ 1,591,560	\$ 2,017,580	No	MFH	Steady increase in value, no reductions.
530037	\$ 99,300	\$ 126,950	No	Undeveloped	Steady increase in value, no reductions.
529507	\$ 5,548,330	\$ 1,687,360	Yes	Comm/City	Quarry space, bought by City of Salem in 2012. Large decline in value after purchase, which has increased steadily each year.

0.175676

Westside Apartments (24 units)

Tax Account	2009	2018	Downturns?	SFH/MFH/COMM	Notes
WS/534177	291,150	379,840	No	MFH	Steady increase in value, no reductions.
534173	1,237,480	1,352,210	Yes	MFH	Drop in 2013 and no growth until 2018, when it returns to 1.3 mil.
534168	284,900	371,670	No	MFH	Steady increase in value, no reductions.
534169	86,180	112,390	No	SFH	Steady increase in value, no reductions.
534170	288,660	376,560	No	SFH	Steady increase in value, no reductions.
534172	95,680	124,790	No	SFH	Steady increase in value, no reductions.
534174	102,840	134,140	No	SFH	Steady increase in value, no reductions.
534166	317,650	414,390	No	COMM	Steady increase in value, no reductions. Commercial site, restaurant.
103682	122,770	160,130	No	SFH	Steady increase in value, no reductions.

Summary of Change of Property Valuation for Properties near existing FHDC Developments in Marion County

103681	138,840	181,110	No	SFH	Steady increase in value, no reductions.
103680	143,280	186,890	No	SFH	Steady increase in value, no reductions.
103673	188,060	245,320	No	SFH	Steady increase in value, no reductions.
103672	146,800	191,490	No	SFH	Steady increase in value, no reductions.

Summerset Apartments (24 units)

Tax Account	2009	2018	Downturns?	SFH/MFH/COMM	Notes
SS/529012	90,780	118,390	No	MFH	Steady increase in value, no reductions.
SS/528997	184,370	240,520	No	MFH	Steady increase in value, no reductions.
528998	118,700	154,820	No	SFH	Steady increase in value, no reductions.
529015	1,479,880	1,930,850	No	MFH	Steady increase in value, no reductions. Mobile home village.
528995	40,100	52,270	No	COMM	Steady increase in value, no reductions. Storage site, commercial zoned.
528994	1,626,860	2,122,630	No	MFH	Steady increase in value, no reductions. Apartments.
105485	193,650	245,260	Yes	SFH	One reduction in 2015 of around \$1,000, otherwise all steady increases.
105487	362,870	473,400	No	MFH	Steady increase in value, no reductions. Apartments.

Colonia Jardines (20 units)

Tax Account	2009	2018	Downturns?	SFH/MFH/COMM	Notes
CJ/520660	241,980	274,720	No	MFH	2018 number is actually 2016. Property tax exemption started in 2017.
520926	131,820	131,820	No	SFH	Steady increase in value, no reductions.
520923	270,680	353,130	No	SFH	Steady increase in value, no reductions.
520921	171,760	224,060	No	SFH	Steady increase in value, no reductions.
520922	195,370	254,860	No	SFH	Steady increase in value, no reductions.
520930	135,830	155,810	Yes	SFH	SFH with an ADU. \$14k loss in 2012, but steady increase in value since.
520661	67,140	87,560	No	SFH	Steady increase in value, no reductions.
334265	189,340	243,490	No	SFH	Steady increase in value, no reductions.
520647	192,500	383,580	No	SFH	Steady increase in value, no reductions.
334266	168,300	213,150	Yes	SFH	Decrease of \$1,000 in 2013, steady increases ever since.
334267	170,100	218,240	No	SFH	Steady increase in value, no reductions.
334268	181,060	231,650	No	SFH	Steady increase in value, no reductions.

Summary of Change of Property Valuation for Properties near existing FHDC Developments in Marion County

334269	240,510	298,710	Yes	SFH	Decrease of \$5,000 in 2013, but steady increase in value since.
334270	228,620	228,620	Yes	SFH	Decrease of \$3,000 in 2013, but steady increase in value since.
334271	231,590	300,320	No	SFH	Steady increase in value, no reductions.
334272	235,780	300,630	No	SFH	Steady increase in value, no reductions.

Nuevo Amanecer Next Generation (50 units) and RD Nuevo Amanecer (40 units) These two properties are adjacent tax lots and share the same space.

Tax Account	2009	2018	Downturns?	SFH/MFH/COMM	Notes
RDNA/512768	2,406,170	N/A	N/A	MFH	Tax exempt after 2009
NANG/512769	1,985,780	N/A	N/A	MFH	Tax exempt after 2009
512767	6,611,380	8,539,200	No	MFH	Steady increase in value, no reductions. Apartments. FHDC property Nuevo Amanecer IV. Tax exempt after 2012. Steady increase, no reductions.
512946	39,910	43,590	No	MFH	Apartments.
106469	64,850	84,570	No	SFH	Steady increase in value, no reductions.
512950	N/A	N/A	N/A	COMM	As of May 2020 undeveloped commercial site. Previously a church and tax exempt.
108522	63,060	94,830	No	SFH	Steady increase in value, no reductions.
108521	78,950	94,230	Yes	SFH	Decrease of \$8,000 in 2013, steady increase in value since.
108515	78,890	102,880	No	SFH	Steady increase in value, no reductions.
108507	86,480	112,780	No	SFH	Steady increase in value, no reductions.
108506	95,180	124,130	No	SFH	Steady increase in value, no reductions.

Nuevo Amanecer IV (40 units)

Tax Account	2009	2018	Downturns?	SFH/MFH/COMM	Notes
NAIV/512946	39,910	43,590	No	MFH	Tax exempt after 2012. Steady increase, no reductions.
512768	2,406,170	N/A	N/A	MFH	Adjacent FHDC property. Tax exempt after 2009.
512769	1,985,780	N/A	N/A	MFH	Adjacent FHDC property. Tax exempt after 2009.
512767	6,611,380	8,539,200	No	MFH	Steady increase in value, no reductions. Apartments.
512942	86,470	112,770	No	SFH	Steady increase in value, no reductions.
512943	94,960	123,860	No	SFH	Steady increase in value, no reductions.
512945	97,420	175,060	No	SFH	Steady increase in value, no reductions.

Summary of Change of Property Valuation for Properties near existing FHDC Developments in Marion County

512944	172,100	224,500	No	Comm	Steady increase in value, no reductions. Heating company.
512947	61,490	110,690	No	SFH	Steady increase in value, no reductions.
106948	71,560	93,310	No	SFH	Steady increase in value, no reductions.
106947	81,590	146,590	No	SFH	Steady increase in value, no reductions.
106946	54,550	67,050	Yes	SFH	Decrease of \$600 in 2013, steady increase in value since.
108507	86,480	112,780	No	SFH	Steady increase in value, no reductions.
108506	95,180	124,130	No	SFH	Steady increase in value, no reductions.
108508	86,230	112,460	No	SFH	Steady increase in value, no reductions.
108509	67,430	87,940	No	SFH	Steady increase in value, no reductions.
110696	93,350	121,770	No	SFH	Steady increase in value, no reductions.
110697	93,130	121,460	No	SFH	Steady increase in value, no reductions.
110681	103,730	164,550	No	SFH	Steady increase in value, no reductions.

Colonia Unidad (44 units)

Tax Account	2009	2018	Downturns?	SFH/MFH/COMM	Notes
CU/513074	N/A	N/A	N/A	MFH	Undeveloped city owned site until Unidad was finished building in late 2019.
107139	161,940	193,330	Yes	SFH	Decrease of \$16k in 2012, recovered by 2014 with steady increase in value since.
107136	142,250	169,820	Yes	SFH	Decrease of \$6,000 in 2011, recovered by 2014 with steady increase in value since.
513072	N/A	N/A	N/A	COMM/State	Oregon National Guard installation, tax exempt.
107140	122,150	159,330	No	SFH	Steady increase in value, no reductions.
107138	124,770	148,950	Yes	SFH	Decrease of \$13k in 2011, recovered by 2014 with steady increase in value since.
107137	135,390	161,630	Yes	SFH	Decrease of \$14K in 2011, recovered by 2014 with steady increase in value since.
108699	111,970	146,020	No	SFH	Steady increase in value, no reductions.
108700	885,330	1,060,170	No	MFH	Steady increase in value, no reductions.
108348	49,290	64,260	No	SFH	Steady increase in value, no reductions.
108347	49,290	64,260	No	SFH	Steady increase in value, no reductions.
108342	49,290	64,260	No	SFH	Steady increase in value, no reductions.
347479	50,760	64,260	No	SFH	Steady increase in value, no reductions.
347480	50,760	64,260	No	SFH	Steady increase in value, no reductions.
347481	50,760	64,260	No	SFH	Steady increase in value, no reductions.
107919	518,290	675,680	No	MFH	Condo complex, 16 units bordering Unidad. Figures based off of these 16 units.

Attachment #4



June, 20, 2020

To Whom It May Concern:

I am writing to describe the experience and relationship that Woodburn has had with our Farmworker Housing Development Corporation.

We began with land use planning and city council decisions regarding FHDC more than three decades ago that I imagine mirror the discussions you are having now. In those discussions many people in our community expressed wide ranging points of view and their fears. I can tell you that over the last 30 years none of the fears expressed have been realized.

Farmworker housing provided by FHDC is a net positive on many counts for any community. Structuring housing with on-site managers and staff that are there to provide support for their residents helps families maintain a stability that allows them stay in their jobs and their children in schools. Apart from the economic argument that farmworker families provide essential work that feeds our community and our nation and so should have the opportunity for decent housing, is the argument that stable families in our community are less of a drain on our city, county, police, health care system and other social service resources.

Before becoming mayor I served as a middle and high school principal in Woodburn for 12 years. I can tell you that the students living in the environments created by FHDC were, as a group, much more successful and less problematic than students that lived in regular apartment complexes, just like students from more stable neighborhoods.

We all know that when there is a sense of community and structures to support community in neighborhoods or apartment complexes, they become not only positive places to live but safer places, which makes an entire town more safe. FHDC has been amazing in providing stability and community within their apartments – enhancing the livability of our entire city.

Embracing the members of our community with the dignity and support that FHDC provides has provided untold benefits to our city as a whole. I can safely say that once through the storm of criticism and fear you are likely experiencing while weighing this decision, you will land in a place that is not only the right thing to do for your residents working on your farms, but the best thing to do for your entire city. I am more than happy to respond to any questions you have going forward in this process.

Sincerely,

A handwritten signature in blue ink, appearing to be "ES", written over a white background.

Eric Swenson,
Mayor of Woodburn

Office of the Mayor
270 Montgomery Street • Woodburn, Oregon 97071
Ph. 503-982-5228 • Fax 503-982-5243



7/18/2020

To Whom it May Concern,

Casa Latinos Unidos mission is to Build Our Community Together. We have been part of the community for over 10 years and we provide critical services to the Latinx community in Linn and Benton Counties. Today, I am writing in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05. This project will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County.

We, as a Community-Based Organization, have witnessed the affordable housing crisis through our direct contact with the community and this project will help alleviate some of that. Low-income families deserve a safe, comfortable, and affordable home to live. That is why, we support this housing project and we believe it will benefit not only the families but also the community-at-large and Lebanon's overall economy.

I hope you will consider FHDC application for the development of Colonia Paz I and please do not hesitate in contacting me if you have any questions.

Thank you,

A handwritten signature in black ink, appearing to read 'CT', is written over a stylized graphic element that resembles a house or a signature flourish.

Claudia Torres
ED, Casa Latinos Unidos

1435 SW 35th Street
Corvallis, OR 97333
Telephone: 541-766-4863
executive.director@casalatinosunidos.org
www.casalatinosunidos.org

ENLIVEN FOUNDATION

Date: July 20, 2020

Attn: Lebanon Planning Commission

Re: FHDC proposal for 24-units in AR 20-05

This letter is in support of the development of Colonia Paz I. FHDC proposal for 24-units in AR 20-05 for affordable housing on the property that is zoned for multi-family use.

The Colonia Paz I will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. I encourage you to look at their website if you haven't done so already. Here is the link: fhdc.org This is not just low-income housing like the others we have in town. They have a program that supports and encourages success. What I can tell through their website and by speaking with directors Meg and Claudia, is they take pride in having high quality complexes with a beautiful exterior. It is my understanding that the neighboring residence are afraid of the population this may bring to the area. I believe this will bring; more to our economic growth, an answer to our ongoing problem of the need for affordable housing, a safe clean place for hard working residence to live and thrive, and be one more asset that pulls our community together.

As the CEO of Enliven Foundation, an organization that assist single-parents in achieving their academic goals to overcome poverty, I understand and see the need first hand at how important it is to have what they are offering our community. Low-income families are in high need of safe housing and the programs that are included, such as; free life-skill, budgeting, parenting, and nutrition training, ... and more. This is inline with the mission of Enliven Foundation. I really look forward to having them in our community. I look forward to housing my students in this complex, and to working together for the better good of our community.

I ask that you give your full consideration to FHDC application for the development of Colonia Paz I. Thank you for your time and attention to this matter.

Respectfully,



Becky Van Atta
CEO, Enliven Foundation
Nonprofit of the Year, 2018
C: (541) 409-2537
becky@enlivenfoundation.org



July 17, 2020

City of Lebanon Planning Commission
925 S. Main St.
Lebanon, OR 97355

Dear Commissioners:

Community Services Consortium is the state and federally designated community action agency for Linn, Benton, and Lincoln Counties. We have been active in the community, serving the most vulnerable populations, for the past 40 years. Over the past two years, we have been working with FHDC, making plans to provide supportive services for the residents of Lebanon who will live in Colonia Paz I. As you well know, there is a tremendous need for affordable housing in Lebanon. I am writing this letter to demonstrate CSC’s support of the development of Colonia Paz I, FHDC’s proposal for 24-units in AR 20-05. This project will go a long way to meeting the affordable housing need on a property that is already zoned for multi-family housing and reflects an application that meets all the requisite code provisions.

Over the last 30-years, FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC’s expertise in working with low-income families shows in their building design. These developments include a community room/center that supports many educational events and supportive services activities. The community rooms/centers are open to other social services organizations at no cost too. The centers have become heart of the community for youth summer and after school activities, early child education, adult education, and today a critical point for COVID 19 testing, food boxes distribution, PPE distribution and education about the virus. FHDC brings not only housing but an entire support system for its residents.

On a personal note, I have lived down the street from several FHDC properties for the past ten years. These properties are clean, well maintained, and a home to a wonderful group of residents. If you drive by and take a look at these sites, you will see they are an asset to the neighborhood.

CSC enthusiastically supports the development of Colonia Paz I.

Sincerely,

Pegge McGuire
Acting Director

Albany Regional Office
250 Broadalbin St. SW,
Suite 2A
Albany, OR 97321
541.928.6335

Corvallis Regional Office
545 SW 2nd St., Suite A
Corvallis, OR 97333
541.752.1010

Newport Regional Office
120 NW Avery St.
Newport, OR 97365
541.265.8505

Lincoln County Head Start
2130 SW Lee St., P.O. Box G
Lincoln City, OR 97367
541.996.3028



1209 SE Belmont St, Portland, OR 97214
www.cffo.org

July 20, 2020

To the Lebanon Planning Commission:

I am writing in support of the development of Colonia Paz I, FHDC proposal for 24-units in AR 20-05. This project will go a long way toward meeting the affordable housing need on property that is zoned for multi-family, and it's an application that meets all the requisite code provisions.

My organization, Our Children Oregon, is a statewide organization that recently brought together two historic Oregon organizations (Children First for Oregon and The Children's Trust Fund of Oregon). Our mission is centered on preventing child abuse and helping every child thrive. We know that one out of every four families in Linn County are spending more than 50% of their income in rent. The number of affordable units needed for every family in the county to be served is 3,025. Shockingly, one in every 20 students experienced homelessness in the 2018-2019 school year; time will tell the impact of COVID-19 on these young people. In our most recent KIDS COUNT Data Book, I would note that one out of five Linn County children are food insecure, and over 5000 young people live in poverty. These numbers are from before the pandemic began. FHDC's work to build affordable housing is a necessary and important step in supporting the families of this beautiful city.

The Colonia Paz I will contribute to the critical shortage of affordable housing for low income individuals and families in Linn County. For 30-years FHDC has worked to build and manage an average of 400 units in seven different cities in Polk and Marion County. FHDC's vision and expertise working with low-income families is apparent in their building designs, which includes a community room/center. The community spaces are open to other organizations at no cost, in order to offer vital services to community members. They also serve as a HUB for youth summer and after school activities, early childhood education, and adult education. Today they provide a critical point for COVID-19 testing, food box distribution, PPE distribution, and education about the virus. FHDC brings not only housing, but an entire support system for families.

I hope you will give your full consideration to FHDC's application for the development of Colonia Paz I. The children of Lebanon and Linn County are counting on us to make choices that support their future. I welcome the opportunity to share more if you have questions or would like to explore further how this effort supports the well-being of the children of Lebanon.

Respectfully,

Jenifer Wagley
Executive Director
Our Children Oregon

Together we can be a voice for the common good of all Oregon children.



July 18, 2020

Dear City of Lebanon Planning Commission:

Thank you for the opportunity to provide testimony in **strong support of Colonia Paz I to be developed by Farm Worker Housing Development Corporation (FHDC)**. Oregon is in an unprecedented housing crisis, with high unemployment due to COVID 19 and stagnant wages; 49.5% of renters spend more than 30% of their gross monthly income on rent and utilities, making Oregon the 37th least affordable state for renters. As Commissioners, you are well aware of the challenges faced by many in Oregon who lack affordable housing. Colonia Paz I will contribute to the critical shortage of affordable housing for low-income individuals and families in Linn County.

DevNW has had the opportunity to partner with FHDC over the years. They have a very impressive track record, developing quality affordable housing, and working with community stakeholders to integrate underserved families and individuals into the larger community. The community rooms are available to residents and other social services agencies. The community rooms are used for youth summer and after school activities, early childhood education, adult education, and today is a critical point for COVID 19 testing, food boxes distribution, PPE distribution, and education about the virus. FHDC brings not only housing but an entire support system for their residents.

Please approve the FHDC application for the development of Colonia Paz I. Thank you for your time and service to the City of Lebanon.

Sincerely,



Brigetta Olson, COO

From: Miguel Arellano [mailto:arellano.orst@gmail.com]
Sent: Friday, July 17, 2020 3:46 PM
To: pmcguire@communityservices.us; Claudia Cantu
Cc: Brigetta Olson
Subject: Letter of support for City of Lebanon

City of Lebanon,

My name is Miguel Arellano. I currently serve as the Basic Needs Navigator at Oregon State University. My role is dedicated to serving students who are homeless, food-insecure, and low-income. I serve quite a number of students from the Lebanon community.

As someone who grew up in low-income housing for farmworkers, and as a current board member for DevNW, I was excited to learn about the new development of affordable housing for farmworkers in Lebanon.

As a child, my earliest memories were formed under filbert orchards and in the berry fields of Marion county. My parents could not afford childcare, and with no other option, they would take me to work. In the summer, when it would become unbearably hot, my mom would make me a shelter out of the plastic berry crates so I can sleep and play underneath. My parents were homeless for some time- growing they would always point to the filbert orchards where they would park their car and live with some of my siblings. These were same orchards they tended to and harvested to feed America.

Eventually, through the support of FHDC, my parents got into permanent housing. The fondest memory I have growing up was moving into a brand new apartment complex- Nuevo Amanecer, a FHDC farmworker housing property! I was 4 or 5. Every day, I would go outside to look at the newly planted grass seeds sprouting. If you have ever planted grass seeds, you know how satisfying and calming it is to gently touch it and look at it. While everything around me was chaotic and uncertain, what I felt while watching the seeds sprout, is what I assumed home felt like- calm, peaceful, and at ease. I felt that through my stay at Nuevo Amanecer, until FHDC supported my parents in purchasing their own home in 1998.

If it was not for Farmworker housing- I would not be where I am today. I would see a glimpse of the American dream, if there is even such a thing. Through my parent's hard work ethic and perseverance, they were able to get out of homelessness, buy a home, and send their kids to college. Helping individuals in poverty is in the fabric of our American values. Farmworkers play a vital role in our society, economy, and community. And just like the rest of us, we all deserve a place to call home.

I am certain that my family and I would not be where we are today if it was not for FHDC. They gave us a roof over our heads, so we can thrive. I ask us today, please do

the right thing. Kids in our community deserve a roof over their heads so they can learn and thrive.

Thank you,
Miguel Arellano



Linn-Benton Housing Authority

July 21, 2020

Maria Elena Guerra
Executive Director
Farmworker Housing Development Corporation
1274 Fifth St, Suite 1-A
Woodburn, OR 97071

RE: Colonia Paz I, Lebanon, Oregon

Dear Ms. Guerra,

I'm writing to express my support for the proposed 24-unit complex known as Colonia Paz I, FHDC's proposed affordable housing development in Lebanon. There is a critical shortage of affordable housing for low income individuals and families in Linn County. Rents have increased considerably in Lebanon over the past several years, causing many more families to seek rental assistance. Lebanon is among the top three severely rent burdened cities in Oregon, with one in three households (34%) paying more than 50% of their income for rent.

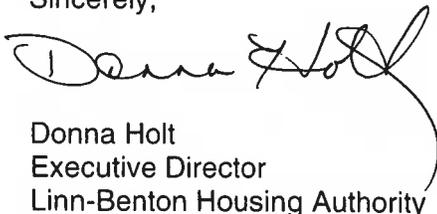
The Linn-Benton Housing Authority (LBHA) contracts with the U.S. Department of Housing and Urban Development (HUD) to administer rental assistance programs in Linn and Benton counties, providing rental assistance to over 2,600 families.

Currently, the Linn-Benton Housing Authority has 2,882 households on its waiting list for housing assistance, including 833 families with children. In the city of Lebanon specifically, there are 443 households on the waiting list for housing assistance, including 139 families with children.

Colonia Paz I will help to fill the critical shortage of affordable housing in Lebanon by providing 24 units of affordable housing for families earning up to 60% of the area median income. The Linn-Benton Housing Authority will gladly work with FHDC to refer families from its waiting list to Colonia Paz I. LBHA will work with FHDC to inform households on its waitlist of this housing opportunity by making information available to families attending initial Section 8 Housing Choice Voucher Orientation, posting unit openings on the Housing Authority Bulletin Board, providing the information to searching families as they attend unit transfer meetings with case managers and other opportunities as they arise.

The land use application AR 20-50 with the city, will go a long way to meeting this need in the Lebanon Community. I look forward to working with you in your efforts to provide affordable housing to workforce families in Lebanon.

Sincerely,



Donna Holt
Executive Director
Linn-Benton Housing Authority

Improving the Quality of Life in Linn and Benton Counties through Affordable Housing

1250 QUEEN AVE. SE • ALBANY, OR 97322 • 541-926-4497 • FAX 541-926-3589 • E-mail: Mail@lbha.org

OREGON RELAY (HEARING IMPAIRED) 711

Attachment 4

Page 9 of 9

Attachment #5

FHDC Supplemental Narrative Addressing the Lebanon Development Code
July 22, 2020

This narrative is submitted by the Applicant to supplement information in the record and staff report. The information contained herein, reflects further response to comments raised by members of the public, as well as identifying standards that should not apply to the application for needed housing because they are not clear and objective.

Bold language preceding "Applicant's Response" are quotes from the Lebanon Development Code. The un-bolded text following "Applicant's Response" contain responsive text from FHDC.

16.20.110.B. When a Traffic Impact Study is Required. The city or other road authority with jurisdiction may require a traffic impact study (TIS) as part of an application for development, a change in use, or a change in access. A TIS may be required when a land use application involves one or more of the following actions:

- 3. An increase in site traffic volume generation by three hundred average daily trips (ADT) or more;**

Applicant Response: The application requests approval for 24-units. The City has conferred with its traffic engineer to determine that the increase in traffic volume will not exceed 300 ADT. On July 16, 2020, Applicant requested the City staff include additional information in the record to verify that the proposed 24 units will not reach a 300 ADT threshold. Further information is expected to be included during this open record submittal.

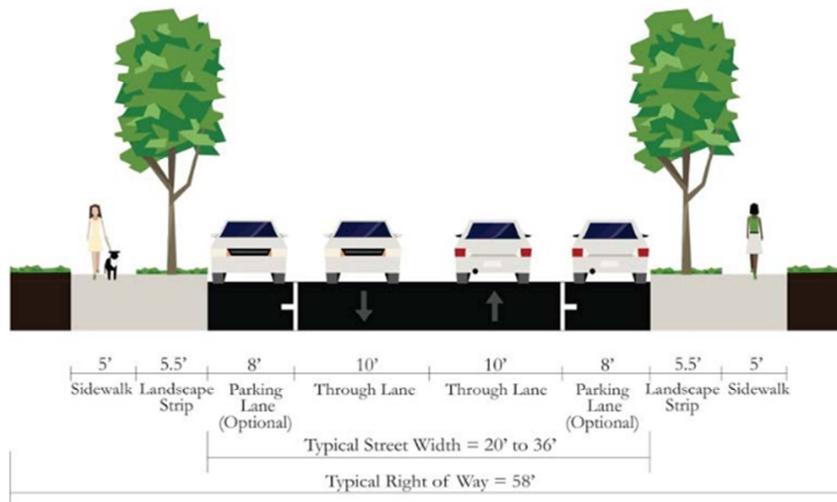
16.20.110.B. When a Traffic Impact Study is Required. The city or other road authority with jurisdiction may require a traffic impact study (TIS) as part of an application for development, a change in use, or a change in access. A TIS may be required when a land use application involves one or more of the following actions:

- 7. A change in internal traffic patterns that may cause safety problems, such as back up onto a street or greater potential for traffic accidents.***

Applicant Response: This criterion cannot be applied to this application for needed housing because the terms "may cause safety problems" are subjective terms. Therefore the Applicant objects to this criterion. Notwithstanding Applicant's objection, Weldwood Drive extension is designed as a local road per Figure 13 below with a sixty foot right of way. See also Applicant's Response to LDC 16.12.030.G and 16.13.020.B. Further, the City of Lebanon requested that this extension be designed not to connect to the private road portion of Weldwood to the Northeast of the subject property. This

extension of Weldwood Drive will dead end into a cul de sac, or as it pertains to the proposed development at the Hammerhead within the site. The fire department has approved this design. Further, this criteria speaks to internal traffic patterns, not offsite influences. Since the hammerhead has been approved by the fire department, and the driveway leading to Weldwood Drive as it fronts the development has adequate site vision, and spacing from surrounding streets (see responses to findings under LDC 16.12) no abnormal traffic patterns nor potential for accidents are anticipated. Public comment about the behavior of pedestrians offsite does not implicate this criterion that is limited to internal traffic patterns – access through the driveway and parking lots.

Figure 13. Local Roadway



16.12.030.G. Access Spacing. When required to serve the proposed development, accesses shall be separated from driveways and street intersections in accordance with the following standards and procedures:

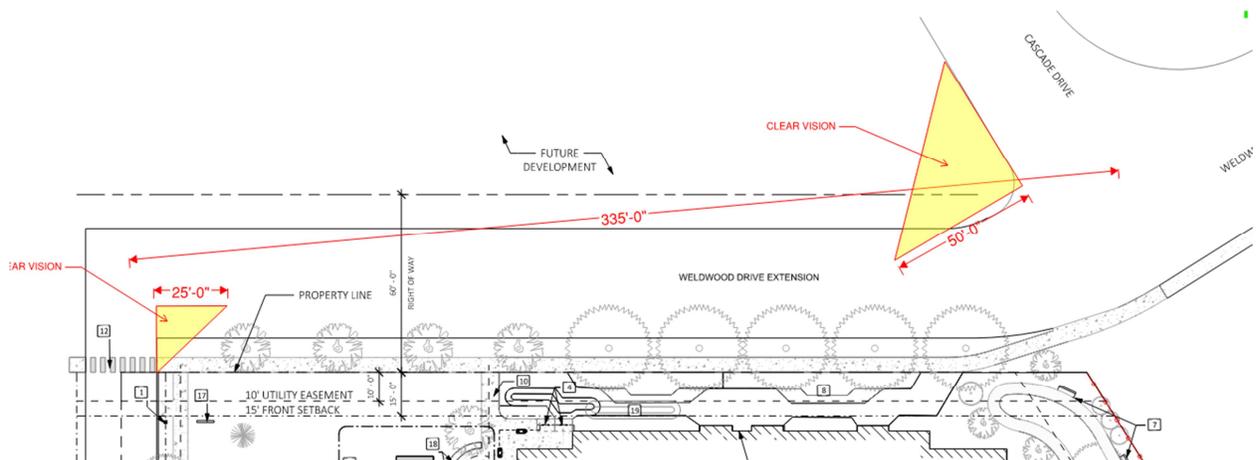
1. Local Streets. Driveways and alleys shall be placed as far away as practicable from an intersecting street, and on the street with the lowest classification possible.

2. Arterial and Collector Streets. Where a collector or arterial street or a controlled intersection is under the jurisdiction of the city of Lebanon (see Table 9 in the Lebanon TSP), access spacing shall be determined based on the policies and standards contained in the city's transportation system plan as well as the Manual for Uniform Traffic Control Devices. Exceptions to this may be granted by the city engineer. Evaluations of exceptions shall consider posted speed of the street on which access is proposed, constraints due to lot patterns, and effects on safety and capacity of the

adjacent public street, bicycle and pedestrian facilities. Access spacing on State Highways 20 and 34 (defined as principal arterials in the Lebanon TSP, as per Table 9) is subject to the requirements of applicable Oregon Administrative Rules as determined by Oregon Department of Transportation.

3.Special Provisions for All Streets. Direct street access may be restricted for some land uses, in conformance with the provisions of Chapters 16.05 through 16.11. For example, access consolidation, shared access, and/or access separation greater than that specified by subsections (G)(1) and (2) above, may be required for access to the city, county or state roadways for the purpose of protecting the function, safety and operation of the facility for all users (See Subsection "I," below). In some cases, directional connections (i.e., right in/out, right in only, or right out only) may be required.

Applicant Response: The TSP states that Weldwood Drive should be constructed as a collector with sidewalks and bike lanes. This use of "should" provides the City with flexibility, as necessary here because Weldwood Drive does not need to be constructed as a collector. The City staff's exercise of flexibility here makes sense because there is no way to connect Weldwood Drive through the private roadway portion, and as proposed the extension will end in a cul de sac. Since the street is not going to function as a collector street that connects to the broader street network, the City staff required the Applicant to design the Weldwood Drive extension as a local roadway. See also Applicant's Response to LDC 16.13.020.B below. The required spacing for a local roadway is a minimum block size of 150 feet, and minimum driveway spacing. The proposed development driveway is located 335 feet from the intersection of Cascade Drive and Weldwood, see figure below, and meets the minimum driveway spacing. Therefore these criteria have been meet.



16.12.030.H. Clear Vision Requirements. All street access points must meet the applicable clear vision requirements noted below.

1. Except within the central business commercial zone (Z-CCM), vision clearance areas shall be provided at intersections of all streets and at intersections of driveways and alleys with streets to promote pedestrian, bicycle and vehicular safety. The extent of vision clearance to be provided shall be determined from standards listed below, and as otherwise adopted by the city to further take into account functional classification of the streets involved, type of traffic control present at the intersection, street configuration, clear sight distance needed to see on coming traffic (motor vehicles, pedestrians, and bicyclists), and designated speed for the streets.

2. A clear vision area shall consist of a triangular area, two sides of which are lot lines measured from the corner intersection of the street lot lines for a distance specified in this regulation, and the third side of which is a line across the corner of the lot joining the nonintersecting ends of the other two sides. Where the lot lines have rounded corners, the lot lines shall be extended in a straight line to a point of intersection and so measured. In situations involving driveways, the two sides shall include the sides of the driveway and the adjacent property line or access easement line.

3. A clear-vision area shall contain no plantings, fences, walls, structures, utility pedestals, or temporary or permanent obstruction exceeding two and one-half feet in height, measured from the top of the curb, or where no curb exists, from the established street center line grade. Trees exceeding this height may be located in this area, provided all branches or foliage are removed to a height of eight feet above grade.4.The following measurements shall establish a clear vision area:

a. Corner Lots. The clear visions area for corner lots shall be twenty feet along the right-of-way of each intersecting street.

b. Street-Driveway. The clear vision area for a street-driveway intersection shall be ten feet along the driveway from its intersection with the street right-of-way and twenty feet along the street right-of-way at the point of intersection with the driveway.

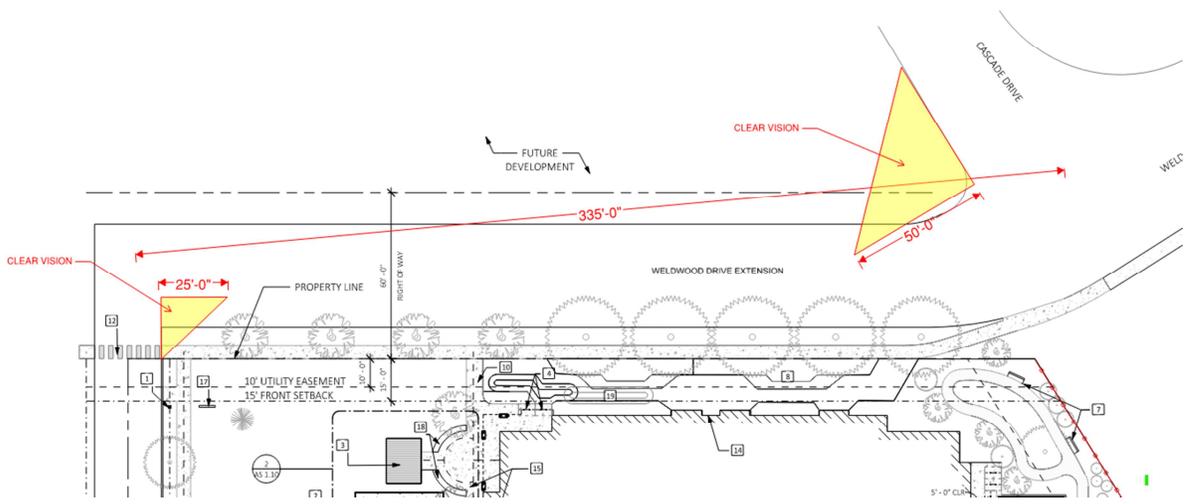
c. Street-Alley. The clear vision area for street-alley intersections shall be ten feet along the alley from its intersection with the street right-of-way and twenty feet along the street right-of-way at the point of intersection with the alley.

d. **Street-Private Access Easement.** The clear vision area for street-access easement intersections shall be ten feet along the access easement from its intersection with the street right-of-way and twenty feet along the street right-of-way at the point of intersection with the access easement.

e. **Dimension Exceptions.** When the angle of intersection between streets, other than an alley, is less than thirty degrees, the distance shall be twenty-five feet. Dimensions for clear vision areas for new development in the Central Business Commercial Zone (Z-CCM), shall be specified by the city engineer on a site by site basis given the near total build out of that zone.

5.Exceptions Within Vision Clearance Areas. Traffic control devices, streetlights, and utility installations meeting approval by the city engineer are permitted within vision clearance areas.

Applicant Response: The proposed project meets the criteria for clear vision see figure below. Therefore these criteria have been meet.



16.12.030.I Number of Access Points. For single-family (detached and attached), two-family, and three-family housing types, normally one street access point is permitted per lot, unless otherwise permitted by the city engineer, in consultation with the planning official. Two access points may be permitted for two-family and three-family housing on corner lots (no more than one access per street), subject to the access spacing standards in subsection "G," above. The number of street access points for multiple-family, commercial, industrial, and public/institutional developments shall be minimized to protect the function, safety and operation of the street(s) and sidewalk(s) for all users. Shared access may be required, in

conformance with subsection "J," below, in order to maintain the required access spacing, and minimize the number of access points.

Applicant Response: Consistent with these criteria for multifamily development, the Applicant has minimized street access points to one access point on the extension of Weldwood Drive, with a fire department approved hammerhead, ensuring safe access to the subject property and the function and operation of the newly extended Weldwood Drive for all users. As evidenced in the Applicant's submittals the driveway and right of way area for Weldwood will be designed to meet the requirements of the LDC.

16.12.030.K. Requirements for Street Connectivity and Formation of Blocks. In order to promote efficient vehicular and pedestrian circulation throughout the city, new land divisions and large site developments shall produce complete blocks bounded by a connecting network of public and/or private streets, in accordance with the following standards (see Figure 16.12.030-1):

1. Block Length and Perimeter. The maximum block length and perimeter (measured along the edge of the right-of-way) should not exceed:

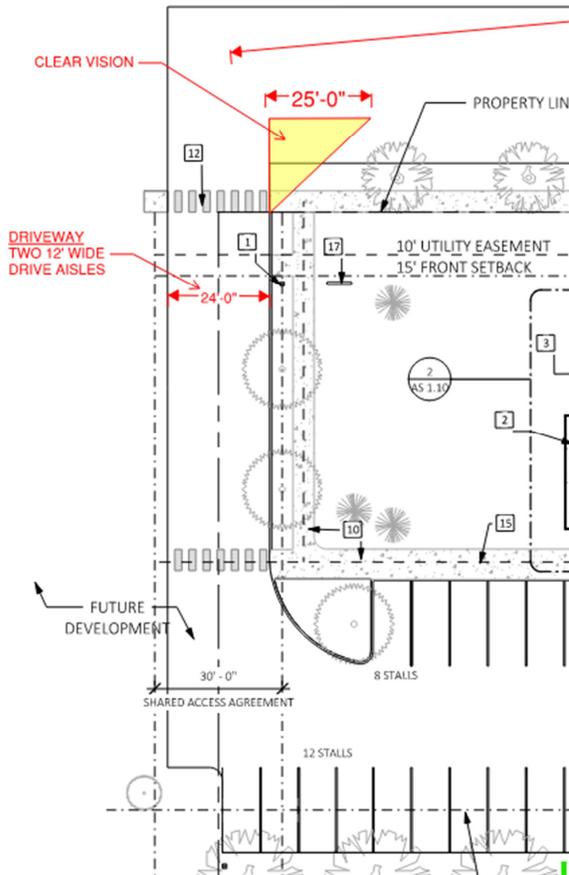
c. Six hundred to eight hundred feet length and one thousand six hundred to two thousand feet perimeter in the highway commercial zone (Z-HCM), and mixed-use zone (Z-MU), except as required for commercial developments subject to other provisions of this code or the subdivision ordinance;

Applicant Response: The proposed development is for an infill lot with only one access point to a public right of way. The future dead-end street will be designed to meet the 600-800 foot cul-de sac maximum length requirements outlined in the Transportation System Plan and the Development Code for the City of Lebanon. The current extension of Weldwood measures 335 feet, falling within the limitation for block length.

16.12.030.L. Driveway Approaches. Driveway approaches or curb cuts shall be adequate width to provide safe and efficient access. The following standards (i.e., as measured where the front property line meets the sidewalk or right-of-way) are required to provide adequate site access, minimize surface water runoff, ensure an exiting vehicle with an unobstructed view, avoid conflicts between vehicles and pedestrians, and have appropriate signage for one-way connections. Unless otherwise permitted by the city engineer, in consultation with the planning official, or, for State Highways 20 and 34, by Oregon Department of Transportation, minimum driveway widths shall be as follows:

4. Access widths for all other uses shall be based on twelve feet of width for every travel lane, except that driveways providing direct access to parking spaces shall conform to the parking area standards in Chapter 16.14 (Off-Street Parking Requirements) of this code;

Applicant Response: Under LDC Ch. 16.14, a driveway is required to be 24 feet wide. The proposed design of the driveway is 24 feet wide with two 12' wide drive aisles, see figure on the following page. Therefore, this criterion has been met.



16.13.020.A. Transportation Uses Permitted Outright. Except where otherwise specifically regulated by this code, the following standard transportation improvements are permitted outright:

8. Construction of a street or road as part of an approved subdivision or land partition approved consistent with the applicable land division ordinance;

Applicant Response: While the approval is conditioned on a pending partition approval, the partition approval itself does not require construction of a road. Therefore, this criterion is not applicable.

16.13.020.B. Transportation Conditional Uses Permitted.

1. Conditionally permitted transportation improvements include construction, reconstruction, or widening of highways, roads, bridges, or other transportation projects that:

b. Change the character, function, or operation of an existing transportation-related facility as proposed or designated in the transportation system plan (TSP). Such projects shall comply with the overall standards of the TSP and other applicable standards, and shall address the following criteria:

- i. The project is designed to be compatible with existing land use and social patterns, including noise generation, safety and zoning,**
- ii. The project is designed to minimize avoidable environmental impacts to identified wetlands, wildlife habitat, air and water quality, cultural resources and scenic qualities,**
- iii. The project preserves or improves the safety and function of the facility through access management, traffic calming, or other design features,**
- iv. The project includes provisions for bicycle and pedestrian circulation as consistent with the applicable requirements of the ordinance codified in this chapter.**

Applicant Response: As stated above, the TSP describes that Weldwood Drive should be designed as a collector street. However, the City staff determined that local roadway design would better fit the Weldwood Drive extension at this location because the collector characteristics will not be achieved. Collector street characteristics cannot be achieved because Weldwood Drive cannot be extended through the private roadway section that runs through the nearby manufactured home park to connect with the broader city street system. This local roadway design makes sense because the proposed development will be reached on the Weldwood Drive extension that will end in a cul de sac. Comments raised early in the public review process of this application opposing a full extension of Weldwood Drive to connect with the broader city street system support this approach because it will be compatible with surrounding land uses, including the private road section of Weldwood Drive. Further, cul-de-sac design of the Weldwood Drive extension will keep noise from surrounding neighborhoods. No more environmental impact is expected by reducing the street designation from collector to local roadway as it is not located near surrounding wetlands, wildlife habitat, air or water quality, or cultural or scenic qualities. To the extent that environmental benefits are

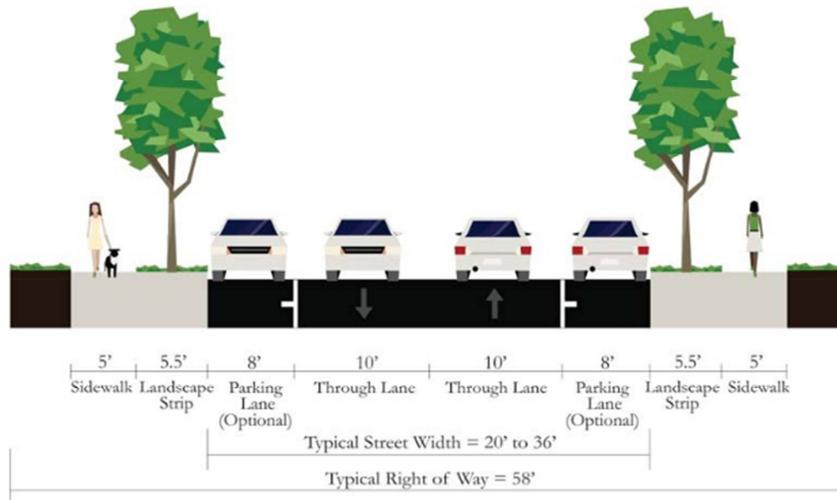
gained by reducing the right-of-way width for a local roadway as compared to a collector, those environmental benefits favor the approach taken here. As described in other responses, the project preserves safety and function with the design of the roadway to meet the City's standards, and the fire department's approved hammerhead for emergency response within the development. Further, the local roadway design provides pedestrian connectivity, and bicycles on a local roadway are acceptable in this location because of the short roadway length to Cascade, and the limited potential for additional surrounding development. For these reasons, these criteria are met.

16.13.030.A. General Development Standards. Development shall not occur unless the development has frontage or approved access to a public street, in conformity with the provisions of Section 16.12.020 in Chapter 16.12, and the following additional standards are met:

- 1. Streets within or adjacent to a development shall be improved to city standards in accordance with the transportation system plan, public improvement standards, and the provisions of this chapter;**
- 2. Development of new streets, additional street width or improvements planned as a portion of an existing street, shall be improved in accordance with this chapter, and other applicable city standards;**
- 3. All driveway approaches and driveways shall be paved, as per adopted city engineering standards;**
- 4. Minor sections of non-contiguous street improvements may be deferred until contiguous to city standard street improvements as determined by the city engineer.**

Applicant Response: The proposed development applies the design from City of Lebanon Transportation System Plan for a Local Roadway, see figure below and Applicant's Response to LDC 16.12.030.G and 16.13.020.B. No non-contiguous street improvements are proposed. Therefore, these criteria are met.

Figure 13. Local Roadway



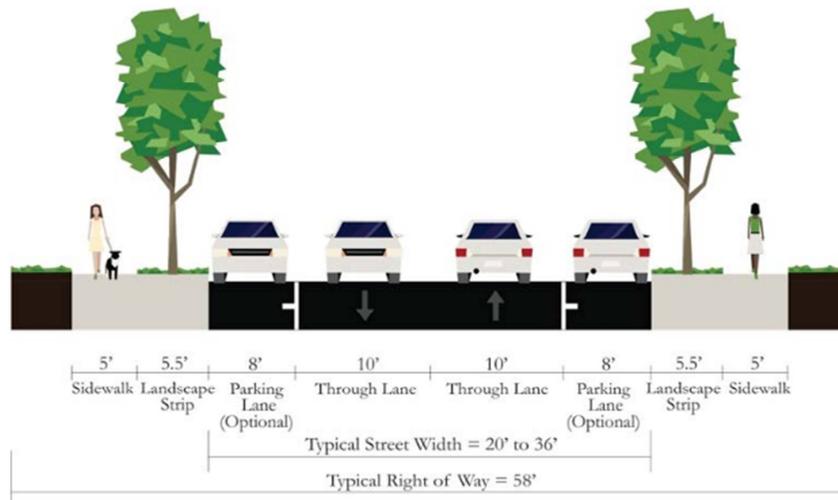
16.13.030.D. Street Location, Width and Grade. Except as noted below, the location, width and grade of all new public streets shall conform to the transportation system plan, as applicable, and an approved street plan or subdivision plat. Street location, width and grade shall be determined in relation to existing and planned streets, topographic conditions, public convenience and safety, and in appropriate relation to the proposed use of the land to be served by such streets:

1. Street grades shall be approved by the city engineer in accordance with the design standards in the city's transportation system plan and public improvement standards;
2. Where the location of a street is not shown in an existing street plan (See Subsection "H" below), the location of streets in a development shall either:
 - b. Conform to a site development plan approved by the review authority if it is impractical to connect with existing street patterns because of particular topographical or other existing conditions of the land. Such a plan shall be based on the type of land use to be served, the volume of traffic, the capacity of adjoining streets and the need for public convenience and safety.

Applicant Response: The proposed development is applying the design from City of Lebanon Transportation System Plan for a Local Roadway, see figure below and Applicant's Response to LDC 16.12.030.G and 16.13.020.B. Moreover, the proposed street was reviewed by and agreed to by the City Engineers and Fire Marshal prior to

submitting the land use application. The application materials contain Sheet C-2.1 and C-2.2 showing that the design adequately addresses the grading requirements for streets and driveways. Therefore, these criteria have been meet.

Figure 13. Local Roadway



16.13.030.H. Street Alignment and Connections.

1. Spacing between street intersections shall have a minimum separation of two hundred sixty-five feet for arterial and collector streets and one hundred fifty feet for local roadways, except where more closely spaced intersections are warranted by site specific considerations.

2. Through Circulation of Local and Collector Streets. Unless superseded by a local street network plan, all local and collector streets that abut a development site shall be extended within the site to provide through circulation and connection to abutting streets unless prevented by environmental or topographical constraints, existing development patterns or compliance with other standards in this code.

Applicant Response: The proposed development of this infill lot has only one access point to a public right of way. Further, with 335 feet between the driveway for the development and the intersection with Cascade the application meets the minimum separation requirements. The dead-end street extension of Weldwood will be designed to meet the cul de sac maximum length requirements outlined in the Transportation System Plan and the Development Code for the City of Lebanon, and will tie into the existing pedestrian path south of Wal-Mart. See also Applicant's Response to LDC 16.12.030.G and 16.13.020.B.

16.13.030.L. Cul-de-sacs.

- 1. The length of a cul-de-sac street shall not exceed four hundred feet. However, cul-de-sacs may be up to six hundred feet in length with a pedestrian/bicycle accessway to neighboring streets and/or pathways for connectivity that includes a dedicated right-of-way for utilities, and subject to approval of the Lebanon fire district.**
- 2. The length of a cul-de-sac is measured from the edge of the street right-of-way along the length of the "stem" to the back of the "bulb."**
- 3. All cul-de-sacs of more than one hundred fifty feet in length shall terminate with a circular turnaround. Such emergency vehicle turnarounds shall be constructed in compliance with the Oregon Fire Code and Lebanon fire district's requirements.**
- 4. Also see Section 16.12.030(K)(7) (Chapter 16.12), and Table 16.13.030-1 (in this chapter).**

Applicant Response: The proposed development of this infill lot has only one access point to a public right of way. The dead-end street extension of Weldwood will be designed to meet the cul-de sac maximum length requirements outlined in the Transportation System Plan and the Development Code for the City of Lebanon, and will tie into the existing pedestrian path South of Wal-Mart. Moreover, the internal driveways are designed in a manner that meets the Oregon Fire Code for fire truck turnarounds and been approved by the fire department.

16.13.030.M. Development Adjoining Arterial Streets. Where a development adjoins or is crossed by an existing or proposed arterial street, the development design shall separate residential access and through traffic, and shall minimize traffic conflicts. The design shall include one or more of the following:

* * *

Applicant Response: This section is not applicable, the proposed development does not interact with an Arterial Street.

16.13.030.N Private Streets Standards.

* * *

Applicant Response: This section does not apply, no private streets are proposed.

16.14.060.B Grading. All parking areas, except those in conjunction with a single-family or two-family dwelling, shall be graded (as approved by the city engineer) so as not to drain stormwater over sidewalks or onto any abutting property.

Applicant Response: All parking areas are graded to a low point onsite that will collect all site runoff. See application sheet C-2.1 and C-2.2. The onsite stormwater will be collected and infiltrated via underground storm chambers. See also Attachment 7.

16.14.060.I Off-Street Parking Areas Within or Abutting Residential Zones. All off-street parking areas within or abutting residential zones shall be provided with both of the following:

- 1. Sight-obscuring fence, wall or hedge as approved by the planning official to minimize disturbances to adjacent residents. The minimum height for this fence, wall or hedge shall be five feet;**
- 2. Five-foot landscaped buffer in addition to the fence, hedge, or wall as required above.**

Applicant Response: To the extent that this criteria allows for subjective approval by the planning official, the applicant objects. However, the Applicant is willing to accept a revised condition of approval where condition of approval 1.a will read:

- a. A landscape plan shall be submitted in compliance with Chapter 16.15 and approved prior to the issuance of a building permit, without application of subjective standards. The landscape plan shall include a six-foot tall site obscuring fence of chain link with vinyl slats along the south and east property lines as delineated in the Minor Land Partition in condition 1.d, with a minimum five foot landscape buffer.

As conditioned, these criteria are met.

16.14.060.J Lighting of Off-Street Parking Facilities. Per Section 16.19.050 (in Chapter 16.19), exterior lighting shall be designed, constructed, located, shielded, and directed in such a manner so as to not face directly, shine, or reflect glare onto an adjacent residences, streets, and other land uses. Also see airport overlay zones (in Chapter 16.11) for additional lighting standards for that zone.

Applicant Response: Site pole lighting is designed to include cut offs/shields that prevent light from pointing directly to, shining on, or reflecting glare onto an adjacent residences, streets, and other land uses. See figure below for example. Therefore, this criterion has been meet.



D-Series Size 1 LED Area Luminaire



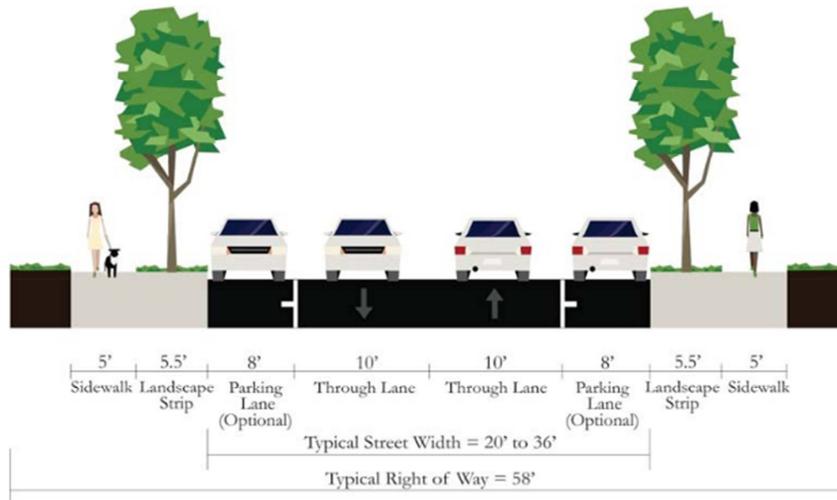
16.14.080.B Vehicular Access to City Streets and Alleys.

2. Access Location and Design.

- a. Location and design of all accesses to and/or from city streets are subject to review and approval by the city engineer.
- b. Access spacing on collector and arterial streets, and at controlled intersections, shall be determined based on the policies and standards in the city's transportation system plan, city public improvement standards, as well as Manual for Uniform Traffic Control Devices.
- c. Exceptions may be granted by the city engineer.
- d. Evaluations of exceptions shall consider posted speed of the street on which access is proposed, constraints due to lot patterns, and effects on safety and capacity of the adjacent public street, bicycle and pedestrian facilities.

Applicant Response: The proposed development includes the design of the street based on the City of Lebanon Transportation System Plan for a Local Roadway, see figure below and Applicant's Response to LDC 16.12.030.G and 16.13.020.B. Therefore, these criteria are met.

Figure 13. Local Roadway



16.14.120.B. Location.

1. Safe, well-lit and convenient pedestrian access shall connect the bicycle parking area to the main entrance of the principle use of the site.
2. If the bicycle parking area is located within the vehicle parking area, the bicycle facilities shall be separated from vehicular maneuvering areas by curbing or other barrier to prevent damage to parked bicycles.
3. Curb cuts shall be installed to provide safe, convenient access to bicycle parking areas.
4. Where bicycle parking facilities are not directly visible and apparent from the public right-of-way, entry and directional signs shall be used to direct bicyclists to the bicycle parking facility.
5. Bicycle parking facilities shall be placed within fifty feet of the main entrance of a building, or not farther than fifty feet from an entrance if several entrances exist.
6. For security and convenience purposes, bicycle-parking facilities shall be located in well-lit areas visible to the adjacent sidewalks and/or vehicle parking areas within the site.
7. If the bicycle parking facility is in a public right-of-way, a clear passageway of at least five feet in width for pedestrians shall be included.

Applicant Response: The proposed development's outdoor bicycle parking areas are adjacent to the building with a connecting sidewalk to the two main entrances, away from the vehicle parking area. They are all safely located by placement within fifty feet of entryways, and are visible from the public right-of-way and the development's vehicular parking lot. In addition, the bicycle parking is located under well-lit canopies or enclosed inside the dwelling unit patio storage rooms for most of the units. Therefore, these criteria are met.

16.14.120.C. Dimensions.

- 1. Bicycle parking spaces shall be a minimum of six feet in length and two feet in width.**
- 2. Overhead clearance in covered areas shall be at least seven feet.**
- 3. A minimum five-foot wide aisle shall be provided beside or between each row of bicycle parking.**

D. Rack/Enclosure Standards.

- 1. Bicycle parking facilities shall consist of either a lockable enclosure (locker) in which the bicycle is stored or a stationary object (rack) to which the bicycle may be locked.**
- 2. Lockers and racks shall be securely anchored to the pavement or a structure.**
- 3. Racks requiring user-supplied locks shall accommodate both cable and U-shaped locks. Racks shall be designed and installed to permit the frame and both wheels to be secured.**
- 4. Bicycle racks shall be designed to hold bicycles securely by means of the frame, in a manner that will not cause damage to the wheels.**

E. Covering (Roofing).

- 1. All required bicycle parking must be covered, unless more than eight spaces are required, in which case half of the total may be uncovered as long as a minimum of eight spaces are covered.**
- 2. Covering for bicycle parking facilities shall be permanent and shall provide protection from weather.**
- 3. Covering may be provided by an independent outdoor structure, a parking garage, a wide roof overhang, or a wide awning, or other suitable**

protective covering. Bicycle parking facilities may also be located within buildings in secure, well-lit and accessible spaces, provided the other requirements of this section are met.

F. Lighting.

1. For security and convenience purposes, lighting shall be provided in bicycle parking areas such that all facilities are thoroughly illuminated and visible from adjacent sidewalks and/or vehicle parking areas during all hours of use.

2. As noted in Section 16.19.050 (Chapter 16.19), exterior lighting shall be designed, constructed, located, shielded, and directed in such a manner so as to not face directly, shine, or reflect glare onto an adjacent residences, streets, and other land uses. Also see Airport Overlay Zones (in Chapter 16.11) for additional lighting standards for that zone.

Applicant Response: All bicycle parking spaces conform to the required dimensions and clearance. The outdoor bicycle parking will have racks secured to the concrete pavement below and will accommodate both cable and U-shaped locks. They also will have a five-foot minimum aisle adjacent to the spaces for access. All required and most bicycle parking spaces are covered by either the well-lit canopies or enclosed inside the unit patio storage rooms. Therefore, these criteria have been met.

16.15.020.C. Landscaping and Screening Standards.

2. Applicability.

b. Landscape Areas.

ii. Parking Lots. Parking lots shall have landscaped islands (that include trees) at the ends of parking rows at a minimum to facilitate movement of traffic and to break large areas of parking surface. Open parking areas should include landscaping and trees distributed throughout, and long rows (thirty or more spaces) of parking spaces shall be interrupted by landscape breaks.

Applicant Response: Parking has been designed with landscape buffers and islands that break up stalls of greater than 30 stalls, see landscape plans attached to the application as L.3.00 and L3.01. Therefore this criterion is met.

16.15.020.C. Landscaping and Screening Standards.

2. Applicability.

f. Buffering and Screening Required for Parking Lots and Service Areas. Buffering and screening are required under the following conditions, except for single-family dwellings:

i. Parking/Maneuvering Area Adjacent to Buildings.

(A) Where a parking or maneuvering area, or driveway, is adjacent to a building, the area shall be separated from the building by a curb or landscaped strip and a raised walkway, plaza, landscaped buffer not less than five feet in width, or other approved structure or feature.

(B) Raised curbs or landscaped strips, bollards, wheel stops, or other design features shall be used to protect pedestrians, landscaping, and buildings from being damaged by vehicles.

(C) At a minimum, where parking areas are located adjacent to residential ground-floor living space, a four-foot wide landscape buffer with a curb, or other approved structure or feature.

(D) Parking lots shall be screened from abutting residential land uses by fencing, walls, landscaping, or a combination thereof adequate to provide privacy and separation for the abutting land use.

(E) Where parking areas project into required yards, the remaining yard shall be landscaped to provide screening of the parking area.

Applicant Response: Applicant objects to the application of subsection (D) above because it is not clear and objective as "privacy" is a subjective term. Notwithstanding this objection, earlier in this submittal the Applicant proposed revision to condition of approval 1.a and that proposed revision also addresses subsection (D) here. In addition, parking has been designed with landscape buffers and islands that break up stalls of greater than 30 stalls. See landscape plans attached to the application materials as Sheets L.3.00 and L3.01. Moreover, each parking area is surrounded by curbs and landscaping that buffer the building from the parking area. Therefore, these criteria are met.

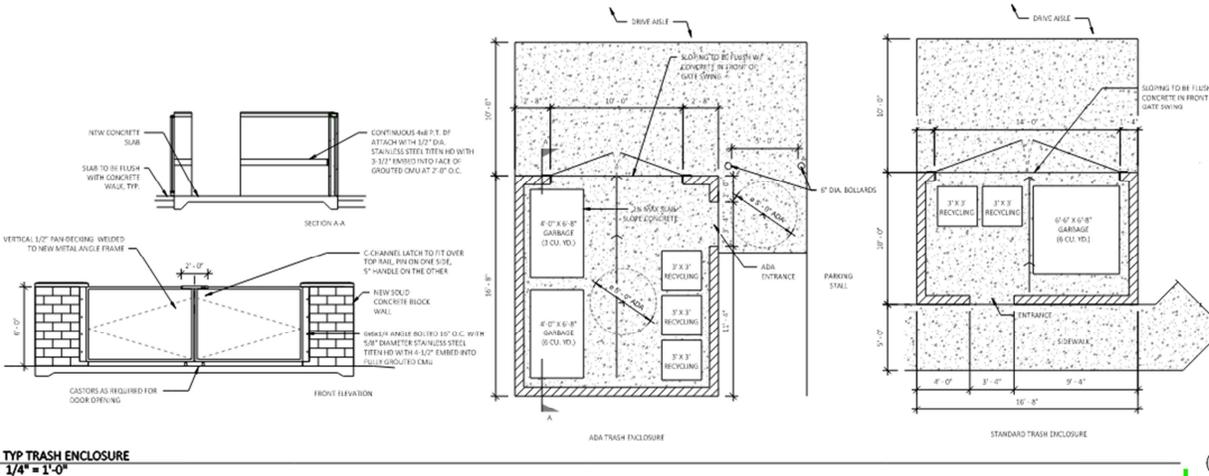
16.15.020.C. Landscaping and Screening Standards.

2. Applicability.

f. Buffering and Screening Required for Parking Lots and Service Areas. Buffering and screening are required under the following conditions, except for single-family dwellings:

- ii. Screening of Mechanical Equipment, Outdoor Storage, Service and Delivery Areas, and Other Screening When Required. For commercial, industrial, and multifamily development, all ground level mechanical equipment, outdoor storage and manufacturing, and service and delivery areas, shall be screened from view from all public streets and adjacent residential properties.**

Applicant Response: Trash enclosures are fully enclosed, see figure below and roof top mechanical equipment is hidden behind secondary roof elements. Therefore, this criteria is met.



6 TYP TRASH ENCLOSURE
1/4" = 1'-0"

16.15.030 Unless the review authority stipulates one of the following options as a condition of approval, applicants may select one of the following landscape options (subsections A through G of this section). The review authority may amend the following options during the review process (e.g., PD, CU, AR) without going through a variance process.

A. General Landscaping Standard.

1. Intent. The general landscaping standard is a landscape treatment for areas that are generally open. It is intended to be applied in situations where distance is used as the principal means of separating uses or developments and landscaping is required to enhance the intervening

space. Landscaping may include a mixture of groundcover, evergreen and deciduous shrubs, and coniferous and deciduous trees.

2. Required Materials. Shrubs and trees, other than street trees, may be grouped. Groundcover plants must fully cover the remainder of the landscaped area (see Figure 16.15.030-1: General Landscaping). The general landscaping standard has two different requirements for trees and shrubs:

a. Where the landscaped area is less than thirty feet deep, one tree is required for every thirty linear feet;

b. Where the landscaped area is thirty feet deep or greater, one tree is required for every eight hundred square feet and two high shrubs or three low shrubs are required for every four hundred square feet.

Figure 16.15.030-1: General Landscaping

* * *

C. High Screen Landscaping Standard.

1. Intent. The high screen landscaping standard is a landscape treatment that relies primarily on screening to separate uses or developments. It is intended to be applied in situations where visual separation is required. High screen treatments are at least six feet in height. A high screen landscaped buffer may not be less than five feet in width.

2 .Required Materials.

a. The high screen landscaping standard requires sufficient high shrubs to form a continuous screen at least six at maturity, feet high and sight-obscuring, year-round.

b. Groundcover plants or other approved landscaping treatments must fully cover the landscaped area.

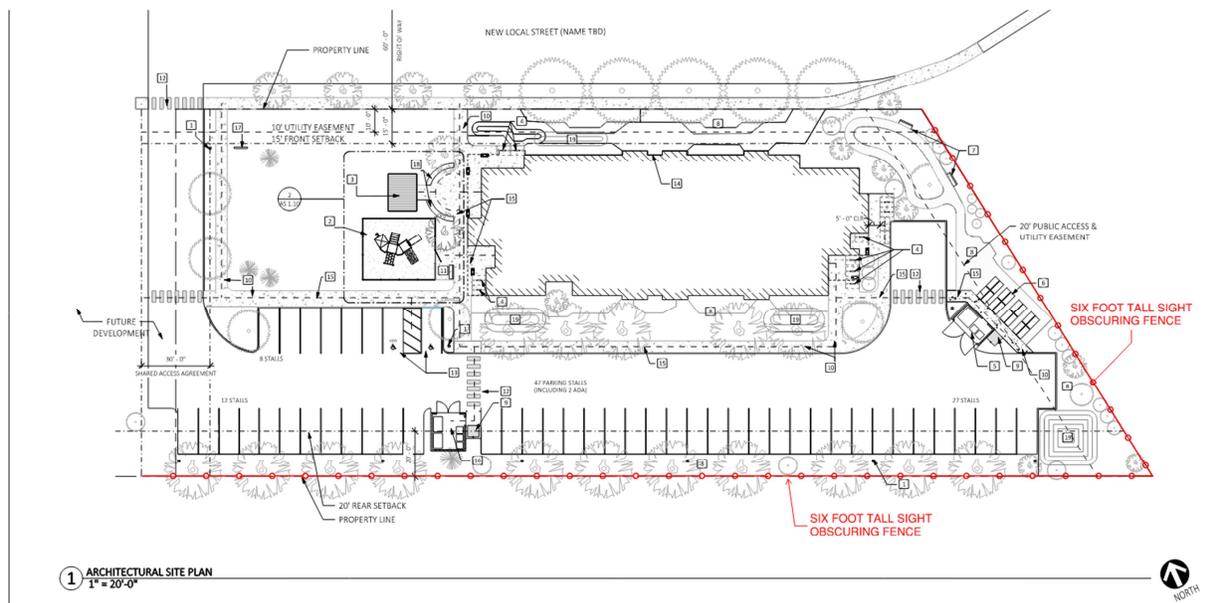
c. A six-foot high masonry wall or a berm may be substituted for the shrubs, but the trees and groundcover plants are still required.

d. When applied along street lot lines, the screen or wall is to be placed along the interior side of the landscaped area. (See Figure 16.15.030-3: High Screen Landscaping).

Applicant Response: The development will meet the high screening landscape standard with the adoption of the revised condition of approval 1.a, proposed to read,

- a. A landscape plan shall be submitted in compliance with Chapter 16.15 and approved prior to the issuance of a building permit, without application of subjective standards. The landscape plan shall include a six-foot tall site obscuring fence of chain link with vinyl slats along the south and east property lines as delineated in the Minor Land Partition in condition 1.d, with a minimum five foot landscape buffer.

See application materials Sheets L3.00 and L3.01 for additional information on species and plant sizes. In addition, a depiction of the fence area is shown below.



16.15.040.A. Plant Materials.

1. Shrubs and Groundcover. Non-horticultural plastic sheeting or other impermeable surface shall not be placed under mulch. Areas exhibiting only surface mulch, compost or barkdust are not to be used as substitutes for plant areas.

a. Shrubs. All shrubs shall be well branched and typical of their type as described in current American Association of Nurserymen (AAN) Standards and shall be equal to or better than two-gallon containers and ten inches to twelve inches spread.

b. Groundcover.

i. Shall be equal to or better than the following depending on the type of plant materials used: gallon containers spaced at four feet on center minimum, four inches pot spaced two feet on center minimum, 2.25" pots spaced at eighteen-inch on center minimum.

ii. No bare root planting shall be permitted.

iii. Where wildflower seeds are designated for use as a groundcover, the city may require annual reseeding as necessary.

2. Non-Street Trees. All non-street trees should be well-branched and typical of their type as described in current American Association of Nurserymen (AAN) Standards and preferably be balled and burlapped. Non-street trees may be categorized as follows:

a. **Primary Trees.** Primary trees that define, outline or enclose major spaces, such as Oak, Maple, Linden, and Seedless Ash, shall be a minimum of two inches caliper;

b. **Secondary Trees.** Secondary trees that define, outline or enclose interior areas, such as Columnar Red Maple, Flowering Pear, Flame Ash, and Honeylocust, shall be a minimum of 1.75" to two inches caliper;

c. **Accent Trees.** Accent trees are used to add color, variation and accent to architectural features, such as Flowering- Pear and Kousa Dogwood, shall be 1.75" minimum caliper;

d. **Large Conifers.** Large conifer trees such as Douglas-Fir, Deodar Cedar, Shore Pine, Western Red Cedar, or Mountain Hemlock shall be installed at a minimum height of six feet.

3. Street Trees. For references to the city's policies and standards regarding street trees, please see the following section in this Chapter (16.15.050: Street Trees).

4. Tree Credits (Reduction in Required New Trees).

a. Existing trees in required landscaped areas that are in good health, as certified by an arborist at the end of construction, may count for landscaping tree credit as follows in Table 16.15.040-1

(measured at four and one-half feet above grade and rounded to the nearest inch):

Table 16.15.040-1: Tree Credits

b. It is the responsibility of the owner to use reasonable care to maintain preserved trees. Trees preserved under this section may only be removed if approved by the planning official. Required mitigation for removal shall be replacement with the number of trees credited to the preserved and removed tree.

6. **Compliance with Standards.** The burden of proof is on the applicant to show that proposed landscaping materials will comply with the purposes and standards of this chapter. Landscape materials that exceed the minimum standards of this section are encouraged, provided that height and vision clearance requirements are met.

B. Installation and Maintenance.

1. **Installation.** Plant materials shall be installed to current industry standards and shall be properly staked to assure survival. Support devices (guy wires, etc.) may not interfere with normal pedestrian or vehicular movement.

2. **Maintenance.** Maintenance of landscaped areas is the on-going responsibility of the property owner. Any landscaping installed to meet the requirements of this code, or any condition of approval established by a city decision-making body acting on an application, shall be continuously maintained in a healthy, vital and acceptable manner. Required landscaping that dies is to be replaced in kind, within one growing season, unless appropriate substitute species are approved by the city. Failure to maintain landscaping as required in this chapter constitutes a violation of this code for which appropriate legal remedies, including the revocation of any applicable land development permits, may result (see Chapter 16.02, Section 16.02.030: Enforcement).

3. **Irrigation.** Irrigation is required of all new development, except single-family homes. The intent of this standard is to assure that plants will survive the critical establishment period when they are most vulnerable due to a lack of watering and also to assure that water is not wasted through unnecessary or inefficient irrigation. Approved irrigation system plans shall specify one of the following:

- a. A permanent, built-in, irrigation system with an automatic controller. Either a spray or drip irrigation system, or a combination of the two, may be specified;
- b. A permanent or temporary system designed by a licensed professional in the field of landscape architecture or irrigation system design, sufficient to assure that the plants will become established and drought-tolerant;
- c. Other irrigation system approved by the planning official.

C. Protection of Landscaped Areas. All required landscape areas, including all trees and shrubs, shall be protected from potential damage by conflicting uses or activities including vehicle parking and the storage of materials.

D. Landscaping on Corner Lots. All landscaping on corner lots shall meet the vision clearance standards of Section 16.12.030(H) in Chapter 16.12 (Transportation Access, Access Management, and Circulation). If high screening would ordinarily be required by this code, low screening shall be substituted within vision clearance areas. Taller screening may be required outside of the vision clearance area to mitigate for the reduced height within it.

E. Landscape Plans. Except for single-family dwelling on a single lot (but not excluding subdivisions), landscape plans shall be submitted showing all existing and proposed landscape areas. Plans must be drawn to scale and show the type, installation size, number and placement of materials. Plans shall include a plant material list. Plants are to be identified by both their scientific and common names. The condition of any existing plants and the proposed method of irrigation are also to be indicated.

F. Completion of Landscaping.

1. The installation of plant materials may be deferred for a period of time specified by the review authority acting on an application, in order to avoid hot summer or cold winter periods, or in response to water shortages.
2. Except for single-family dwelling on a single lot (but not excluding subdivisions), a final certificate of occupancy shall not be granted until either landscaping is completed or an adequate bond or other security is posted for the completion of the landscaping, and the city is given written authorization to enter the property.

G. Street Trees Not Typically Part of Site Landscaping. Street trees are not subject to the requirements of this section and are not counted toward the

required standards of this section. However, the review authority may, by granting a waiver or variance, allow for special landscaping within the right-of-way to compensate for a lack of appropriate on-site locations for landscaping.

Applicant Response: See application materials Sheets L3.00 and L3.01 for information on species and plant sizes. Further, proposed revisions to condition of approval 1.a requires applicant to meet these standards and based on the landscape plan contained in the application materials, these requirements can be met.

16.15.050 For the city's provisions regarding street trees, please refer to the following:

A. Lebanon Municipal Code Chapter 12.16: Street Trees;

B. City of Lebanon (Public Works Department):

1. Street Tree Policy and Potential Street Tree Guide;

2. Acceptable Street Tree List, Including: Trees for Use Under Power Lines and Pruning Guide.

Applicant Response: Along Weldwood Drive Applicant proposes a six-foot-wide planting strip without overhead utilities where nine medium size trees at thirty feet on center will be planted. Applicant proposes planting five Green Vase Zelkovas and four Armstrong Maples, both on the City of Lebanon Acceptable Street Tree List. They are all 2" caliper which meets the size requirements under the LDC.

16.15.060.A. General Standards. Construction of fences and walls shall conform to all of the following requirements:

4. Materials.

a. Permitted fence and wall materials: wood; metal; chain-link; bricks, concrete blocks stone; stucco, or similar masonry, and non-prohibited evergreen plants.

b. Prohibited fence and wall materials, except where explicitly allowed under other provisions of the Lebanon Municipal Code: straw bales; barbed or razor wire; and scrap materials.

c. Prohibited fence and wall materials: hedges over eight feet in required yards.

d. Fences or walls constructed of brick or masonry exceeding four feet in height shall be subject to review and approval by the city

engineer. Those that are taller than six feet also require a building permit.

Applicant Response: The development will meet these standards with the adoption of the revised condition of approval 1.a, proposed to read,

- a. A landscape plan shall be submitted in compliance with Chapter 16.15 and approved prior to the issuance of a building permit, without application of subjective standards. The landscape plan shall include a six-foot tall site obscuring fence of chain link with vinyl slats along the south and east property lines as delineated in the Minor Land Partition in condition 1.d, with a minimum five foot landscape buffer.

16.16.020.C Adequacy of utility and infrastructure facilities is based on the standards established in the city's adopted master facility plans (e.g., stormwater and drainage, parks, wastewater).

Applicant Response: The Applicant coordinated with the City staff regarding the availability of water and sewer capacity to determine the development falls within the City's adopted master facility plans. See Attachment 10. Further the proposed development is in close proximity to Weldwood Park and will also include construction of its own playground equipment to serve residents.

16.16.040.E. Existing Watercourse.

1. Where a proposed development is traversed by a watercourse, drainage way, channel, or stream that is proposed or required to remain in its current condition and/or function, there shall be provided to the city a stormwater easement or drainage right-of-way (ROW). The easement or ROW shall include provisions for access and maintenance.

2. The easement or ROW shall conform substantially with the lines of the watercourse and additional width adequate for stormwater conveyance and maintenance of the stormwater conveyance to protect the public health and safety, and adjacent properties, as determined by the city engineer.

F. Stormwater Release Rate. All new site development shall maintain pre-development peak historic stormwater discharge rates as per city standards. The applicant for a development proposal shall demonstrate through calculations acceptable to the city engineer that this standard will be met by the proposed development.

Applicant Response: As stated in the attached the EVREN Northwest, Inc. Technical Memorandum, Attachment 9, subsurface flows to the nearby wetland will not be

significantly impacted because the Applicant is infiltrating stormwater onsite. Since the source of water to the wetlands is subsurface, no easement or right of way is required for a drainageway, and the site development will maintain pre-development peak historic stormwater discharge rates. As set forth in Attachment 7, stormwater design can be achieved to meet City standards for discharge rate. A full drainage report with calculations will be submitted to the city engineer with the construction documents.

16.16.050.A. Placement and Installation of Utilities.

1. Underground Placement. Unless otherwise exempted by subsection B of this section, all new utility lines including, but not limited to, those required for natural gas, electric, communication, lighting, and cable television services and related facilities shall be placed underground, except for surface-mounted transformers, surface-mounted connection boxes and meter cabinets (which may be placed above ground). Temporary utility service facilities, during construction, may also be placed above ground.

2. Installation. The following additional standards apply to all new utility installation, in order to facilitate underground placement of utilities.

a. The developer shall coordinate site improvements with the serving utility to provide the underground services. Above ground utility service facilities and equipment shall not obstruct vision clearance areas for vehicular traffic (See Section 16.12.030(H) in Chapter 16.12 of this code).

b. All underground utilities, including sanitary sewers, storm drains and water lines installed in streets by the developer, shall be constructed prior to the surfacing of the streets.

c. Stubs for service connections shall be long enough to avoid disturbing the street improvements when service connections are made.

3. City Approval for any Surface-Mounted Utility Support Facilities. The city reserves the right to approve the location of all surface-mounted utility support facilities, subject to department of public works permit.

B. Exception to Underground Placement Requirement.

1. An exception to the underground placement requirement may be granted by the city engineer due to physical constraints, such as steep topography, or existing development conditions.

2. High capacity electrical transmission lines that are infeasible to site underground are exempted from the underground placement requirement.

C. Provision of Utility Services to All New Residential Subdivisions. All lots in residential subdivisions shall be provided with access to natural gas, electrical power, cable TV, and landline phone facilities provided such utilities can reasonably be made available to the site, in addition to the public utilities provided for in this chapter.

Applicant Response: All new utilities are proposed to be buried. No exceptions are anticipated.

16.31.040.G .Employing the procedures and decision criteria in Sections 16.31.070 and 16.31.080 of this chapter, the commission shall review and act upon applications for the alteration, relocation, or demolition of designated landmarks, or the major exterior alteration, relocation, or demolition of historic resources of statewide significance.

1. When such applications are received, the city shall send official notice to the state office of historical preservation (SHPO) and local historical preservation groups that request such notification.

2. The city shall invite and encourage SHPO and any local historical preservation groups to submit written testimony and present verbal testimony at the hearings. Such testimony shall be taken into account by the commission in its decision-making on these applications.

3. Final decisions on demolitions shall be made by the city council after conducting required public hearings.

Applicant Response: One public comment raised a question about why no archaeological study was included in the application materials. The subject property is not on the Lebanon historic register and has no identified historic resource of statewide significance, therefore, no archaeological study is required. This criteria is not applicable.

Attachment #6

Carlson Geotechnical

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**Report of
Geotechnical Investigation
Colonia Paz 1
Weldwood Drive & Cascade Drive
Lebanon, Oregon**

CGT Project Number G2005323

Prepared for

Claudia Cantu
Farmworkers Housing Development Corporation
1274 5th Street, Suite 1-A
Woodburn, Oregon 97071

July 22, 2020

Carlson Geotechnical

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July 22, 2020

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1274 5th Street, Suite 1-A
Woodburn, Oregon 97071

**Report of
Geotechnical Investigation
Colonia Paz 1
Weldwood Drive & Cascade Drive
Lebanon, Oregon**

CGT Project Number G2005323

Dear Ms. Cantu:

Carlson Geotechnical (CGT), a division of Carlson Testing, Inc. (CTI), is pleased to submit this report summarizing the results of our geotechnical investigation for the proposed Colonia Paz 1 project. The site is located southwest of the intersection of Weldwood Drive and Cascade Drive in Lebanon, Oregon. We performed our work in general accordance with CGT Proposal GP9022, dated July 20, 2020. Written authorization for our services was received on July 21, 2020.

Subsurface information and data was collected within the subject project site during a previous geotechnical investigation for FHDC (CGT Project Number G1804982). That information and data was used to serve as a basis for the geotechnical engineering recommendations presented later in this report.

We appreciate the opportunity to work with you on this project. Please contact us at 503.601.8250 if you have any questions regarding this report.

Respectfully Submitted,
CARLSON GEOTECHNICAL

A handwritten signature in black ink that reads "Melissa L. Lehman".

Melissa L. Lehman, GIT
Geotechnical Project Manager
mlehman@carlsontesting.com



EXPIRES: 6/30/2022

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TABLE OF CONTENTS

1.0 INTRODUCTION4
 1.1 Project Information4
 1.2 Scope of Services4
2.0 SITE DESCRIPTION4
 2.1 Site Geology4
 2.2 Site Surface Conditions5
 2.3 Subsurface Conditions5
3.0 SEISMIC CONSIDERATIONS6
 3.1 Seismic Design6
 3.2 Seismic Hazards7
4.0 CONCLUSIONS8
 4.1 Expansion Potential9
 4.2 Shallow Groundwater9
 4.3 Subgrade Moisture Sensitivity9
5.0 RECOMMENDATIONS9
 5.1 Site Preparation9
 5.2 Temporary Excavations10
 5.3 Wet Weather Considerations11
 5.4 Structural Fill13
 5.5 Shallow Foundations16
 5.6 Floor Slabs17
 5.7 Pavements19
 5.8 Additional Drainage Considerations21
6.0 RECOMMENDED ADDITIONAL SERVICES21
7.0 LIMITATIONS21

ATTACHMENTS

Site Location Figure 1
 Site Plan..... Figure 2
 Site Photographs Figure 3

 Subsurface Investigation and Laboratory Testing Appendix A

1.0 INTRODUCTION

Carlson Geotechnical (CGT), a division of Carlson Testing, Inc. (CTI), is pleased to submit this report summarizing the results of our updated geotechnical for the proposed Colonia Paz 1 project. The site is located southwest of the intersection of Weldwood Drive and Cascade Drive in Lebanon, Oregon, as shown on the attached Site Location, Figure 1.

CGT previously performed a geotechnical investigation for the FHDC Lebanon Housing Project, the results of which were presented in our January 3, 2019 report titled "Report of Geotechnical Investigation", CGT Project number G1804982. The Colonia Paz 1 project site is located within the southeast portion of that development area on a 1.39-acre lot.

1.1 Project Information

Based on our review of the provided development plans for the site, prepared by Pinnacle Architecture, dated June 12, 2020, development proposed within the subject 1.39-acre lot is consistent with that understood in the referenced 2019 report. The project will include construction of a multi-story residential building with an appurtenant parking lot and utilities. The project will also include construction of an extension of Weldwood Drive along the north site frontage. A lot-specific geotechnical report was requested for the referenced project. Updated geotechnical recommendations for seismic design have been presented later in this report recognizing a newer building code, 2019 Oregon Structural Specialty Code (2019 OSSC), was used to design the proposed building.

1.2 Scope of Services

Our scope of work included the following:

- Visit the site to confirm site conditions are consistent with those observed during our previous (2018) field investigation.
- Prepare this written geotechnical report that provides:
 - Updated seismic design parameters based on the 2019 OSSC.
 - Updated retaining wall design parameters based on the updated seismic design parameters.
 - Lot-specific geotechnical recommendations for site preparation and earthwork, wet weather construction, temporary excavations, and recommendations for design and construction of shallow foundations, floor slabs, and pavements.

2.0 SITE DESCRIPTION

2.1 Site Geology

Based on available geologic mapping¹ of the area, the site is underlain by Quaternary (Upper Pleistocene to Holocene) reworked gravel (Qrg) deposited by Willamette River tributaries. The gravel deposits consist of unconsolidated gravel with some sand, silt, and clay that form broad fans and terraces about 30 to 60 feet thick. Areas adjacent to the site are mapped as (Holocene and Pleistocene) reworked silt considered to have been derived largely from Willamette Silt.

¹ O'Connor, Jim E. et al., 2001. Origin, extent, and thickness of Quaternary geologic units in the Willamette Valley, Oregon: U.S. Geological Survey Professional Paper; 1620.

The reworked gravel is underlain by the lower Oligocene and middle Eocene Fisher Formation (Teof) of the Little Butte Volcanic Series. The Fisher Formation undivided consists of light gray to brown to light yellow, fine grained feldspathic sandstone and pebbly tuffaceous sandstone. The Fisher Formation is characterized by massive bedding, as well as finely laminated, fine-grained sandstone and siltstone, interbedded mafic lava flows and silicic ash-flow tuff. Beds and laminations include wood debris, bentonitic claystone, and minor coal beds. The Fisher Formation is commonly interfingered with gray-black, porphyritic Basaltic andesite, and light gray to brown to light yellow arkosic and tuffaceous marine sandstone and siltstone interbeds of the Eugene Formation.

2.2 Site Surface Conditions

CGT visited the site on July 21, 2020 to observe existing conditions. Site surface conditions were generally consistent with those described in our January 3, 2019, report. The roughly triangular, 1.39-acre site was bordered by grass fields to the north, Weldwood Drive to the east, a lightly forested area to the south and west. At the time of our site visit, the relatively level to very gently sloped site was vacant and vegetated primarily with grasses and scattered trees. Photographs taken during our recent site visit are shown on the attached Figure 3.

2.3 Subsurface Conditions

2.3.1 Subsurface Investigation & Laboratory Testing

Our 2018 subsurface investigation of the FHDC development site consisted of twenty-four test pits (TP-1 through TP-24) excavated on December 12 and 13, 2018. Test pits TP-6, TP-7, TP-8, TP-9, and TP-12 were located within the current project area; their approximate locations are shown on the attached Site Plan. In summary, those test pits excavated to depths ranging from about 6 to 9¾ feet bgs. Details regarding the subsurface investigation, logs of the explorations, and results of laboratory testing are presented in Appendix A. Subsurface conditions encountered during our investigation are summarized below.

2.3.2 Subsurface Materials

Logs of the referenced 2018 explorations have been reproduced and are presented in Appendix A. The following describes each of the subsurface materials encountered at the site.

Organic Soil (OL)

Organic Soil was encountered at the surface of the test pits. The organic soil was typically dark brown, moist, exhibited medium plasticity, and contained rootlets. This soil extended to depths ranging from about ½ to 1½ feet bgs in the test pits.

Fat Clay (CH)

Native fat clay was encountered below the organic soil in test pits TP-6 through TP-9 and extended to depths ranging from 2 to 5¾ feet bgs. This material was generally stiff to hard, brown, moist, exhibited high plasticity, and included trace subrounded to subangular gravel up to ¾ inch in diameter.

Lean Clay (CL)

Lean clay soil was encountered below the organic soil in test pit TP-12 and extended to a depth of 3½ feet bgs. The lean clay was generally medium stiff to very stiff, brown, moist, exhibited medium to high plasticity, and included trace subrounded to subangular gravel up to 3 inches in diameter.

Poorly Graded Gravel with Cobbles and Silt (GP)

Poorly graded gravel with cobbles and silt was encountered below the lean clay in TP-12, and extended to approximately 5½ feet bgs. This soil was encountered below the fat clay in TP-6 through TP-9, and extended to the full depths explored in those test pits, approximately 6 to 9½ feet bgs. The gravel was generally dense to very dense, moist, subrounded to subangular, up to 3 inches in diameter, and included subrounded to rounded cobbles up to 5 inches in diameter and trace coarse-grained sand.

Poorly Graded Sand with Cobbles (SP)

Poorly graded sand with cobbles was encountered below the poorly graded gravel with cobbles and silt in TP-12, and extended to the depth explored, approximately 6 feet bgs. This material was generally dense to very dense, gray-brown, moist, non-plastic, and included some subrounded to subangular gravel up to ¾ inch in diameter and trace cobbles up to 5 inches in diameter.

The soils encountered during our subsurface investigation were consistent with the reworked gravel and silt deposits described in Section 2.1. The fat clay (CH) and lean clay (CL) have a high percentage of fines and are referred to as “fine-grained deposits” throughout the remainder of this report. Likewise, the poorly graded gravel with cobbles and silt (GP) and poorly graded sand with cobbles (SP) are referred to as “coarse-grained deposits” throughout the remainder of this report.

2.3.3 Groundwater

Groundwater was encountered in test pits TP-6, TP-7, and TP-9 at depths ranging from about 4½ to 8 feet bgs on December 12 and 13, 2018. Groundwater was not encountered within the depths explored in the remaining test pits. To determine approximate regional groundwater levels in the area, we researched well logs available on the Oregon Water Resources Department (OWRD)² website for wells located within Section 23, Township 12 South, Range 2 West, Willamette Meridian. Our review indicated that groundwater levels in the area generally ranged from about 5 to 35 feet bgs. It should be noted groundwater levels vary with local topography. In addition, the groundwater levels reported on the OWRD logs often reflect the purpose of the well, so water well logs may only report deeper, confined groundwater, while geotechnical or environmental borings will often report any groundwater encountered, including shallow, unconfined groundwater. Therefore, the levels reported on the OWRD well logs referenced above are considered generally indicative of local water levels and may not reflect actual groundwater levels at the project site. We anticipate that groundwater levels will fluctuate due to seasonal and annual variations in precipitation, changes in site utilization, or other factors. In addition, the fine-grained deposits (CH, CL) are conducive to the formation of perched groundwater.

3.0 SEISMIC CONSIDERATIONS

3.1 Seismic Design

Section 1613.2.2 of the 2019 Oregon Structural Specialty Code (2019 OSSC) requires that the determination of the seismic site class be in accordance with Chapter 20 of the American Society of Civil Engineers Minimum Design Loads for Buildings and Other Structures (ASCE 7-16). We have assigned the site as Site Class D (“Stiff Soil”) based on geologic mapping and subsurface conditions encountered during our investigation.

² Oregon Water Resources Department, 2020. Well Log Records, accessed July 2020, from OWRD web site: http://apps.wrd.state.or.us/apps/gw/well_log/.

Earthquake ground motion parameters for the site were obtained in accordance with the 2019 OSSC using the Seismic Hazards by Location calculator on the ATC website³. The site Latitude 44.514247° North and Longitude 122.899776° West were input as the site location. The following table shows the recommended seismic design parameters for the site.

Table 1 Seismic Ground Motion Values (2019 OSSC)

	Parameter	Value
Mapped Acceleration Parameters	Spectral Acceleration, 0.2 second (S_s)	0.691g
	Spectral Acceleration, 1.0 second (S_1)	0.374g
Coefficients (Site Class D)	Site Coefficient, 0.2 second (F_A)	1.247
	Site Coefficient, 1.0 second (F_V) ¹	1.926
Adjusted MCE Spectral Response Parameters	MCE Spectral Acceleration, 0.2 second (S_{MS})	0.862g
	MCE Spectral Acceleration, 1.0 second (S_{M1})	0.720g
Design Spectral Response Accelerations	Design Spectral Acceleration, 0.2 second (S_{DS})	0.575g
	Design Spectral Acceleration, 1.0 second (S_{D1})	0.480g
Seismic Design Category (Risk Category II)		D

¹ Value determined from 2019 OSSC Table 1613.2.3(2).

3.2 Seismic Hazards

3.2.1 Liquefaction

In general, liquefaction occurs when deposits of loose/soft, saturated, cohesionless soils, generally sands and silts, are subjected to strong earthquake shaking. If these deposits cannot drain quickly enough, pore water pressures can increase, approaching the value of the overburden pressure. The shear strength of a cohesionless soil is directly proportional to the effective stress, which is equal to the difference between the overburden pressure and the pore water pressure. When the pore water pressure increases to the value of the overburden pressure, the shear strength of the soil approaches zero, and the soil can liquefy. The liquefied soils can undergo rapid consolidation or, if unconfined, can flow as a liquid. Structures supported by the liquefied soils can experience rapid, excessive settlement, shearing, or even catastrophic failure.

For fine-grained soils, susceptibility to liquefaction is evaluated based on penetration resistance and plasticity, among other characteristics. Criteria for identifying non-liquefiable, fine-grained soils are constantly evolving. Current practice to identify non-liquefiable, fine-grained soils is based on moisture content and plasticity characteristics of the soils^{4,5,6}. The susceptibility of sands, gravels, and sand-gravel mixtures to liquefaction is typically assessed based on penetration resistance, as measured using SPTs, CPTs, or Becker Hammer Penetration tests (BPTs).

³ Applied Technology Council (ATC), 2020. USGS seismic design parameters determined using "Seismic Hazards by Location," accessed July 2020, from the ATC website <https://hazards.atcouncil.org/>.

⁴ Seed, R.B. et al., 2003. Recent Advances in Soil Liquefaction Engineering: A Unified and Consistent Framework. Earthquake Engineering Research Center Report No. EERC 2003-06.

⁵ Bray, Jonathan D., Sancio, Rodolfo B., et al., 2006. Liquefaction Susceptibility of Fine-Grained Soils, Journal of Geotechnical and Geoenvironmental Engineering, Volume 132, Issue 9, September 2006.

⁶ Idriss, I.M., Boulanger, R.W., 2008. Soil Liquefaction During Earthquakes, Earthquakes Engineering Research Institute Monograph MNO-12.

The Oregon Department of Geology and Mineral Industries' Oregon Statewide Geohazards Viewer (HazVu)⁷ shows no hazard for liquefaction at the site. The Oregon Hazard Explorer for Lifelines Program (O-HELP)⁸ show no hazard for liquefaction for the site or immediate vicinity due to a M9.0 Cascadia Subduction Zone earthquake.

Based on their plasticity characteristics, the fine-grained deposits (CH, CL) encountered within our explorations are considered non-liquefiable. Based on their dense to very dense relative density, the coarse-grained deposits (GP, SP) are also considered non-liquefiable. Based on review of geologic mapping and our previous experience in the area, we do not anticipate liquefiable conditions are present at depths below those explored as part of this assignment.

3.2.2 Slope Instability

Due to the relatively level topography at and surrounding the site, the risk of slope instability at the site is considered low. The proposed grading includes relatively minimal planned changes in site grades and is not anticipated to increase this significantly risk.

3.2.3 Surface Rupture

3.2.3.1 Faulting

Although the site is situated in a region of the country with known active faults and historic seismic activity, no known faults exist on or immediately adjacent to the site. Therefore, the risk of surface rupture at the site due to faulting is considered low.

3.2.3.2 Lateral Spread

Surface rupture due to lateral spread can occur on sites underlain by liquefiable soils that are located on or immediately adjacent to slopes steeper than about 3 degrees (20H:1V), and/or adjacent to a free face, such as a stream bank or the shore of an open body of water. During lateral spread, the materials overlying the liquefied soils are subject to lateral movement downslope or toward the free face. Based on the relatively level topography at the site and the non-liquefiable nature of the soils at the site, the risk of damage associated with lateral spread is very low to negligible

4.0 CONCLUSIONS

Based on the results of our field explorations and analyses, the site may be developed as described in Section 1.1 of this report, provided the recommendations presented in this report are incorporated into the design and development. The following are the primary geotechnical considerations for the project:

- The presence of potentially expansive soils near the surface of the site,
- The presence of shallow groundwater within proposed excavation depths, and
- The presence of near-surface, moisture-sensitive soils that are susceptible to disturbance during wet weather.

These considerations are described in more detail in the following sections.

⁷ Oregon Department of Geology and Mineral Industries, 2020. Oregon Statewide Geohazards Viewer, accessed July 2020, from DOGAMI web site: <http://www.oregongeology.org/sub/hazvu/index.htm>.

⁸ Oregon State University College of Engineering, 2020. Oregon Hazard Explorer for Lifelines Program (O-HELP), accessed July 2020, from O-HELP web site: <http://ohelp.oregonstate.edu/#&ui-state=dialog>.

4.1 Expansion Potential

As indicated above and shown on the attached Site Plan, Figure 2, we encountered high plasticity fat clay (CH) in several of the test pits at the site. Fat clay soils are highly sensitive to changes in moisture content and have a high potential for exhibiting shrink-swell (expansive-contractive) behavior. Foundations, floor slabs, and pavements founded directly on these soils may be subject to cyclic shrink-swell movements that can result in differential movements and distress. In the absence of additional laboratory testing to evaluate the expansive potential of those soils, we recommend measures be taken to protect foundations, slabs, and pavements from the potentially damaging effects of shrink-swell movements. Specific recommendations for foundation, floor slab, and pavement subgrade preparation are presented in Sections 5.5, 5.6, and 5.7, respectively.

4.2 Shallow Groundwater

As indicated above and shown on the attached Site Plan, Figure 2, we encountered groundwater in three test pits at depths of about 4¾ to 8½ feet bgs. Depending on the time of year construction occurs, we anticipate groundwater may be encountered during excavation of utility trenches at the site extending beyond depths of about 4 feet bgs. Geotechnical recommendations for temporary dewatering of trenches and excavations, if required, are provided in Section 5.2.3 of this report.

4.3 Subgrade Moisture Sensitivity

The near surface fine-grained deposits (CH, CL) are susceptible to disturbance during wet weather. Trafficability of these soils may be difficult, and significant damage to the subgrade could occur, if earthwork is undertaken without proper precautions at times when the exposed soils are more than a few percentage points above optimum moisture content. In the event that construction occurs during wet weather, CGT recommends that measures be implemented to protect the fine-grained subgrade in areas of repeated construction traffic. Geotechnical recommendations for wet weather construction are presented in Section 5.3 of this report. Re-use of the fine-grained deposits during wet times of the year will require special consideration as discussed in Section 5.4.1 of this report.

5.0 RECOMMENDATIONS

The recommendations presented in this report are based on the information provided to us, results of our field investigation and analyses, laboratory data, and professional judgment. CGT has observed only a small portion of the pertinent subsurface conditions. The recommendations are based on the assumptions that the subsurface conditions do not deviate appreciably from those found during the field investigation. CGT should be consulted for further recommendations if the design of the proposed development changes and/or variations or undesirable geotechnical conditions are encountered during site development.

5.1 Site Preparation

5.1.1 Stripping

Existing vegetation, rooted soils, and organic soil (OL) should be removed from within, and for a minimum 5-foot margin around, proposed structural fill, building pad and pavement areas. Based on the results of our field explorations, topsoil stripping depths are anticipated to vary from about 1 to 1½ feet bgs. These materials may be deeper or shallower at locations away from the completed explorations. Accordingly, the geotechnical engineer or his representative should provide recommendations for actual stripping depths

based on observations during site stripping. Stripped surface vegetation and rooted soils should be transported off-site for disposal, or stockpiled for later use in landscaped areas.

5.1.2 Grubbing

Grubbing of trees should include the removal of the root mass and roots greater than ½-inch in diameter. Grubbed materials should be transported off-site for disposal. Root masses from larger trees may extend greater than 3 feet bgs. Where root masses are removed, the resulting excavation should be properly backfilled with structural fill in conformance with Section 5.4.2 of this report.

5.1.3 Test Pit Backfills

The test pits conducted at the site in 2018 were loosely backfilled during our field investigation. Where test pits are located within finalized building, structural fill, or pavement areas, the loose backfill materials should be re-excavated. The resulting excavations should be backfilled with structural fill in conformance with Section 5.4 of this report.

5.1.4 Existing Utilities & Below-Grade Structures

All existing utilities at the site should be identified prior to excavation. Abandoned utility lines beneath the new building, pavements, and hardscaping features should be completely removed or grouted full. Soft, loose, or otherwise unsuitable soils encountered in utility trench excavations should be removed and replaced with structural fill in conformance with Section 5.4 this report. Buried structures (i.e. footings, foundation walls, retaining walls, slabs-on-grade, tanks, etc.), if encountered during site development, should be completely removed and replaced with structural fill in conformance with Section 5.4 of this report.

5.1.5 Subgrade Preparation – Building Pad & Pavement Areas

After site preparation as recommended above, but prior to placement of structural fill and/or aggregate base, the geotechnical engineer or their representative should observe the exposed subgrade soils in order to identify areas of excessive yielding through either proof rolling or probing. Proof rolling of subgrade soils is typically conducted during dry weather using a fully-loaded, 10- to 12-cubic-yard, tandem-axle, tire-mounted, dump truck or equivalent weighted water truck. Areas of limited access or that appear too soft or wet to support proof rolling equipment should be evaluated by probing. During wet weather, subgrade preparation should be performed in general accordance with the recommendations presented in Section 5.3 of this report. If areas of soft soil or excessive yielding are identified, the affected material should be over-excavated to firm, stable subgrade, and replaced with imported granular structural fill in conformance with Section 5.4.2 of this report.

5.1.6 Erosion Control

Erosion and sedimentation control measures should be employed in accordance with applicable City, County, and State regulations.

5.2 Temporary Excavations

5.2.1 Overview

Conventional earthmoving equipment in proper working condition should be capable of making necessary excavations for the anticipated site cuts as described earlier in this report. All excavations should be in

accordance with applicable OSHA and state regulations. It is the contractor's responsibility to select the excavation methods, to monitor site excavations for safety, and to provide any shoring required to protect personnel and adjacent improvements. A "competent person", as defined by OR-OSHA, should be on-site during construction in accordance with regulations presented by OR-OSHA. CGT's current role on the project does not include review or oversight of excavation safety.

5.2.2 OSHA Soil Type

For use in the planning and construction of temporary excavations up to 10 feet in depth, an OSHA soil type "C" should be used for the granular soils (GP, SP) encountered in the test pits. Similarly, an OSHA soil type "B" may be used for the fine-grained soils (CH, CL) encountered near the surface of the site.

5.2.3 Dewatering

As indicated in Section 2.3.3 above, groundwater was encountered at depths of about 4¼ to 8½ feet bgs within the test pits excavated at the site in early December 2018. The coarse-grained deposits (GP, SP) encountered at depth generally have low fines content and are anticipated to exhibit moderate to high rates of transmissivity. Therefore, we would expect moderate to heavy seepage during excavation. For excavations extending below the groundwater level, in order to maintain dry working conditions, pumping from multiple sump locations may be effective in managing seepage. If sumps are not effective, or a greater assurance of effectively managing groundwater is desired, well points may be required. We recommend that sumps or well points be installed to remove water to a depth of at least 2 feet below the lowest elevation of the excavation. Well points should be installed and put into operation prior to commencing excavation. The project civil engineer should evaluate requirements for disposal of the resultant discharge. In order to refine groundwater levels and estimate flow rates, piezometers or well points could be installed and drawdown tests could be performed prior to, or at the onset of, construction.

5.2.4 Utility Trenches

Temporary trench cuts should stand near vertical to depths of approximately 4 feet in the native, fine-grained deposits encountered near the surface of the site. If groundwater seepage undermines the stability of the trench, or if sidewall caving is observed during excavation, the sidewalls should be flattened or shored. Depending on the time of year trench excavations occur, trench dewatering may be required in order to maintain dry working conditions. A discussion of temporary dewatering measures is presented in Section 5.2.3 above. If groundwater is encountered, we recommend placing trench stabilization material at the base of the excavations. Trench stabilization material should be in conformance with Section 5.4.4 of this report.

5.2.5 Excavations Near Foundations

Excavations near footings should not extend within a 1H:1V plane projected out and down from the outside, bottom edge of the footings. In the event excavation needs to extend below the referenced plane, temporary shoring of the excavation and/or underpinning of the subject footing may be required. The geotechnical engineer should be consulted to review proposed excavation plans for this design case to provide specific recommendations.

5.3 **Wet Weather Considerations**

For planning purposes, the wet season should be considered to extend from late September to late June. It is our experience that dry weather working conditions should prevail between early July and mid-September.

Notwithstanding the above, soil conditions should be evaluated in the field by the geotechnical engineer or their representative at the initial stage of site preparation to determine whether the recommendations within this section should be incorporated into construction.

5.3.1 Overview

Due to their fines content, the on-site fine-grained deposits (CH, CL) are susceptible to disturbance during wet weather. Trafficability of these soils may be difficult, and significant damage to subgrade soils could occur, if earthwork is undertaken without proper precautions at times when the exposed soils are more than a few percentage points above optimum moisture content. For wet weather construction, site preparation activities may need to be accomplished using track-mounted equipment, loading removed material onto trucks supported on granular haul roads, or other methods to limit soil disturbance. The geotechnical engineer or their representative should evaluate the subgrade during excavation by probing rather than proof rolling. Soils that have been disturbed during site preparation activities, or soft or loose areas identified during probing, should be over-excavated to firm, stable subgrade, and replaced with imported granular structural fill in conformance with Section 5.4.2.

5.3.2 Geotextile Separation Fabric

We recommend a geotextile separation fabric be placed to serve as a barrier between the prepared subgrade and granular fill/base rock in areas of repeated or heavy construction traffic. The geotextile fabric should meet the requirements presented in the current Oregon Department of Transportation (ODOT) Standard Specification for Construction, Section 02320.

5.3.3 Granular Working Surfaces (Haul Roads & Staging Areas)

Haul roads subjected to repeated heavy, tire-mounted, construction traffic (e.g. dump trucks, concrete trucks, etc.) will require a minimum of 18 inches of imported granular material. For light staging areas, 12 inches of imported granular material is typically sufficient. Additional granular material, geo-grid reinforcement, or cement amendment may be recommended based on site conditions and/or loading at the time of construction. The imported granular material should be in conformance with Section 5.4.2 and have less than 5 percent material passing the U.S. Standard No. 200 Sieve. The prepared subgrade should be covered with geotextile fabric (Section 5.3.2) prior to placement of the imported granular material. The imported granular material should be placed in a single lift (up to 24 inches deep) and compacted using a smooth-drum, non-vibratory roller until well-keyed.

5.3.4 Footing Subgrade Protection

A minimum of 3 inches of imported granular material is recommended to protect fine-grained footing subgrades from foot traffic during inclement weather. The imported granular material should be in conformance with Section 5.4.2. The maximum particle size should be limited to 1 inch. The imported granular material should be placed in one lift over the prepared, undisturbed subgrade, and compacted using non-vibratory equipment until well keyed.

Surface water should not be allowed to collect in footing trenches. Trenches should be draped and/or provided with sumps to preclude water accumulation during inclement weather.

5.3.5 Cement Amendment

It is sometimes less costly to amend near-surface, moisture-sensitive, fine-grained soils with Portland cement than to remove and replace those soils with imported granular material. Successful use of soil cement amendment depends on use of correct techniques and equipment, soil moisture content, and the amount of cement added to the subgrade (mix design). The recommended percentage of cement is based on soil moisture contents at the time the work is performed. Based on our experience, 3 percent cement by weight of dry soil can generally be used when the soil moisture content does not exceed approximately 20 percent. If the soil moisture content is in the range of 25 to 35 percent, 4 to 6 percent by weight of dry soil is recommended. It is difficult to accurately predict field performance due to the variability in soil response to cement amendment. The amount of cement added to the soil may need to be adjusted based on field observations and performance.

If cement amendment is considered, we recommend additional sampling, laboratory testing, and a mix design be performed to determine the level of improvement in engineering properties (strength, stiffness) of the on-site soils when blended with Portland cement. We recommend project scheduling allow for a minimum of 4 weeks for this testing and design to be completed, prior to initiating cement amendment.

5.4 **Structural Fill**

The geotechnical engineer should be provided the opportunity to review all materials considered for use as structural fill (prior to placement). Samples of the proposed fill materials should be submitted to the geotechnical engineer a minimum of 5 business days prior their use on site⁹. The geotechnical engineer or their representative should be contacted to evaluate compaction of structural fill as the material is being placed. Evaluation of compaction may take the form of in-place density tests and/or proof roll tests with suitable equipment. Structural fill should be evaluated at intervals not exceeding every 2 vertical feet as the fill is being placed.

5.4.1 On-Site Soils – General Use

5.4.1.1 Lean Clay (CL)

Re-use of this soil as structural fill may be difficult because this soil is sensitive to small changes in moisture content and difficult, if not impossible, to adequately compact during wet weather. We anticipate the moisture content of this soil will be higher than the optimum moisture content for satisfactory compaction. Therefore, moisture conditioning (drying) should be expected in order to achieve adequate compaction. If used as structural fill, this soil should be free of organic matter, debris, and particles larger than 4 inches. When used as structural fill, this soil should be placed in lifts with a maximum pre-compaction thickness of about 8 inches at moisture contents within –1 and +3 percent of optimum, and compacted to not less than 92 percent of the material's maximum dry density, as determined in general accordance with ASTM D1557 (Modified Proctor).

5.4.1.2 High Plasticity Fat Clay (CH)

The recommendations presented in Section 5.4.1.1 of this report are applicable for re-using this on-site soil as structural fill, with the following provisions:

⁹ Laboratory testing for moisture density relationship (Proctor) is required. Tests for gradation may be required.

- Where used as structural fill, this soil should be “capped” with a minimum of 1 foot of structural fill fitting the description of low plasticity material. Examples of low plasticity fill are presented in Section 5.4.1.1 and 5.4.1.3 of this report.
- Treating these soils with Portland cement is not recommended due to their high plasticity. Alternative treatment agent(s), such as lime, may be considered subject to review of the geotechnical engineer.

5.4.1.3 Coarse-Grained Deposits [Poorly Graded Gravel with Cobbles and Silt (GP) and Poorly Graded Sand with Cobbles (SP)]

Re-use of the on-site, relatively clean, granular soils as structural fill is feasible, provided the materials are kept clean of organics, debris, and particles larger than 4 inches in diameter. Re-use of the on-site gravels may require processing (removal) of large cobbles and, if encountered, occasional boulders. If re-used as structural fill, these materials should be prepared in general accordance with Section 5.4.2 of this report.

If the on-site materials cannot be properly moisture-conditioned and/or processed, we recommend using imported granular material for structural fill.

5.4.2 Imported Granular Structural Fill – General Use

Imported granular structural fill should consist of angular pit or quarry run rock, crushed rock, or crushed gravel that is fairly well graded between coarse and fine particle sizes. The granular fill should contain no organic matter, debris, or particles larger than 4 inches, and have less than 5 percent material passing the U.S. Standard No. 200 Sieve. For fine-grading purposes, the maximum particle size should be limited to 1½ inches. The percentage of fines can be increased to 12 percent of the material passing the U.S. Standard No. 200 Sieve if placed during dry weather, and provided the fill material is moisture-conditioned, as necessary, for proper compaction. Imported granular fill material should be compacted to not less than 95 percent of the material's maximum dry density, as determined in general accordance with ASTM D1557 (Modified Proctor). Proper moisture conditioning and the use of vibratory equipment will facilitate compaction of these materials.

Granular fill materials with high percentages of particle sizes in excess of 1½ inches are considered non-moisture-density testable materials. As an alternative to conventional density testing, compaction of these materials should be evaluated by proof roll test observation (deflection tests), where accepted by the geotechnical engineer.

5.4.3 Floor Slab Base Rock

Floor slab base rock should consist of well-graded granular material (crushed rock) containing no organic matter or debris, have a maximum particle size of ¾-inch, and have less than 5 percent material passing the U.S. Standard No. 200 Sieve. Floor slab base rock should be placed in one lift and compacted to not less than 95 percent of the material's maximum dry density as determined in general accordance with ASTM D1557 (Modified Proctor). We recommend “choking” the surface of the base rock with sand just prior to concrete placement. Choking means the voids between the largest aggregate particles are filled with sand, but does not provide a layer of sand above the base rock. Choking the base rock surface reduces the lateral restraint on the bottom of the concrete during curing. Choking the base rock also reduces punctures in vapor retarding membranes due to foot traffic where such membranes are used.

5.4.4 Trench Base Stabilization Material

If groundwater is present at the base of utility excavations, trench base stabilization material should be placed. Trench base stabilization material should consist of a minimum of 1 foot of well-graded granular material with a maximum particle size of 4 inches and less than 5 percent material passing the U.S. Standard No. 4 Sieve. The material should be free of organic matter and other deleterious material, placed in one lift (up to 24 inches thick), and compacted until well-keyed.

5.4.5 Trench Backfill Material

Trench backfill for the utility pipe base and pipe zone should consist of granular material as recommended by the utility pipe manufacturer. Trench backfill above the pipe zone should consist of well-graded granular material containing no organic matter or debris, have a maximum particle size of ¾ inch, and have less than 8 percent material passing the U.S. Standard No. 200 Sieve. As a guideline, trench backfill should be placed in maximum 12-inch-thick lifts. The earthwork contractor may elect to use alternative lift thicknesses based on their experience with specific equipment and fill material conditions during construction in order to achieve the required compaction. The following table presents recommended relative compaction percentages for utility trench backfill.

Table 2 Utility Trench Backfill Compaction Recommendations

Backfill Zone	Recommended <u>Minimum</u> Relative Compaction	
	Structural Areas ^{1,2}	Landscaping Areas
Pipe Base and Within Pipe Zone	90% ASTM D1557 or pipe manufacturer's recommendation	88% ASTM D1557 or pipe manufacturer's recommendation
Above Pipe Zone	92% ASTM D1557	90% ASTM D1557
Within 3 Feet of Design Subgrade	95% ASTM D1557	90% ASTM D1557

¹ Includes proposed buildings, pavement areas, structural fill areas, exterior hardscaping, etc.

² Or as specified by the local jurisdiction where located in the public right of way.

5.4.6 Controlled Low-Strength Material (CLSM)

CLSM is a self-compacting, cementitious material that is typically considered when backfilling localized areas. CLSM is sometimes referred to as “controlled density fill” or CDF. Due to its flowable characteristics, CLSM typically can be placed in restricted-access excavations where placing and compacting fill is difficult. If chosen for use at this site, we recommend the CLSM be in conformance with Section 00442 of the most recent, State of Oregon, Standard Specifications for Highway Construction. The geotechnical engineer’s representative should observe placement of the CLSM and obtain samples for compression testing in accordance with ASTM D4832. As a guideline, for each day’s placement, two compressive strength specimens from the same CLSM sample should be tested. The results of the two individual compressive strength tests should be averaged to obtain the reported 28-day compressive strength. If CLSM is considered for use on this site, please contact the geotechnical engineer for site-specific and application-specific recommendations.

5.5 Shallow Foundations

5.5.1 Subgrade Preparation

5.5.1.1 Design Case #1 - Expansive Soils Encountered at Design Subgrade Elevation

Satisfactory subgrade support for shallow foundations associated the proposed building can be obtained from a minimum of 12 inches of imported granular structural fill that is properly placed and compacted on the native, stiff to better, high plasticity fat clay (CH) during construction. During excavation, the subgrade soils should be kept moist, near optimum moisture content, and not allowed to dry out. If allowed to dry below optimum moisture content, to a point where surface cracking appears in the subgrade, the affected material should be over-excavated and replaced with imported granular structural fill.

The geotechnical engineer or his representative should be contacted to observe subgrade conditions prior to placement of granular backfill. If soft, loose, or otherwise unsuitable soils are encountered, they should be over-excavated as recommended by the geotechnical representative at the time of construction. The resulting over-excavation should be brought back to grade with imported granular structural fill in conformance with Section 5.4.2 of this report. The maximum particle size of over-excavation backfill should be limited to 1½ inches. All granular pads for footings should be constructed a minimum of 6 inches wider on each side of the footing for every vertical foot of over-excavation.

5.5.1.2 Design Case #2 – Non-Expansive Soils Encountered at Design Subgrade Elevation

Satisfactory subgrade support for shallow foundations can be obtained from the native, medium dense to better, coarse-grained deposits (GP, SP), the native, medium stiff to better, lean clay (CL), or new structural fill that is properly placed and compacted on these materials during construction. The geotechnical engineer or their representative should be contacted to observe subgrade conditions prior to placement of forms, reinforcement steel, or granular backfill (if required). If soft, loose, or otherwise unsuitable soils are encountered, they should be over-excavated as recommended by the geotechnical representative at the time of construction. The resulting over-excavation should be brought back to grade with imported granular structural fill in conformance with Section 5.4.2. The maximum particle size of over-excavation backfill should be limited to 1½ inches. All granular pads for footings should be constructed a minimum of 6 inches wider on each side of the footing for every vertical foot of over-excavation.

5.5.2 Minimum Footing Width & Embedment

Minimum footing widths should be in conformance with the current OSSC. As a guideline, we recommend individual spread footings have a minimum width of 24 inches. For two- and three-story, light-duty construction, we recommend continuous wall footings have minimum widths of 15 and 18 inches, respectively. All footings should be founded at least 18 inches below the lowest, permanent adjacent grade to develop lateral capacity and for frost protection.

5.5.3 Bearing Pressure & Settlement

Footings founded as recommended above should be proportioned for a maximum allowable soil bearing pressure of 2,500 pounds per square foot (psf). This bearing pressure is a net bearing pressure, applies to the total of dead and long-term live loads, and may be increased by one-third when considering seismic or wind loads. For foundations founded as recommended above, total settlement of foundations is anticipated to be less than 1 inch. Differential settlements between adjacent columns and/or bearing walls should not

exceed ½-inch. If an increased allowable soil bearing pressure is desired, the geotechnical engineer should be consulted.

5.5.4 Lateral Capacity

A maximum passive (equivalent fluid) earth pressure of 150 pounds per cubic foot (pcf) is recommended for design of footings cast neat into excavations in suitable native soil or confined by imported granular structural fill that is properly placed and compacted during construction. The recommended earth pressure was computed using a factor of safety of 1½, which is appropriate due to the amount of movement required to develop full passive resistance. In order to develop the above capacity, the following should be understood:

1. Concrete must be poured neat in excavations or the foundations must be backfilled with imported granular structural fill,
2. The adjacent grade must be level,
3. The static ground water level must remain below the base of the footings throughout the year.
4. Adjacent floor slabs, pavements, or the upper 12-inch-depth of adjacent, unpaved areas should not be considered when calculating passive resistance.

An ultimate coefficient of friction equal to 0.35 may be used when calculating resistance to sliding for footings founded on the native soils described above. An ultimate coefficient of friction equal to 0.45 may be used when calculating resistance to sliding for footings founded on a minimum of 6 inches of imported granular structural fill (crushed rock) that is properly placed and compacted during construction.

5.5.5 Subsurface Drainage

Recognizing the presence of predominantly near-surface fine-grained soils at this site, we recommend placing foundation drains at the exterior, base elevations of perimeter continuous wall footings. Foundation drains should consist of a minimum 4-inch diameter, perforated, PVC drainpipe wrapped with a non-woven geotextile filter fabric. The drains should be backfilled with a minimum of 2 cubic feet of open graded drain rock per lineal foot of pipe. The drain rock should also be encased in a geotextile fabric in order to provide separation from the surrounding fine-grained soils. Foundation drains should be positively sloped and should outlet to a suitable discharge point. The geotechnical engineer or their representative should observe the drains prior to backfilling. Roof drains should not be tied into foundation drains.

5.6 **Floor Slabs**

5.6.1 Subgrade Preparation

5.6.1.1 Design Case #1 - Expansive Soils Encountered at Design Subgrade Elevation

Satisfactory subgrade support for floor slabs constructed on grade, supporting up to 150 psf area loading, can be obtained from a minimum of 12 inches of imported granular structural fill (granular sub-base) that is properly placed and compacted on the native, stiff to better, high plasticity fat clay (CH) during construction. During excavation, the subgrade soils should be kept moist, near optimum moisture content, and not allowed to dry out. If allowed to dry below optimum moisture content, to a point where surface cracking appears in the subgrade, the affected material should be over-excavated and replaced with imported granular structural fill.

The geotechnical engineer or his representative should observe floor slab subgrade soils to evaluate surface consistencies. If soft, loose, or otherwise unsuitable soils are encountered, they should be over-excavated as recommended by the geotechnical representative at the time of construction. The resulting over-excavation should be brought back to grade with imported granular structural fill as described in Section 5.4.2 of this report.

5.6.1.2 Design Case #2 – Non-Expansive Soils Encountered at Design Subgrade Elevation

Satisfactory subgrade support for slabs constructed on grade, supporting up to 150 psf area loading, can be obtained from the native, medium dense to better, coarse-grained deposits (GP, SM, SP), the native, medium stiff to better, low plasticity soils (CL, ML), or new structural fill that is properly placed and compacted on these materials during construction. The geotechnical engineer or their representative should observe floor slab subgrade soils to evaluate surface consistencies. If soft, loose, or otherwise unsuitable soils are encountered, they should be over-excavated as recommended by the geotechnical representative at the time of construction. The resulting over-excavation should be brought back to grade with imported granular structural fill as described in Section 5.4.2 of this report.

5.6.2 Crushed Rock Base

Concrete floor slabs should be supported on a minimum 6-inch-thick layer of crushed rock (base rock) in conformance with the recommendations presented in Section 5.4.3 above. If a gas-permeable base rock is considered, the geotechnical engineer should be contacted to provide supplemental recommendations.

5.6.3 Design Considerations

For floor slabs constructed as recommended above, an effective modulus of subgrade reaction of 150 pounds per cubic inch (pci) is recommended for the design of the floor slab. A higher effective modulus of subgrade reaction can be obtained by increasing the base rock thickness. Please contact the geotechnical engineer for additional recommendations if a higher modulus is desired. Floor slabs constructed as recommended will likely settle less than ½-inch. For general floor slab construction, slabs should be jointed around columns and walls to permit slabs and foundations to settle differentially.

5.6.4 Subgrade Moisture Considerations

Liquid moisture and moisture vapor should be expected at the subgrade surface. The recommended crushed rock base is anticipated to provide protection against liquid moisture. Where moisture vapor emission through the slab must be minimized, e.g. impervious floor coverings, storage of moisture sensitive materials directly on the slab surface, etc., a vapor retarding membrane or vapor barrier below the slab should be considered. Factors such as cost, special considerations for construction, floor coverings, and end use suggest that the decision regarding a vapor retarding membrane or vapor barrier be made by the architect and owner.

If a vapor retarder or vapor barrier is placed below the slab, its location should be based on current American Concrete Institute (ACI) guidelines, ACI 302 Guide for Concrete Floor and Slab Construction. In some cases, this indicates placement of concrete directly on the vapor retarder or barrier. Please note that the placement of concrete directly on impervious membranes increases the risk of plastic shrinkage cracking and slab curling in the concrete. Construction practices to reduce or eliminate such risk, as described in ACI 302, should be employed during concrete placement.

5.7 Pavements

5.7.1 Subgrade Preparation

5.7.1.1 Design Case #1 - Expansive Soils Encountered at Design Subgrade Elevation

Satisfactory subgrade support for pavements can be obtained from a minimum of 12 inches of imported granular structural fill (granular sub-base) that is properly placed and compacted on the native, stiff to better, high plasticity fat clay (CH) during construction. During excavation, the subgrade soils should be kept moist, near optimum moisture content, and not allowed to dry out. If allowed to dry below optimum moisture content, to a point where surface cracking appears in the subgrade, the affected material should be over-excavated and replaced with imported granular structural fill. Pavement subgrade preparation should be in conformance with Section 5.1.5 of this report. Pavement subgrade surfaces should be crowned (or sloped) for proper drainage in accordance with specifications provided by the project civil engineer.

5.7.1.2 Design Case #2 – Non-Expansive Soils Encountered at Design Subgrade Elevation

Satisfactory subgrade support for pavements can be obtained from the native, medium dense to better, coarse-grained deposits (GP, SP), the native, medium stiff to better, lean clay (CL), or new structural fill that is properly placed and compacted on these materials during construction. Pavement subgrade preparation should be in conformance with Section 5.1.5 of this report. Pavement subgrade surfaces should be crowned (or sloped) for proper drainage in accordance with specifications provided by the project civil engineer.

5.7.2 Input Parameters

Our asphalt concrete (AC) pavement section designs were based on the American Association of State Highway and Transportation Officials (AASHTO) 1993 “Design of Pavement Structures” manual and the 2011 ODOT Pavement Design Guide. A number of design assumptions and variables were required in order to develop design sections for pavements proposed at the site. The following table presents the input parameters assumed for the design:

Table 3 Input Parameters Used in AC Pavement Design

Global Input			Condition Input			
Parameter	Value	Note	Parameter	Value	Note	
Pavement Design Life (years)	20	---	Resilient Modulus	Subgrade (Fine-Grained Soils)	3.0	2
Growth Rate (%)	0	---	- Subgrade (ksi)	Aggregate Base	20	1
Initial & Terminal Serviceability	4.2 2.5	1		Structural Coefficient - Asphalt	0.42	1
Standard Deviation	0.49	1		Structural Coefficient – Aggregate Base	0.10	1
Reliability (%)	85	1	Vehicle Traffic	APAO Level I (Very Light)	Less than 10,000	
Drainage Coefficient – All Layers	1.0	1	(See Note 3)	APAO Level II (Light)	Less than 50,000	

Note 1 – Value based on guidelines presented in 2011 ODOT Pavement Design Manual.

Note 2 – Values based on experience with similar soils in their in-situ (unimproved) condition.

Note 3 – ESAL = Total 18-Kip equivalent single axle load. Traffic levels taken from Table 3.1 of APAO manual. If actual traffic levels will be above those identified above, the geotechnical engineer should be consulted.

5.7.3 Recommended Minimum Sections

5.7.3.1 Design Case #1: Expansive Soils Encountered at Design Subgrade Elevation

The following table presents the minimum AC pavement sections for various traffic loads indicated in the preceding table, based on the referenced AASHTO procedures.

Table 4 Recommended Minimum Asphalt Pavement Sections (Expansive Soil Areas)

Material	APAO Traffic Loading	
	Level I	Level II
	(Passenger Car Traffic Only)	(Entrance & Service Drive Lanes)
Asphalt Pavement (inches)	3	3½
Crushed Aggregate Base (inches)	4	4
Granular Sub-Base (inches)	12	12
Geotextile Separation Fabric	Placed in conformance with Section 5.3.2 of this report.	
Subgrade Soils	Prepared in conformance with Section 5.7.1.1 of this report.	

5.7.3.2 Design Case #2 – Non-Expansive Soils Encountered at Design Subgrade Elevation

The following table presents the minimum AC pavement sections for various traffic loads indicated in the preceding table, based on the referenced AASHTO procedures.

Table 5 Recommended Minimum Asphalt Pavement Sections (Non-Expansive Soil Areas)

Material	APAO Traffic Loading	
	Level I	Level II
	(Passenger Car Traffic Only)	(Entrance & Service Drive Lanes)
Asphalt Pavement (inches)	3	3½
Crushed Aggregate Base (inches) ¹	8	8
Subgrade Soils	Prepared in conformance with Section 5.7.1.2 of this report.	

¹ Thickness shown assumes dry weather construction. A granular sub-base section and/or a geotextile separation fabric may be required in wet conditions in order to support construction traffic and protect the subgrade. Refer to Section 5.3 for additional discussion.

5.7.4 AC Pavement Materials

We recommend pavement aggregate sub-base consist of durable, relatively well-graded, granular fill in conformance with Section 00641.10.b of the most recent State of Oregon, Standard Specifications for Highway Construction (ODOT SSC), with the following considerations. We recommend the material have a maximum particle size of 4 inches and have less than 5 percent material passing the U.S. Standard No. 200 Sieve. Aggregate sub-base should be compacted to not less than 95 percent of the material's maximum dry density as determined in general accordance with ASTM D1557 (Modified Proctor), or visual equivalent as identified by deflection (proof roll) testing.

We recommend pavement aggregate base consist of dense-graded aggregate in conformance with Section 02630.10 of the most recent ODOT SSC, with the following additional considerations. We recommend the material consist of crushed rock or gravel, have a maximum particle size of 1½ inches, and have less than 5 percent material passing the U.S. Standard No. 200 Sieve. Aggregate base should be compacted to not less than 95 percent of the material's maximum dry density as determined in general accordance with ASTM D1557 (Modified Proctor).

We recommend asphalt pavement consist of Level 2, ½-inch, dense-graded HMAC in conformance with the most recent ODOT SSC. Asphalt pavement should be compacted to at least 91 percent of the material's theoretical maximum density as determined in general accordance with ASTM D2041 (Rice Specific Gravity).

5.8 Additional Drainage Considerations

Subsurface drains should be connected to the nearest storm drain or other suitable discharge point. Paved surfaces and grading near or adjacent to the building should be sloped to drain away from the building. Surface water from paved surfaces and open spaces should be collected and routed to a suitable discharge point. Surface water should not be directed into foundation drains or onto site slopes.

6.0 RECOMMENDED ADDITIONAL SERVICES

Satisfactory earthwork, foundation, floor slab, and pavement performance depends to a large degree on the quality of construction. Sufficient observation of the contractor's activities is a key part of determining that the work is completed in accordance with the construction drawings and specifications. Subsurface conditions observed during construction should be compared with those encountered during subsurface explorations, and recognition of changed conditions often requires experience. We recommend that qualified personnel visit the site with sufficient frequency to detect whether subsurface conditions change significantly from those observed to date and anticipated in this report. We recommend geotechnical engineer's representative attend a pre-construction meeting coordinated by the contractor and/or developer. The project geotechnical engineer's representative should provide observations and/or testing of at least the following earthwork elements during construction:

- Site Stripping
- Subgrade Preparation for Shallow Foundations, Structural Fills, Floor Slabs, and Pavements
- Compaction of Structural Fill and Utility Trench Backfill
- Compaction of Base Rock for Floor Slabs and Pavements
- Compaction of Asphalt Concrete for Pavements

It is imperative that the owner and/or contractor request earthwork observations and testing at a frequency sufficient to allow the geotechnical engineer to provide a final letter of compliance for the earthwork activities.

7.0 LIMITATIONS

We have prepared this report for use by the owner/developer and other members of the design and construction team for the proposed development. The opinions and recommendations contained within this report are forwarded to assist in the planning and design process and are not intended to be, nor should they be construed as, a warranty of subsurface conditions.

We have made observations based on our explorations that indicate the soil conditions at only those specific locations and only to the depths penetrated. These observations do not necessarily reflect soil types, strata thickness, or water level variations that may exist between or away from our explorations. If subsurface conditions vary from those encountered in our site explorations, CGT should be alerted to the change in conditions so that we may provide additional geotechnical recommendations, if necessary. Observation by experienced geotechnical personnel should be considered an integral part of the construction process.

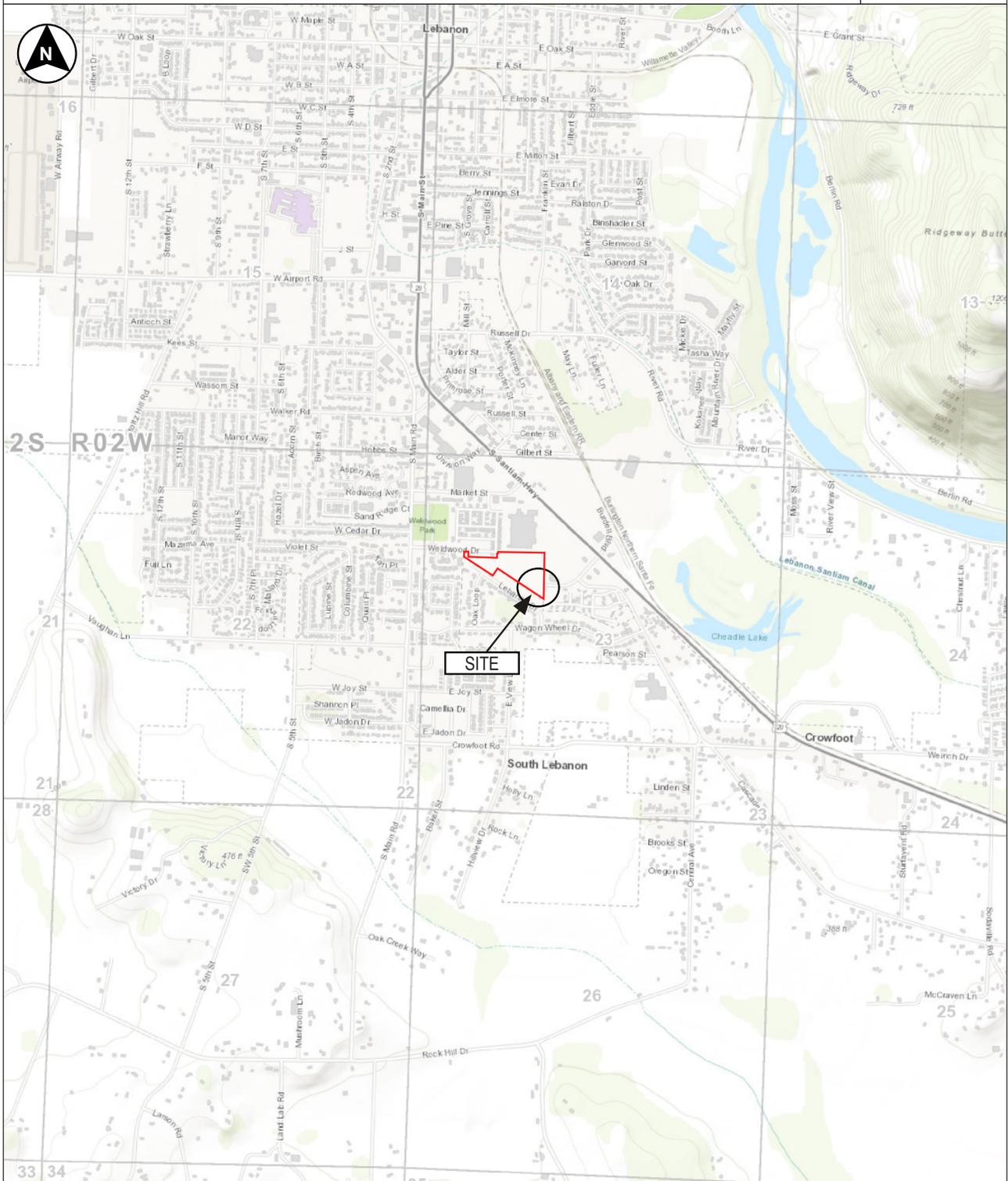
The owner/developer is responsible for ensuring that the project designers and contractors implement our recommendations. When the design has been finalized, prior to releasing bid packets to contractors, we recommend that the design drawings and specifications be reviewed by our firm to see that our recommendations have been interpreted and implemented as intended. If design changes are made, we request that we be retained to review our conclusions and recommendations and to provide a written modification or verification. Design review and construction phase testing and observation services are beyond the scope of our current assignment, but will be provided for an additional fee.

The scope of our services does not include services related to construction safety precautions, and our recommendations are not intended to direct the contractor's methods, techniques, sequences, or procedures, except as specifically described in our report for consideration in design.

Geotechnical engineering and the geologic sciences are characterized by a degree of uncertainty. Professional judgments presented in this report are based on our understanding of the proposed construction, familiarity with similar projects in the area, and on general experience. Within the limitations of scope, schedule, and budget, our services have been executed in accordance with the generally accepted practices in this area at the time this report was prepared; no warranty, expressed or implied, is made. This report is subject to review and should not be relied upon after a period of three years.

COLONIA PAZ 1 - LEBANON, OREGON
Project Number G2005323

FIGURE 1
Site Location



Drafted by: AET

Map created with ArcGIS Pro 2.2.4, copyright 2018 Esri, Inc.
 Township 12 South, Range 2 West, Section 23, Willamette Meridian

Latitude: 44.514302° North
 Longitude: 122.899986° West

1 Inch = 2,000 feet



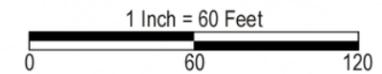
COLONIA PAZ 1 - LEBANON, OREGON
CGT Project Number G2005323

FIGURE 2
Site Plan



LEGEND

- TP-1 2018 Test Pit. Depth to groundwater, if encountered, indicated in ().
- TP-3 2018 Test Pit with near-surface expansive soil. Depth to groundwater, if encountered, indicated in ().
- Orientation of site photographs shown on Figure 3



NOTES: Site layout obtained from Sheet C3.0 of provided civil plan set, prepared by Ashley Vance Engineering, and dated July 13, 2020. All test pit and photograph locations are approximate.



Drafted by: AET/mw



Photograph 1



Photograph 2



Photograph 3



Drafted by: AET

See Figure 2 for approximate photograph locations and directions. Photographs were taken on July 21, 2020.

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Appendix A: Subsurface Investigation and Laboratory Testing

**Colonia Paz 1
Weldwood Drive and Cascade Drive
Lebanon, Oregon**

CGT Project Number G2005323

July 22, 2020

Prepared For:

Ms. Maria Guerra
Farmworker Housing Development Corporation
1274 A North Fifth Street
Woodburn, Oregon 97071

Prepared by
Carlson Geotechnical

Exploration Key.....	Figure A1
Soil Classification.....	Figure A2
Test Pit Logs.....	Figures A3 – A7

A.1.0 SUBSURFACE INVESTIGATION

Our field investigation for the FHDC Housing Development project consisted of twenty-four test pits completed in December 2018. As shown on the Site Plan, five of the test pits (TP-6, TP-7, TP-8, TP-9, and TP-12) were excavated within the current development area. The exploration locations shown therein were originally determined in 2018 based on measurements from existing site features (buildings, etc.) and have been approximated onto the recently provided site layout plan. Surface elevations indicated on the logs were estimated based on the topographic contours as shown on the original Site Plan attached to the 2019 geotechnical report and should be considered approximate. A key for symbols and in-situ test methods shown on the logs is attached as Figure A1. The attached figures detail the exploration methods (Figure A1), soil classification criteria (Figure A2), and present detailed logs of the explorations (Figures A3 through A7).

A.1.1 Test Pits

CGT observed the excavation of the referenced eight test pits (TP-6, TP-7, TP-8, TP-9, and TP-12) at the site on December 12 and 13, 2018, to depths of about 6 to 9¼ feet bgs. The test pits were excavated using a Bobcat 337 mini-excavator provided and operated by our subcontractor, Douglas Shepherd Dirt Work of Keizer, Oregon. The test pits were loosely backfilled with the excavated materials upon completion.

A.1.2 In-Situ Testing - Pocket Penetrometer Tests

Pocket penetrometer readings were generally taken at approximate ½-foot intervals in the upper four feet of each test pit. The pocket penetrometer is a hand-held instrument that provides an approximation of the unconfined compressive strength of cohesive, fine-grained soils. The correlation between pocket penetrometer readings and the consistency of cohesive, fine-grained soils is provided on the attached Figure A2. Since some of the on-site soils were coarse-grained, those pocket penetrometer readings are for informational purposes only, and were not used in our analyses.

A.1.3 Material Classification & Sampling

Representative disturbed (grab) samples were obtained at select intervals within the test pits. A qualified member of CGT's geological staff collected the samples and logged the soils in general accordance with the Visual-Manual Procedure (ASTM D2488). An explanation of this classification system is attached as Figure A2. The grab samples were stored in sealable plastic bags and transported to our soils laboratory for further examination and testing. Our geotechnical staff visually examined all samples in order to refine the initial field classifications.

A.1.4 Subsurface Conditions

Subsurface conditions are summarized in Section 2.3 of the geotechnical report. Detailed logs of the test pits are presented on the attached test pit logs, Figures A3 through A7.

A.2.0 LABORATORY TESTING

Laboratory testing was performed on samples collected in the field to refine our initial field classifications and determine in-situ parameters. Laboratory testing conducted on samples collected from test pits within the current development area included five moisture content determinations (ASTM D2216), one percentage passing the U.S. Standard No. 200 Sieve test (ASTM D1140) and one Atterberg limits (plasticity) test (ASTM D4318). Results of the laboratory tests are shown on the exploration logs.



Atterberg limits (plasticity) test results (ASTM D4318): PL = Plastic Limit, LL = Liquid Limit, and MC= Moisture Content (ASTM D2216)

FINES CONTENT (%) Percentage passing the U.S. Standard No. 200 Sieve (ASTM D1140)

SAMPLING

 GRAB

Grab sample

 BULK

Bulk sample

 SPT

Standard Penetration Test (SPT) consists of driving a 2-inch, outside-diameter, split-spoon sampler into the undisturbed formation with repeated blows of a 140-pound, hammer falling a vertical distance of 30 inches (ASTM D1586). The number of blows (N-value) required to drive the sampler the last 12 inches of an 18-inch sample interval is used to characterize the soil consistency or relative density. The drill rig was equipped with a cat-head or automatic hammer to conduct the SPTs. The observed N-values, hammer efficiency, and N_{60} are noted on the boring logs.

 MC

Modified California sampling consists of 3-inch, outside-diameter, split-spoon sampler (ASTM G3550) driven similarly to the SPT sampling method described above. A sampler diameter correction factor of 0.44 is applied to calculate the equivalent SPT N_{60} value per Lacroix and Horn, 1973.

 CORE

Rock Coring interval

 SH

Shelby Tube is a 3-inch, inner-diameter, thin-walled, steel tube push sampler (ASTM D1587) used to collect relatively undisturbed samples of fine-grained soils.

WDCP

Wildcat Dynamic Cone Penetrometer (WDCP) test consists of driving 1.1-inch diameter, steel rods with a 1.4-inch diameter, cone tip into the ground using a 35-pound drop hammer with a 15-inch free-fall height. The number of blows required to drive the steel rods is recorded for each 10 centimeters (3.94 inches) of penetration. The blow count for each interval is then converted to the corresponding SPT N_{60} values.

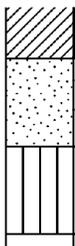
DCP

Dynamic Cone Penetrometer (DCP) test consists of driving a 20-millimeter diameter, hardened steel cone on 16-millimeter diameter steel rods into the ground using a 10-kilogram drop hammer with a 460-millimeter free-fall height. The depth of penetration in millimeters is recorded for each drop of the hammer.

POCKET PEN. (tsf)

Pocket Penetrometer test is a hand-held instrument that provides an approximation of the unconfined compressive strength in tons per square foot (tsf) of cohesive, fine-grained soils.

CONTACTS



Observed (measured) contact between soil or rock units.

Inferred (approximate) contact between soil or rock units.

Transitional (gradational) contact between soil or rock units.

ADDITIONAL NOTATIONS

Italics Notes drilling action or digging effort

{ Braces } Interpretation of material origin/geologic formation (e.g. { Base Rock } or { Columbia River Basalt })



All measurements are approximate.

COLONIA PAZ 1 - LEBANON, OREGON
Project Number G2005323

FIGURE A2
Soil Classification

Classification of Terms and Content		Grain Size			U.S. Standard Sieve	
NAME: Group Name and Symbol Relative Density or Consistency Color Moisture Content Plasticity Other Constituents Other: Grain Shape, Approximate Gradation Organics, Cement, Structure, Odor, etc. Geologic Name or Formation	Fines				<#200 (0.075 mm)	
	Sand	Fine			#200 - #40 (0.425 mm)	
		Medium			#40 - #10 (2 mm)	
		Coarse			#10 - #4 (4.75 mm)	
	Gravel	Fine			#4 - 0.75 inch	
		Coarse			0.75 inch - 3 inches	
Cobbles				3 to 12 inches		
Boulders				> 12 inches		
Coarse-Grained (Granular) Soils						
Relative Density		Minor Constituents				
SPT N ₆₀ -Value	Density	Percent by Volume	Descriptor	Example		
0 - 4	Very Loose	0 - 5%	"Trace" as part of soil description	"trace silt"		
4 - 10	Loose					
10 - 30	Medium Dense	5 - 15%	"With" as part of group name	"POORLY GRADED SAND WITH SILT"		
30 - 50	Dense	15 - 49%	Modifier to group name	"SILTY SAND"		
>50	Very Dense					
Fine-Grained (Cohesive) Soils						
SPT N ₆₀ -Value	Torvane tsf Shear Strength	Pocket Pen tsf Unconfined	Consistency	Manual Penetration Test	Minor Constituents	
<2	<0.13	<0.25	Very Soft	Thumb penetrates more than 1 inch	Percent by Volume	
2 - 4	0.13 - 0.25	0.25 - 0.50	Soft	Thumb penetrates about 1 inch	Descriptor	
4 - 8	0.25 - 0.50	0.50 - 1.00	Medium Stiff	Thumb penetrates about ¼ inch	Example	
8 - 15	0.50 - 1.00	1.00 - 2.00	Stiff	Thumb penetrates less than ¼ inch	0 - 5% "Trace" as part of soil description "trace fine-grained sand"	
15 - 30	1.00 - 2.00	2.00 - 4.00	Very Stiff	Readily indented by thumbnail	5 - 15% "Some" as part of soil description "some fine-grained sand"	
>30	>2.00	>4.00	Hard	Difficult to indent by thumbnail	15 - 30% "With" as part of group name "SILT WITH SAND" 30 - 49% Modifier to group name "SANDY SILT"	
Moisture Content			Structure			
Dry: Absence of moisture, dusty, dry to the touch			Stratified: Alternating layers of material or color >6 mm thick			
Moist: Leaves moisture on hand			Laminated: Alternating layers < 6 mm thick			
Wet: Visible free water, likely from below water table			Fissured: Breaks along definite fracture planes			
Plasticity	Dry Strength	Dilatancy	Toughness	Slickensided: Striated, polished, or glossy fracture planes		
ML CL MH CH	Non to Low Low to Medium Medium to High Medium to High	Non to Low Medium to High Low to Medium High to Very High	Slow to Rapid None to Slow None to Slow None	Low, can't roll Medium Low to Medium High	Blocky: Cohesive soil that can be broken down into small angular lumps which resist further breakdown	
Lenses: Has small pockets of different soils, note thickness						
Homogeneous: Same color and appearance throughout						
Visual-Manual Classification						
Major Divisions		Group Symbols	Typical Names			
Coarse Grained Soils: More than 50% retained on No. 200 sieve	Gravels: 50% or more retained on the No. 4 sieve	Clean Gravels	GW	Well-graded gravels and gravel/sand mixtures, little or no fines		
		Gravels with Fines	GP	Poorly-graded gravels and gravel/sand mixtures, little or no fines		
			GM	Silty gravels, gravel/sand/silt mixtures		
		GC	Clayey gravels, gravel/sand/clay mixtures			
	Sands: More than 50% passing the No. 4 sieve	Clean Sands	SW	Well-graded sands and gravelly sands, little or no fines		
		Sands with Fines	SP	Poorly-graded sands and gravelly sands, little or no fines		
			SM	Silty sands, sand/silt mixtures		
		SC	Clayey sands, sand/clay mixtures			
Fine-Grained Soils: 50% or more Passes No. 200 Sieve	Silt and Clays Low Plasticity Fines	ML	Inorganic silts, rock flour, clayey silts			
		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, lean clays			
		OL	Organic soil of low plasticity			
	Silt and Clays High Plasticity Fines	MH	Inorganic silts, clayey silts			
		CH	Inorganic clays of high plasticity, fat clays			
		OH	Organic soil of medium to high plasticity			
Highly Organic Soils		PT	Peat, muck, and other highly organic soils			
		References: ASTM D2487 Standard Practice for Classification of Soils for Engineering Purposes (Unified Soil Classification System) ASTM D2488 Standard Practice for Description and Identification of Soils (Visual-Manual Procedure) Terzaghi, K., and Peck, R.B., 1948, Soil Mechanics in Engineering Practice, John Wiley & Sons.				



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FIGURE A3

Test Pit TP-06

PAGE 1 OF 1

CLIENT Farmworker Housing Development Corporation	PROJECT NAME FHDC Lebanon Housing Project
PROJECT NUMBER G2005323	PROJECT LOCATION Tax Lot 1701 Weldwood Drive, Lebanon, Oregon
DATE STARTED 12/12/18 GROUND ELEVATION 364 ft	ELEVATION DATUM NAVD88 - See Figure 2
WEATHER Clear, 50° F SURFACE Grass	LOGGED BY MMS REVIEWED BY BMW
EXCAVATION CONTRACTOR Douglas Shepherd Dirt Works	SEEPAGE 5.0 ft / El. 359.0 ft
EQUIPMENT Bobcat 337	GROUNDWATER DURING DRILLING 5.5 ft / El. 358.5 ft
EXCAVATION METHOD 12-inch toothed/24-inch smooth edge	GROUNDWATER 2 HOURS AFTER EXCAVATION 8.5 ft / El. 355.5 ft

ELEVATION (ft)	GRAPHIC LOG	GROUP SYMBOL	MATERIAL DESCRIPTION	GROUNDWATER DEPTH (ft)	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	WDCP N ₆₀ VALUE	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ WDCP N ₆₀ VALUE ▲	
										PL	LL
				0							MC
											□ FINES CONTENT (%) □
											0 20 40 60 80 100
		OL	ORGANIC SOIL: Dark brown, moist, medium plasticity, abundant rootlets.					2.0			
362		CH	FAT CLAY: Stiff to very stiff, brown with light brown mottling, moist, high plasticity, trace subrounded to subangular gravel up to 3/4 inch in diameter, trace rootlets.	2	GRAB 1	100		1.75			29
								1.75			
								2.25			
								1.75			
360		GP	POORLY GRADED GRAVEL WITH COBBLES AND SILT: Dense to very dense, brown, moist, subrounded to rounded gravel up to 3 inches in diameter, subrounded to rounded cobbles up to 5 inches in diameter, trace medium- to coarse-grained sand, low plasticity fines.	4	GRAB 2	100					
358				6							
356				8							
354			<ul style="list-style-type: none"> • Test pit terminated at 9½ feet bgs. • Groundwater encountered at 5 feet bgs with some caving. • Test pit loosely backfilled with excavated material. 								
352											

CGT EXPLORATION WITH WDCP TP LOGS.GPJ 7/22/20 DRAFTED BY: ALS



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FIGURE A4

Test Pit TP-07

PAGE 1 OF 1

CLIENT Farmworker Housing Development Corporation	PROJECT NAME FHDC Lebanon Housing Project
PROJECT NUMBER G2005323	PROJECT LOCATION Tax Lot 1701 Weldwood Drive, Lebanon, Oregon
DATE STARTED 12/12/18	GROUND ELEVATION 365 ft
ELEVATION DATUM NAVD88 - See Figure 2	LOGGED BY MMS
WEATHER Clear, 50° F	REVIEWED BY BMW
SURFACE Grass	SEEPAGE 7.3 ft / El. 357.8 ft
EXCAVATION CONTRACTOR Douglas Shepherd Dirt Works	GROUNDWATER DURING DRILLING 8.0 ft / El. 357.0 ft
EQUIPMENT Bobcat 337	GROUNDWATER AFTER EXCAVATION ---
EXCAVATION METHOD 12-inch toothed/24-inch smooth edge	

ELEVATION (ft)	GRAPHIC LOG	GROUP SYMBOL	MATERIAL DESCRIPTION	GROUNDWATER	DEPTH (ft)	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	WDCP N ₆₀ VALUE	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ WDCP N ₆₀ VALUE ▲	
											PL	LL
					0						0	100
364		OL	ORGANIC SOIL: Dark brown, moist, medium plasticity, abundant rootlets.						3.25			
362		CH	FAT CLAY: Stiff to hard, brown, moist, high plasticity, trace subrounded to subangular gravel up to 3/4 inch in diameter, some rootlets. Brown with gray and orange mottling, trace rootlets and root casts at about 2 1/2 bgs.		2				1.25			
360		CH			4	GRAB 1	100		4.25		30	62
358		GP	POORLY GRADED GRAVEL WITH COBBLES AND SILT: Dense to very dense, brown, moist, subrounded to rounded gravel up to 3 inches in diameter, subrounded to rounded cobbles up to 5 inches in diameter, trace medium- to coarse-grained sand, low plasticity fines.		6				2.75			
356					8							
354			<ul style="list-style-type: none"> • Test pit terminated at 9 1/4 feet bgs. • Groundwater encountered at 8 feet bgs with some caving. • Test pit loosely backfilled with excavated material. 			GRAB 2	100				8	

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FIGURE A5

Test Pit TP-08

PAGE 1 OF 1

CLIENT Farmworker Housing Development Corporation **PROJECT NAME** FHDC Lebanon Housing Project
PROJECT NUMBER G2005323 **PROJECT LOCATION** Tax Lot 1701 Weldwood Drive, Lebanon, Oregon
DATE STARTED 12/12/18 **GROUND ELEVATION** 365 ft **ELEVATION DATUM** NAVD88 - See Figure 2
WEATHER Clear, 50° F **SURFACE** Grass **LOGGED BY** MMS **REVIEWED BY** BMW
EXCAVATION CONTRACTOR Douglas Shepherd Dirt Works **SEEPAGE** ---
EQUIPMENT Bobcat 337 **GROUNDWATER DURING DRILLING** ---
EXCAVATION METHOD 12-inch toothed/24-inch smooth edge **GROUNDWATER AFTER EXCAVATION** ---

ELEVATION (ft)	GRAPHIC LOG	GROUP SYMBOL	MATERIAL DESCRIPTION	GROUNDWATER	DEPTH (ft)	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	WDCP N ₆₀ VALUE	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ WDCP N ₆₀ VALUE ▲	
											PL	LL
					0							MC
												□ FINES CONTENT (%) □
					0						0	20 40 60 80 100
364		OL	ORGANIC SOIL: Dark brown, moist, medium plasticity, abundant rootlets.						4.25			
						GRAB 1	100		3.75			
		CH	FAT CLAY: Very stiff to hard, brown, moist, high plasticity, trace subrounded to subangular gravel up to 3 inches in diameter, trace rootlets.		2				4.25			
362									2.75			
									2.75			
		GP	POORLY GRADED GRAVEL WITH COBBLES AND SILT: Dense to very dense, brown, moist, subrounded to rounded gravel up to 3 inches in diameter, subrounded to rounded cobbles up to 5 inches in diameter, trace medium- to coarse-grained sand, low plasticity fines.		4							
360						GRAB 2	100					
					6							
358			<ul style="list-style-type: none"> • Test pit terminated at 6 feet bgs. • No groundwater encountered. • Test pit loosely backfilled with excavated material. 									
356												

CGT EXPLORATION WITH WDCP TP LOGS.GPJ 7/22/20 DRAFTED BY: ALS



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FIGURE A6

Test Pit TP-09

PAGE 1 OF 1

CLIENT Farmworker Housing Development Corporation	PROJECT NAME FHDC Lebanon Housing Project
PROJECT NUMBER G2005323	PROJECT LOCATION Tax Lot 1701 Weldwood Drive, Lebanon, Oregon
DATE STARTED 12/12/18 GROUND ELEVATION 364 ft	ELEVATION DATUM NAVD88 - See Figure 2
WEATHER Clear, 50° F SURFACE Grass	LOGGED BY MMS REVIEWED BY BMW
EXCAVATION CONTRACTOR Douglas Shepherd Dirt Works	SEEPAGE ---
EQUIPMENT Bobcat 337	GROUNDWATER DURING DRILLING 5.0 ft / El. 359.0 ft
EXCAVATION METHOD 12-inch toothed/24-inch smooth edge	GROUNDWATER AFTER EXCAVATION ---

ELEVATION (ft)	GRAPHIC LOG	GROUP SYMBOL	MATERIAL DESCRIPTION	GROUNDWATER DEPTH (ft)	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	WDCP N ₆₀ VALUE	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ WDCP N ₆₀ VALUE ▲		
										PL	LL	
				0							MC	
											□ FINES CONTENT (%) □	
											0 20 40 60 80 100	
		OL	ORGANIC SOIL: Dark brown, moist, medium plasticity, abundant rootlets.					1.25				
362		CH	GRAVELLY SANDY FAT CLAY: Stiff to very stiff, brown, moist, high plasticity, subrounded to subangular gravel up to 3/4 inch in diameter, trace rootlets.	2	GRAB 1	100		2.25			● 28 □ 56	
360		GP	POORLY GRADED GRAVEL WITH COBBLES AND SILT: Dense to very dense, brown to gray-brown, moist, subrounded to rounded gravel up to 3 inches in diameter, subrounded to rounded cobbles up to 6 inches in diameter, trace medium-to coarse-grained sand, low plasticity fines.					3.0				
358				4								
356				6								
354				8			GRAB 2	100				
352			<ul style="list-style-type: none"> • Test pit terminated at 9 1/4 feet bgs. • Groundwater encountered at about 5 feet bgs with some caving. • Test pit loosely backfilled with excavated material. 									

CGT EXPLORATION WITH WDCP TP LOGS.GPJ 7/22/20 DRAFTED BY: ALS



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FIGURE A7

Test Pit TP-12

PAGE 1 OF 1

CLIENT Farmworker Housing Development Corporation	PROJECT NAME FHDC Lebanon Housing Project
PROJECT NUMBER G2005323	PROJECT LOCATION Tax Lot 1701 Weldwood Drive, Lebanon, Oregon
DATE STARTED 12/13/18	GROUND ELEVATION 363 ft
ELEVATION DATUM NAVD88 - See Figure 2	LOGGED BY MMS
WEATHER Clear, 39° F	SURFACE Grass
REVIEWED BY BMW	SEEPAGE ---
EXCAVATION CONTRACTOR Douglas Shepherd Dirt Works	GROUNDWATER DURING DRILLING ---
EQUIPMENT Bobcat 337	GROUNDWATER AFTER EXCAVATION ---
EXCAVATION METHOD 12-inch toothed/24-inch smooth edge	

ELEVATION (ft)	GRAPHIC LOG	GROUP SYMBOL	MATERIAL DESCRIPTION	GROUNDWATER	DEPTH (ft)	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	WDCP N ₆₀ VALUE	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ WDCP N ₆₀ VALUE ▲	
											PL	LL
					0							MC
												□ FINES CONTENT (%) □
					0							0 20 40 60 80 100
362		OL	ORGANIC SOIL: Dark brown, moist, medium plasticity, abundant rootlets.						2.5			
360		CL	LEAN CLAY: Very stiff, brown, moist, medium to high plasticity, trace subrounded to subangular gravel up to 3 inches in diameter, trace roots up to ½ inch in diameter, trace rootlets.		2				3.25			
358		GP	POORLY GRADED GRAVEL WITH COBBLES AND SILT: <i>Dense to very dense</i> , brown to gray-brown, moist, subrounded to rounded gravel up to 3 inches in diameter, subrounded to rounded cobbles up to 5 inches in diameter, trace medium- to coarse-grained sand, low plasticity fines.		4	GRAB 1	100					● 8
356		SP	POORLY GRADED SAND WITH COBBLES: <i>Dense to very dense</i> , gray-brown, moist, non-plastic, some subrounded to subangular gravel up to ¾ inch in diameter, trace cobbles up to 5 inches in diameter.		6	GRAB 2	100					
354	<ul style="list-style-type: none"> • Test pit terminated at 6 feet bgs. • No groundwater or caving encountered. • Test pit loosely backfilled with excavated material. 											

CGT EXPLORATION WITH WDCP TP LOGS.GPJ 7/22/20 DRAFTED BY: ALS

Attachment #7

July 21, 2020

Claudia Cantu, Deputy Director
Farmworker Housing Development Corporation
1274 5th Street, Suite 1-A, Woodburn, OR 97071

RE: Stormwater Drainage Facilities at the Colonia Paz I Apartment Development in Lebanon, Oregon

Dear Claudia,

The Colonia Paz 1 Apartment development in Lebanon, Oregon is proposed on a vacant site off of Weldwood Drive just south of the Walmart Supercenter. The City of Lebanon code requires the following for stormwater drainage design:

Storm drainage facilities must be designed and constructed to ensure historical rates of discharge are not exceeded. Storm drain capacity shall be determined by the Rational Method for a 10-year event with a 15-minute minimum durations time using the curve (fig 5.3) in the master plan. A detailed design including engineering calculations shall be submitted as part of site plan review.

Ashley & Vance Engineering, Inc has designed a system the exceeds the City's standards. All stormwater runoff for the 25-year storm event will be collected and infiltrated onsite. No stormwater will overflow off of the site. As shown on the attached plans, C-4.0 and C-4.1, runoff from the proposed building roof and half of the parking lot will flow to new stormwater swales. Structures in the swales will then divert the runoff to underground stormwater chambers that will detain and infiltrate the stormwater. Runoff from the other half of the parking lot will be collected in catch basins and then piped to the storm chambers. The catch basins have 2-foot deep sumps, and there are manholes upstream of the chambers with 2-foot sumps as well. These sumps and the swales provide treatment of the runoff and system redundancy to eliminate pollutants and sediments from entering the chambers and the ground.

The proposed stormwater drainage system for the Colonia Paz 1 Apartments meets and exceeds the City of Lebanon and Oregon DEQ standards. Please let me know if you have any further questions or comments.

Sincerely,



Jim Lord, PE

Oregon PE No. 77331

Attachment #8

Colonia Paz Housing Complex Lebanon, Oregon Wetland Delineation Report

Date: November 26, 2018

Prepared for: Farmworker Housing Development Corporation
1274 5th Street, Suite 1-A
Woodburn, OR 97071

Prepared By: AKS Engineering & Forestry, LLC
Sonya Templeton and
Stacey Reed, PWS, Senior Wetland Scientist

Site Information: T12S, R2W, Section 23B, Tax Lot 1701
Lebanon, Linn County, Oregon



12965 SW Herman Road, Suite 100
Tualatin, OR 97062
(503) 563-6151

Table of Contents

Introduction	3
A. Landscape Setting and Land Use	3
B. Site Alterations.....	4
C. Precipitation Data and Analysis	4
D. Delineation Methods	4
E. Description of All Wetlands and Other Non-Wetland Waters.....	5
Wetland A	5
Artificial Pond.....	5
F. Deviation from National Wetland Inventory	6
G. Mapping Method.....	6
H. Additional Information	6
I. Summary of Results and Conclusions	7
J. Required Disclaimer	7
K. List of Preparers	7
Literature Cited and Referenced.....	8

Tables

Table 1. Precipitation Data – Observed Rainfall (Inches) the Day of Site Visits and within the Two Weeks Prior

Table 2. Precipitation Data – Monthly Averages Based on the Climate Period 1971-2000 (Inches)

Table 3. Summary of Study Results and Conclusions

Appendices

- i. Figure 1. USGS Vicinity Map
- ii. Figure 2. Tax Map
- iii. Figure 3. NRCS Soil Survey Map
- iv. Figure 4. National Wetland Inventory Map
- v. Figures 5. Wetland Delineation Map

Appendix A. WD#1994-0430 and WD#2001-0118 DSL Concurrence Letter

Appendix B. Google Earth Aerial Photographs

Appendix C. Precipitation Data

Appendix D. Wetland Determination Data Forms

Appendix E. Photo Location Map and Site Photographs



Introduction

This report was prepared by AKS Engineering & Forestry, LLC (AKS) in accordance with Oregon Administrative Rules (OAR) 141-090-0030 and 141-090-0035 (1-17) and describes the results of a wetland delineation conducted on a site south of Weldwood Drive in Lebanon, Linn County, Oregon (Figure 1). The wetland delineation study area is approximately ±9.53 acres in size and includes Tax Lot 1701 of Linn County's Assessor's Tax Map 12S 2W 23B (Figure 2). The on-site boundaries of one palustrine forested (PFO) wetland (referred to as Wetland A) located in the southwestern portion of the site and an isolated artificial pond were delineated in the study area. Our investigation determined that approximately ±0.55 acres of potentially jurisdictional wetlands are present within the study area.

A wetland delineation was previously conducted on the site in April of 1994 (which also included an off-site area to the south) by Jay Lorenz of A.G. Crook Company. The 1994 delineation received concurrence by the Oregon Department of State Lands (DSL) under DSL File WD# 1994-0430. Our delineation generally agrees with the 1994 boundaries delineated for Wetland A and the artificial pond; however, we did not document isolated wetland conditions in the central portion of the site that were previously present on the site.

Mr. Lorenz conducted an updated delineation for the adjacent tax lot to the south (tax lot 3800) in 2001. Mr. Lorenz determined site conditions on the adjacent tax lot had not significantly changed since his original 1994 wetland delineation. Although the updated delineation was for the adjacent site to the south, Mr. Lorenz implied wetland conditions for the entire wetland (including subject site) had not changed. DSL confirmed the updated 2001 wetland delineation boundaries under DSL File WD#2001-0118. The DSL concurrence letters are included in Appendix A for reference.

The western portion of the site contains a compensatory mitigation site associated with the Santiam Village project, DSL File FP-13676. The mitigation site included 22,242 square feet/0.51 acres of wetland creation located adjacent to the PFO wetland delineated in the southern portion of the site. The mitigation site was not protected under a deed restriction. We did not document wetland conditions within the compensatory mitigation area; however, this area is still protected as a compensatory mitigation site by DSL. The mitigation area is shown on the attached delineation figure. Any amount of removal or fill within the mitigation site requires authorization from DSL.

A. Landscape Setting and Land Use

The study area consists of an undeveloped field. An old farm road run through the central portion of the study area. The field is dominated with planted pasture grasses consisting of tall false rye grass (*Schedonorus arundinaceus*; FAC) and colonial bent (*Agrostis capillaris*; FAC), as well as scattered Himalayan blackberry (*Rubus armeniacus*; FAC), Queen Anne's-lace (*Daucus carota*; FACU), English plantain (*Plantago lanceolata*; FACU), and common dandelion (*Taraxacum officinale*; FACU). Few scattered balsam poplar (*Populus balsamifera*; FAC) are present in the field and around Wetland A.

General topography in the study area is flat (less than 5% overall slope), with a subtle southerly slope towards Wetland A.

The following soil units are mapped within the study area, according to the Natural Resources Conservation Service (NRCS) Linn, County Area Soil Survey Map and hydric soil list (Figure 3)

- (Unit 23) Clackamas gravelly silt loam – Non-hydric; and
- (Unit 2224A) Courtney gravelly silty clay loam, 0% to 3% slopes –Hydric



B. Site Alterations

Aerial photographs dated between 1995 to 2018 were obtained from Google Earth and are included in Appendix B.

According to the 1994 wetland delineation report prepared by Mr. Lorenz, the site has been planted with pasture grasses since as early as 1985. Based on google earth imagery, there does not appear to have been any significant on-site alterations that could have affected the site's hydrology between the 1994 delineation fieldwork and our current delineation fieldwork. However, development adjacent to the site, including the construction of Walmart and parking area, occurred over the years. It is possible the surrounding development has intercepted some of the surface and ground water that formerly drained to the site.

C. Precipitation Data and Analysis

Precipitation data was obtained from the Lacombe 3 NNE, OR weather station via the National Oceanic and Atmospheric Administration (NOAA) Applied Climate Information System (ACIS). The closest Wetlands Climate Analysis (WETS) station to the project site is the Lacombe 3 NNE, OR station. Table 2 represents the observed received rainfall the day of the site visit, within the two weeks prior, and the year-to-date rainfall. Table 3 shows the monthly precipitation averages according to the WETS Lacombe 3 NNE, OR station for the three months prior to the site visit (raw data included in Appendix C).

Table 1. Precipitation Data – Observed Rainfall (Inches) the Day of Site Visits and within the Two Weeks Prior

Field Date	Observed Rainfall on Field Date	Observed Rainfall Two Weeks Prior to Field Date	Observed Rainfall for the Water Year-to-Date (WYTD)	Departure from Average WYTD
October 18, 2018	0.00	1.24	1.24	-0.91

Table 2. Precipitation Data – Monthly Averages Based on the Climate Period 1971-2000 (Inches)

Prior Months	Observed Precipitation (Inches)	30% Chance Will Have		Condition Dry, Wet, Normal	Condition Value (1=dry, 2=normal, 3=wet)	Month Weight	Multiply Previous Two Columns	
		Less Than	More Than					
October (1-18)	1.24	2.56	5.36	Dry (so far)	-	-	-	
September	1.03	1.02	2.41	Normal	2	3	6	
August	0.23	0.33	1.23	Dry	1	2	2	
July	0.04	0.45	1.33	Dry	1	1	1	
Sum							9	
Rainfall of prior period was: drier than normal (sum is 6-9), normal (sum is 10-14), wetter than normal (sum is 15-18)								

According to the WETS data, our site visits occurred during a drier than normal timeframe. No rain fell during our October 2018 site visit. Therefore, secondary indicators of wetland hydrology (geomorphic position and FAC-Neutral test) were used in plots determined to be wetland. The October 18 site visit was conducted during the growing season, which occurs from February 2 to December 28 according to the Lacombe WETS table.

D. Delineation Methods

The methodology used for determining the presence of wetlands followed the *Corps of Engineers Wetlands Delineation Manual* (Environmental Laboratory, 1987) and the *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region* (Version

2.0) (Wakeley et al., 2010). *The National Wetland Plant List 2016* (Lichvar et al., 2016) was used to assign wetland indicator status for the appropriate region.

Site visit was conducted on October 18, 2018 by AKS's Natural Resource Specialist, Sonya Templeton, and Senior Wetland Scientist, Stacey Reed, PWS. Soils, vegetation, and indicators of hydrology were recorded at a total of six sample plot locations. Wetland determination data sheets are included in Appendix D.

The site visit was conducted within a below normal precipitation period; however, wetland conditions were still determined by the presence of secondary indicators of wetland hydrology during the site visits. Sample plot locations were selected based on changes in vegetation, changes in topography, and wherever possible, near Jay Lorenz's 1994 sample plot locations.

Representative ground level site photographs are included in Appendix E. Literature cited and referenced are listed at the end of this report.

E. Description of All Wetlands and Other Non-Wetland Waters

Wetland A

Wetland A is a PFO wetland located in the southwestern portion of the study area, in vicinity of the wetland delineated Jay Lorenz in the 1994 delineation. Wetland conditions extend off-site to the south, northwest, and southeast. Seasonal hydrology discharges from Wetland A into a ditched tributary located off-site to the south, parallel to Lebanite Road. The main hydrology sources for Wetland A include a seasonally high groundwater table and direct precipitation, along with some upland runoff, with water leaving the wetland unobstructed in one direction; therefore, Wetland A belongs to the Slopes hydrogeomorphic (HGM) sub classification. The off-site ditch lacked ponding and flow during the October 2018 site visit. The ditch is approximately 3-feet wide with 1 foot tall banks and was generally unvegetated.

Wetland A is dominated by Oregon ash (*Faxinus latifolia*; FACW) trees, with an understory generally dominated by dense sedge (*Carex densa*; OBL), field meadow-foxtail (*Alopecurus pratensis*; FAC), Himalayan blackberry, and Pacific ninebark (*Physocarpus capitatus*; FACW) as recorded at Plots 3 and 5. Soils are a low chroma (chroma 2 or less) with distinct redoximorphic features, meeting hydric soil indicator F6 redox dark surface. Wetland hydrology was based on secondary indicators including geomorphic position and FAC-Neutral test.

The wetland boundary was defined based on a slight change in landform from concave in the wetland to slightly convex landform in the upland. English ivy (*Hedera helix*; FACU), tall false rye grass, pineland sword fern (*Polystichum munitum*; FACU), and Himalayan blackberry were present in the upland. The adjacent upland plots (Plots 4 and 6) lacked hydric soil and wetland hydrology indicators. The wetland is approximately 0.04 acres smaller than the wetland delineated by Mr. Lorenz's delineation.

Artificial Pond

An artificial, isolated pond located in the northeastern portion of the study area was delineated in the vicinity of a pond delineated under the 1994 delineation. The pond was dry (lacked a surface groundwater table) during our October 2018 site visit and was partially vegetated with English hawthorn (*Crataegus mongyna*; FAC), red osier (*Cornus alba*; FACW), and slough sedge (*Carex obnupta*; OBL) with quaking aspen (*Populus tremuloides*; FACU) and balsam poplar around the perimeter. The pond consists of a closed depression, that lacks an inlet and outlet; therefore, belongs to the Depressional HGM classification.

The 1994 wetland delineation report describes a former ditch extending from the east feeding into the pond. The 1994 report describes the ditch and pond to have been potentially constructed to drain the former drive-in movie theater off-site to the east. The ditch is no longer present. A paved parking area associated with commercial development is now present off-site to the east in the vicinity of the former drive in theater. According to a DSL database search, a delineation concurrence was not received for the off-site development, which according to google earth imagery, occurred sometime between 2004-2005.

Conditions within the pond were documented at Plot 1. Soil in the pond lacked hydric soil indicators within 10 inches below ground surface (shovel refusal at 10 inches due to gravels). The pond lacked primary indicators of wetland hydrology. The pond lacked soil cracking, algal matting, and water stained leaves; however, due to the presence of hydrophytic vegetation and secondary wetland hydrology indicators, it is likely the area ponds seasonally, therefore, qualifies as a Problematic Hydric Soil listed in Chapter 5 of the Regional Supplement. A follow up site visit during the early portion of the growing season is recommended to confirm wetland hydrology.

Uplands

Plot 2 is in a subtle low spot in the field within the vicinity of a small isolated wetland delineated by Jay Lorenz in 1994. Vegetation was dominated by tall false rye grass, colonial bent, Queen Anne's-lace, and English plantain. The plot lacked hydric soil indicators. No plow layer was evident. Since the plot lacked hydric soil and wetland hydrology indicators, this area was determined to be upland. This area was also relatively flat, generally lacking a landform to develop wetland conditions.

Upland Plot 4 and 6 documents the boundary of Wetland A. Vegetation was dominated by English ivy, tall false rye grass, pineland sword fern, and Himalayan blackberry. Plots 4 and 6 were topographically higher in elevation than the adjacent wetland and lacked hydric soil and wetland hydrology indicators; therefore, were determined to be upland.

F. Deviation from National Wetland Inventory

The City of Lebanon does not have a DSL approved Local Wetland Inventory (LWI). No wetlands or waters are mapped within the study area according to the U.S. Fish and Wildlife Service (USFWS) National Wetland Inventory (NWI) map (Figure 4); however, our study determined \pm 0.55 acres of potentially jurisdictional features are present in the study area.

G. Mapping Method

Sample Plots 1 through 6, the on-site wetland and artificial pond boundaries were surveyed in the field by AKS using with a hand-held Trimble Geo7X Global Positioning System (GPS), with submeter accuracy. The resulting Wetland Delineation Map is attached as Figure 5 in Appendix A. The approximate extent of the compensatory mitigation site was hand mapped based on site plan figures provided in the 1997 permit application.

H. Additional Information

Wetland A within the study area would likely be determined jurisdictional by DSL and USACE. Water drains from Wetland A off-site to the northwest via a ditched natural tributary. The ditched tributary appears to have a direct hydrologic connection to Burkhart Creek (a relatively permanent water) which eventually reaches the Willamette River, a traditional navigable water.

The artificial pond was created from within NRCS mapped hydric soils and may therefore be determined to be jurisdictional by DSL, per OAR 141-085-0515(7)(i). The pond is isolated, lacking a direct hydrologic connection to nearby wetlands and waters. The pond is located greater than 100 feet from Wetland A and

is not located within or in part of a 100-year floodplain; therefore, is not adjacent to waters of the U.S. The pond is located within 4,000 feet of Wetland A; therefore, the pond may have a significant nexus to nearby waters of the U.S.

Under OAR 141-085-0520 (3), the compensatory mitigation site is protected and any amount of removal and/or fill or other ground alteration may require a permit from DSL. It is unknown whether this area is also documented as a compensatory mitigation site with USACE.

I. Summary of Results and Conclusions

Table 3 below provides a summary of the on-site areas of each feature, hydrologic connections to other nearby waters, the Cowardin and HGM classifications for the wetlands, and our prediction of whether each feature would likely be determined jurisdictional by DSL or the USACE.

Table 3. Summary of Features Delineated on the Site

Potentially Jurisdictional Feature	Latitude, Longitude	Size (acres)	Cowardin Class	HGM Subclass/ Flow Regime	Hydrologic Connection to Other Waters	USACE/DSL Predicted Jurisdiction
Wetland A	44.515294, -122.903060	±0.53	PFO	Slope	Burkart Creek	DSL and USACE
Artificial Pond	44.515759, -122.899801	±0.02	PSS	Depressional	None. Isolated.	Potentially DSL and USACE

J. Required Disclaimer

This report documents the investigation, best professional judgment, and conclusions of the investigators. It is correct and complete to the best of our knowledge. It should be considered a Preliminary Jurisdictional Determination of wetlands and other waters and used at your own risk, unless it has been reviewed and approved in writing by the Oregon Department of State Lands in accordance with Oregon Administrative Rules (OAR) 141-090-0005 through 141-090-0055.

K. List of Preparers



Sonya Templeton
 Natural Resource Specialist
 Fieldwork and Report Preparation



Stacey Reed, PWS
 Senior Wetland Scientist
 Fieldwork and Report QA/QC

Appendix A: DSL Concurrence Letters

DIVISION OF
STATE LANDS

STATE LAND BOARD

BARBARA ROBERTS
Governor

PHIL KEISLING
Secretary of State

JIM HILL
State Treasurer

July 5, 1994

Mr. Jay R. Lorenz
A. G. Crook Co.
1800 NW 169th Place, Suite B-100
Beaverton, Oregon 97006

Re: Wetland Delineation for Lebanite Site, Lebanon,
Linn Co., T12S, R2W, section 23, tax lot 1701.

Dear Jay:

I have reviewed the above referenced wetland delineation. Based on the data presented, I concur with the delineation as shown on Figure 5 of your report and the attached survey.

The wetland area identified on the site is subject to the permit requirements of Oregon's Removal-Fill Law (ORS 196.800-196.990). The law places a preference on the avoidance of wetland impacts. I would urge you to remind your client of this preference.

If you have any questions concerning this matter, please feel free to call.

Sincerely,



Kenneth F. Bierly
Wetlands Program Manager

KFB/sz
ken:959

c: Jim Goudzwaard, Corps
John Court
City of Lebanon Planning
Tami Burness, DSL



775 Summer Street NE
Salem, OR 97310-1337
(503) 378-3805
FAX (503) 378-4844

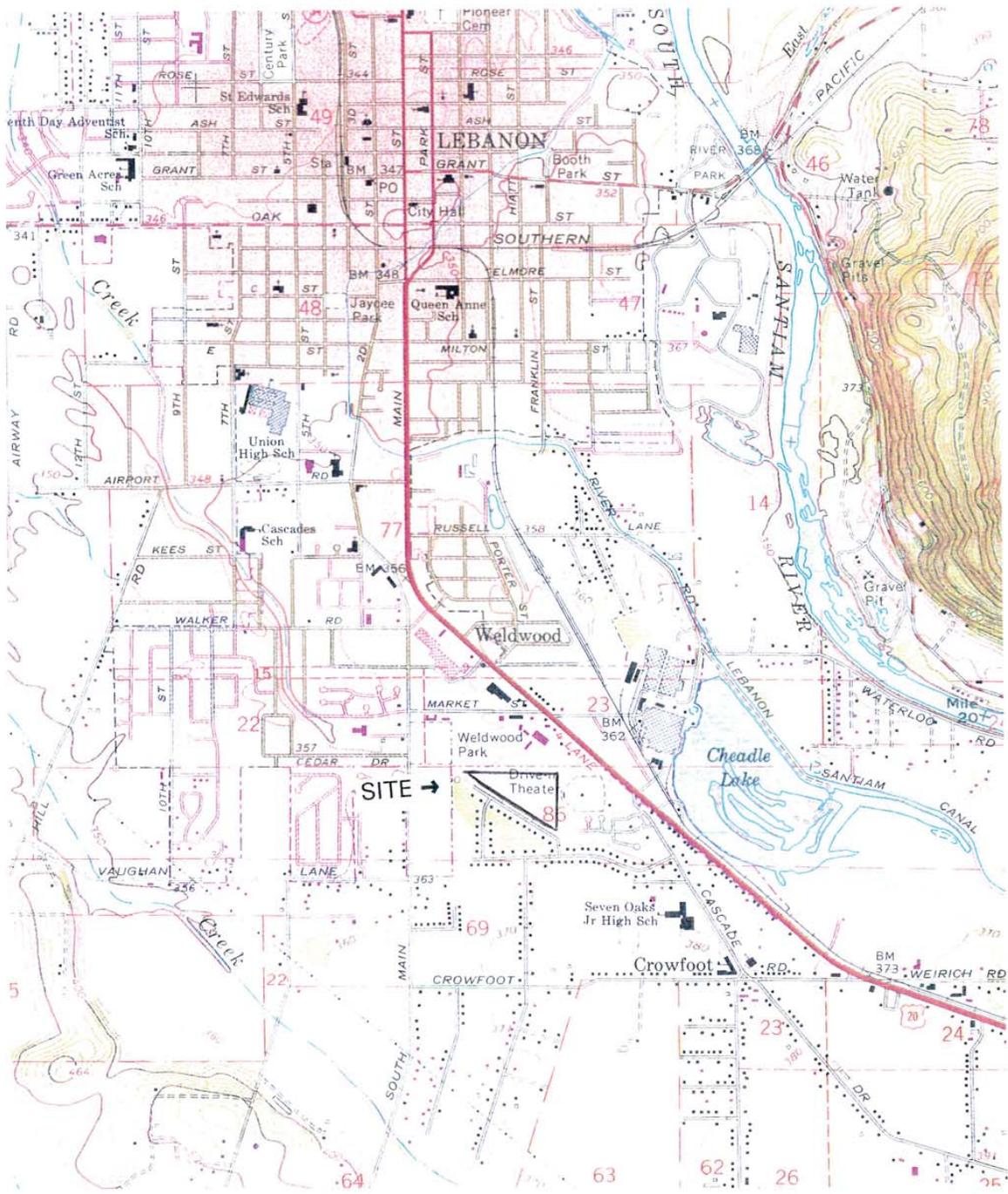
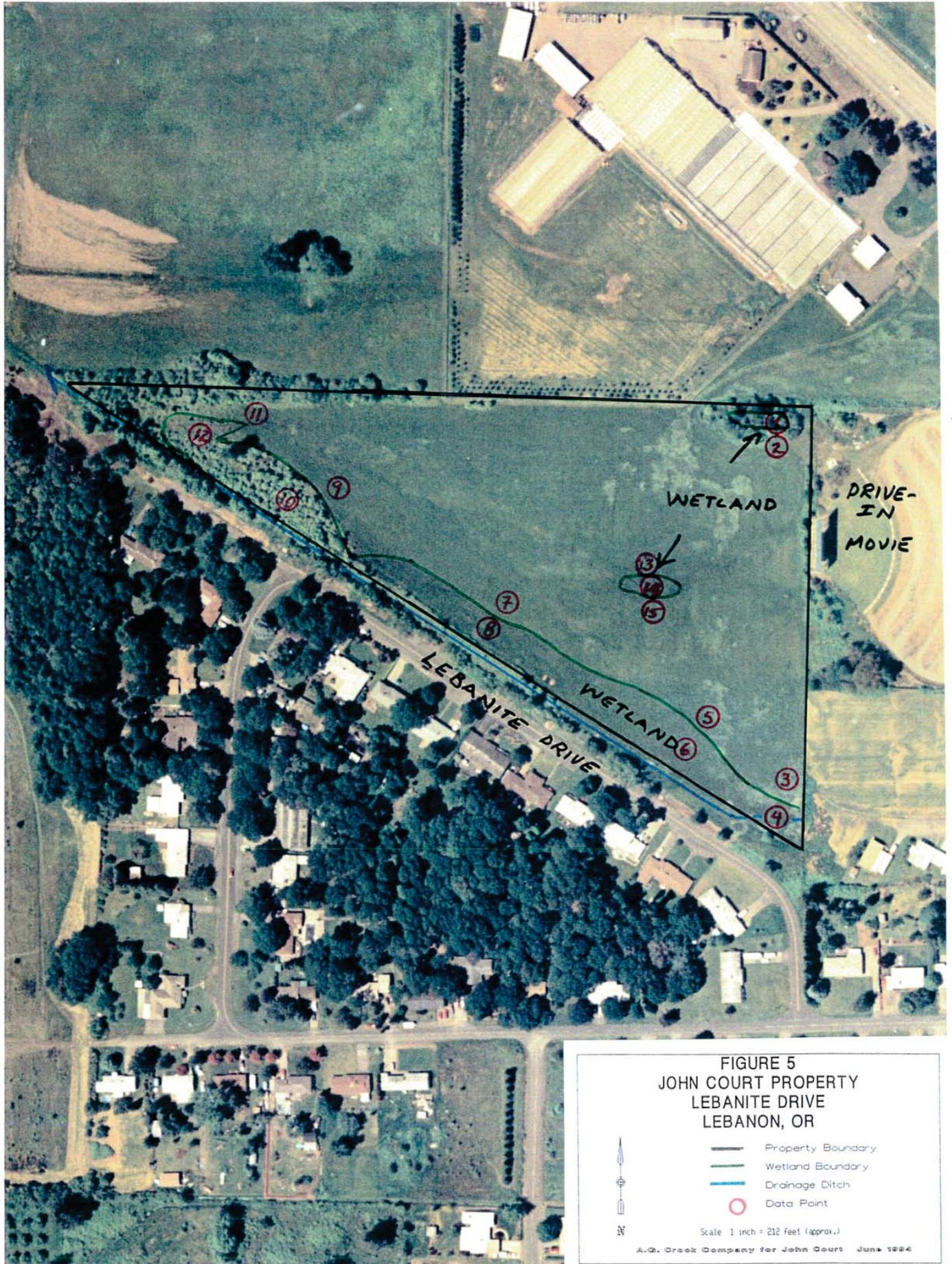


FIGURE 1 - A section of the USGS Quad map - Lebanon, OR quad - showing the site location



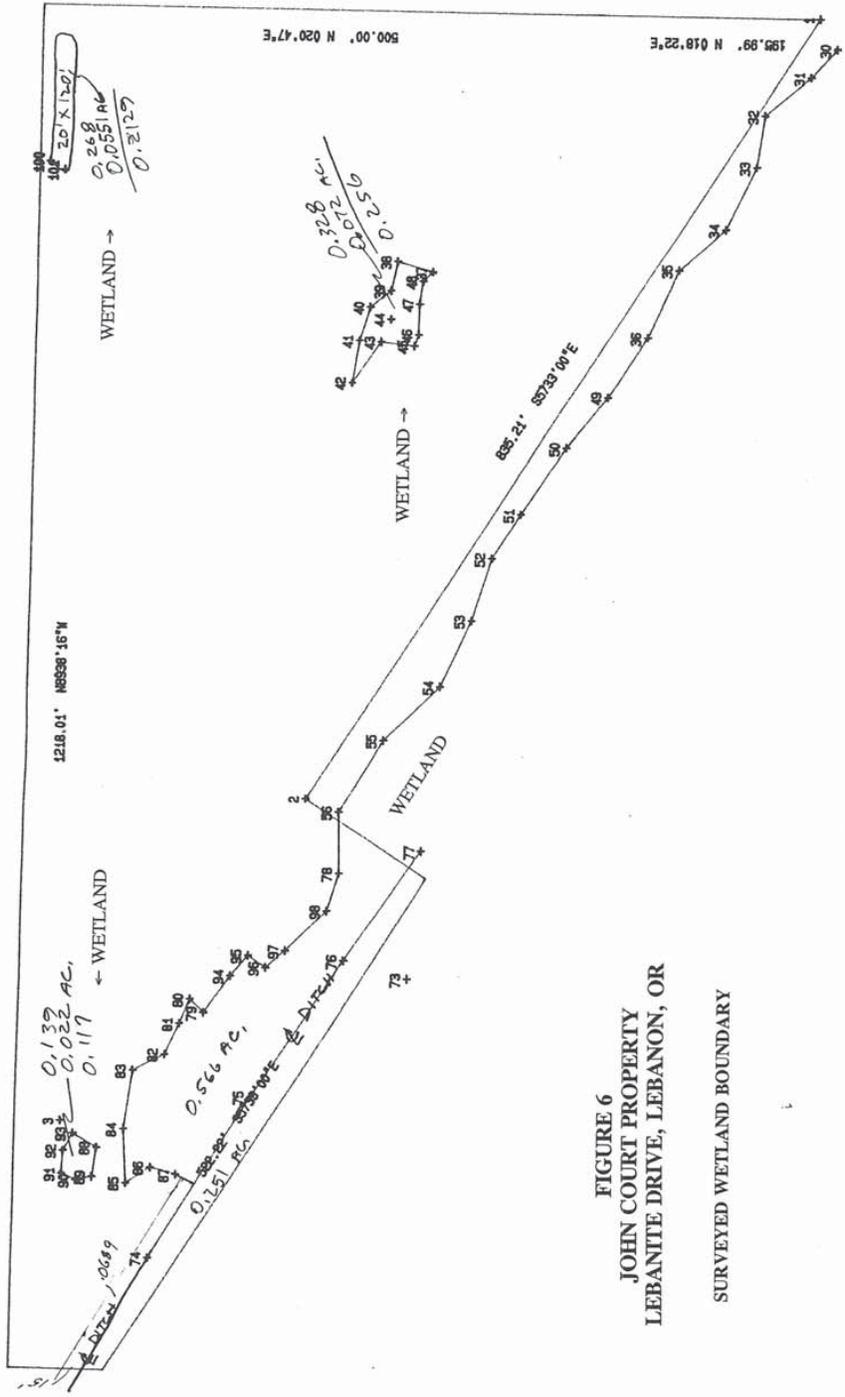


FIGURE 6
 JOHN COURT PROPERTY
 LEBANITE DRIVE, LEBANON, OR

SURVEYED WETLAND BOUNDARY



Oregon

John A. Kitzhaber, M.D., Governor

Division of State Lands
775 Summer Street NE, Suite 100
Salem, OR 97301-1279
(503) 378-3805
FAX (503) 378-4844
<http://statelands.dsl.state.or.us>

April 4, 2001

State Land Board

John A. Kitzhaber
Governor

Bill Bradbury
Secretary of State

Randall Edwards
State Treasurer

Jay Lorenz
J.R. Lorenz & Associates, Inc.
P.O. Box 796
Corvallis, OR 97339

Re: Wetland Delineation for Kingsley Property located in T12S R2W Section 23,
Tax Lot 3800 in Lebanon; WD #2001-0118

Dear Mr. Lorenz:

I have reviewed your wetland determination letter for the above-referenced site and I concur with your findings. Based on the data submitted, the wetland area depicted in Figure 6 appears to have the same boundary as delineated in 1994.

This wetland is subject to the permit requirements of the state Removal-Fill Law (ORS 196.800-196.990). A state permit will be required for fill or excavation of 50 cubic yards or more in the wetland areas. This concurrence is for purposes of the state Removal-Fill Law only; federal or local wetland permit requirements may apply as well.

Division approval of wetland delineation reports is based upon the information provided to us. Should additional information be brought to our attention or should site conditions change, we will consider the new information and re-evaluate the site and our jurisdictional determination as needed.

Thank you for your report. If I can answer any questions for you, please do not hesitate to contact me at (503) 378-3805, ext. 233.

Sincerely,

Jennifer Goodridge
Wetland Specialist
Wetlands Program

Approved by

John E. Lilly
Assistant Director

Enclosure: Figure 6

cc: Ken Kingsley
825 Lebanite Dr.
Lebanon, OR 97355

k:\wetlands\jennifer\wd letters\wd01-0118kingsley.doc



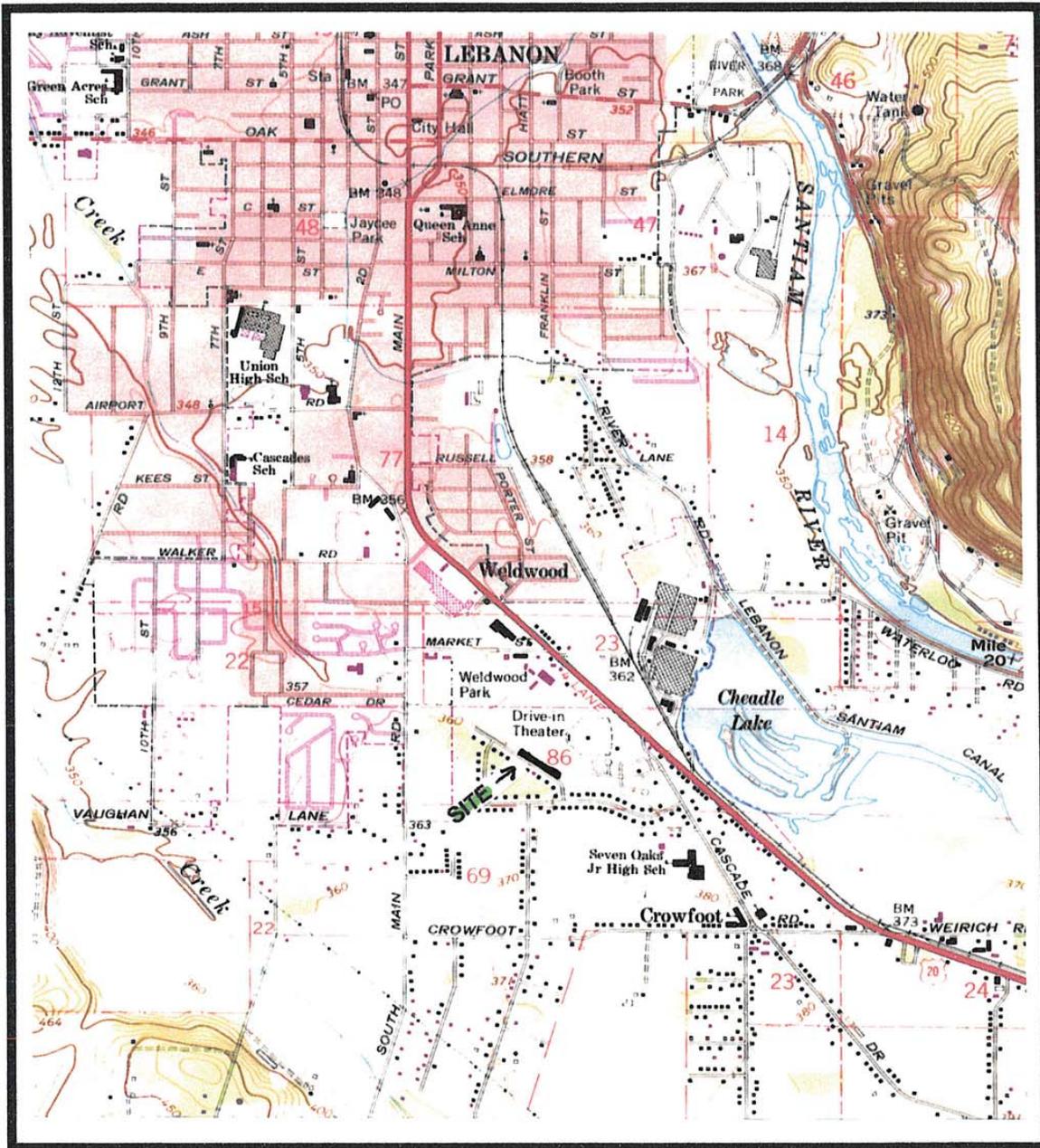


FIGURE 1. A portion of USGS topographic map (7.5 minute series), Lebanon, OR quadrangle showing study area.

Kingsley Wetland Determination, Lebanon, OR - 03/2001

94-602

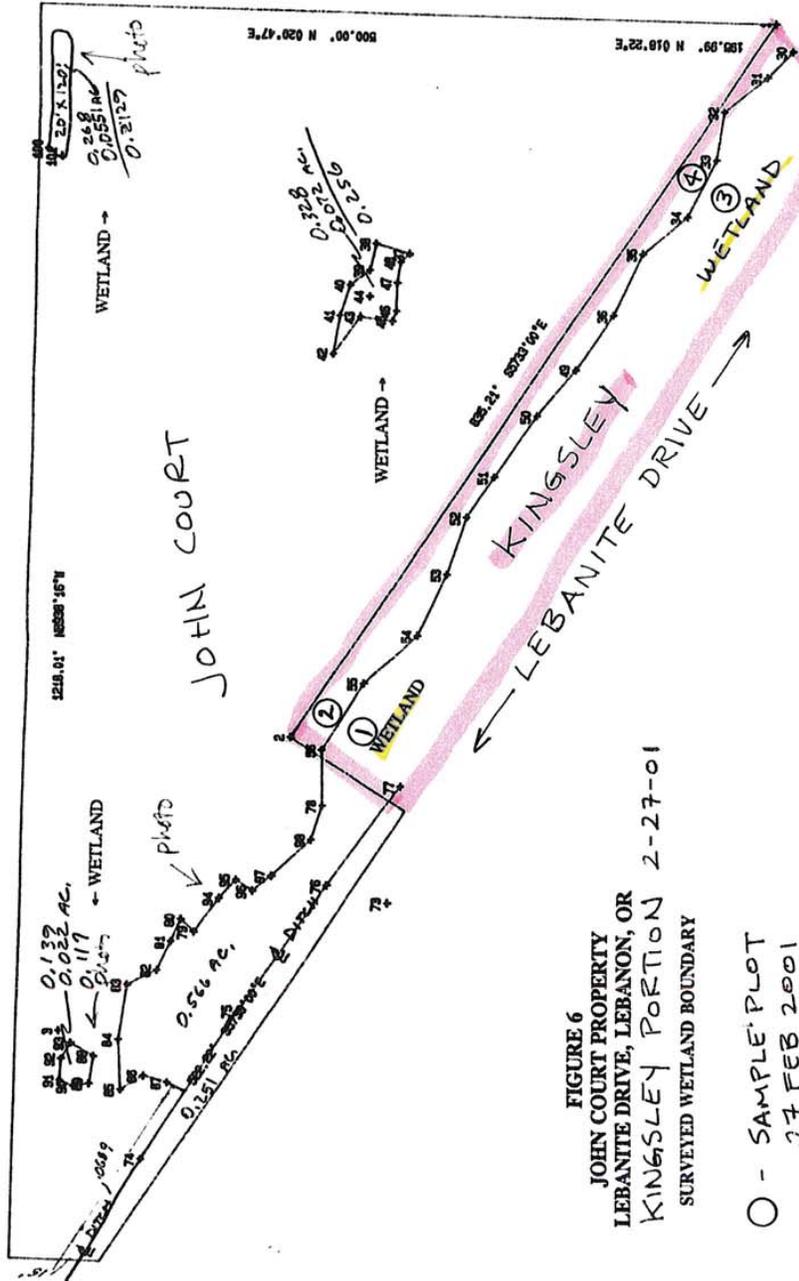


FIGURE 6
 JOHN COURT PROPERTY
 LEBANITE DRIVE, LEBANON, OR
 KINGSLEY PORTION 2-27-01
 SURVEYED WETLAND BOUNDARY

○ - SAMPLE PLOT
 27 FEB 2001

KINGSLEY ± 2.5 ACRES
 1.93 WETLAND
 0.57 NON-WETLAND

Appendix B: Google Earth Aerials





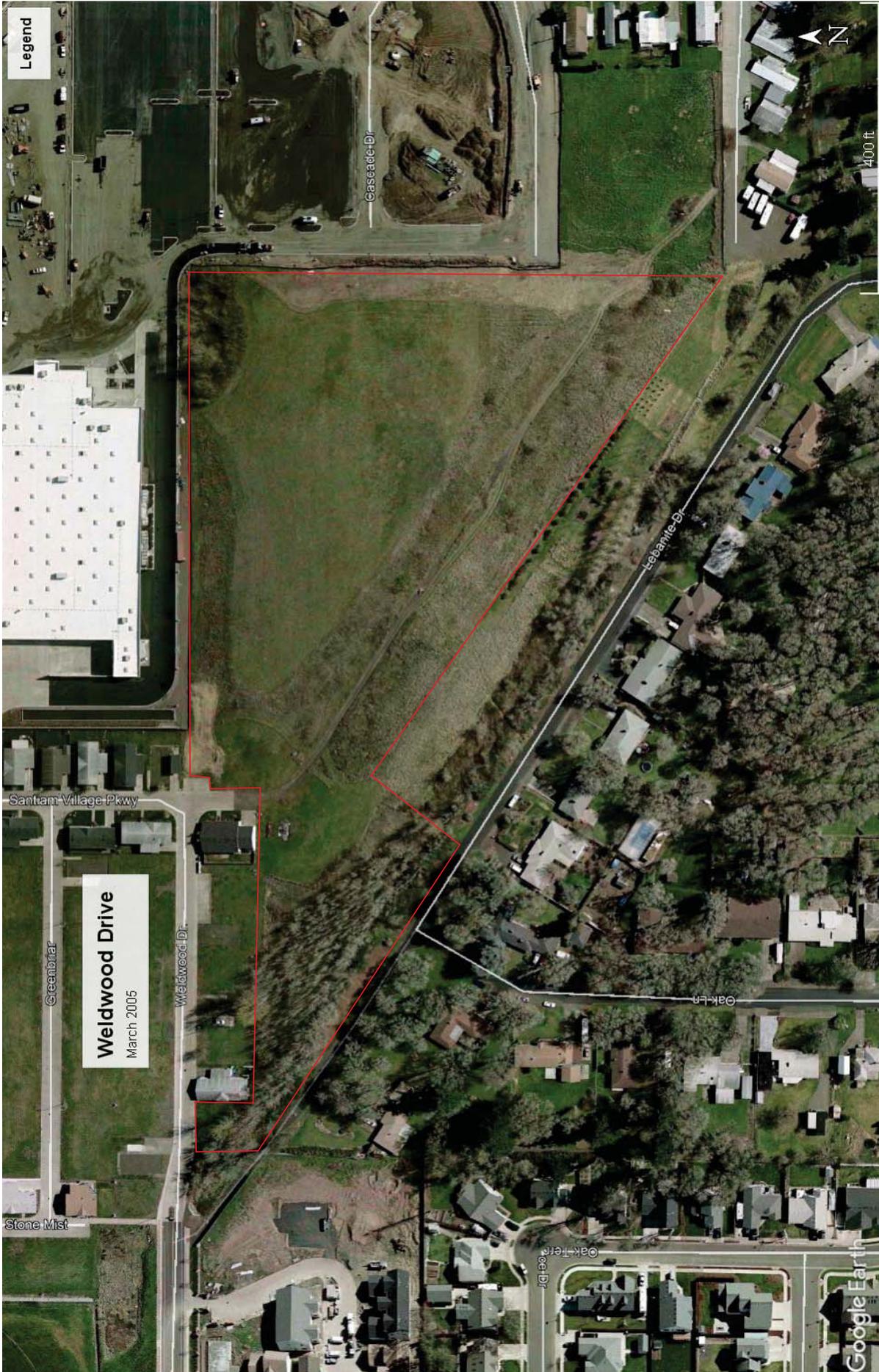
Legend

Weldwood Drive
July 2000

400 ft



Google Earth







Appendix C: Precipitation Data

WETS Table

WETS Station: LACOMB 3
NNE, OR

Requested years: 1971 -
2000

Month	Avg Max Temp	Avg Min Temp	Avg Mean Temp	Avg Precip	30% chance precip less than	30% chance precip more than	Avg number days precip 0.10 or more	Avg Snowfall
Jan	46.5	32.6	39.5	7.20	4.84	8.61	14	0.7
Feb	50.8	34.2	42.5	6.53	4.75	7.69	13	1.2
Mar	55.6	35.9	45.8	5.97	4.67	6.89	14	0.0
Apr	60.0	38.6	49.3	4.86	3.78	5.63	12	0.0
May	65.8	42.9	54.4	4.10	2.74	4.91	10	0.0
Jun	71.7	47.4	59.6	3.10	1.99	3.73	7	0.0
Jul	78.5	50.2	64.3	1.10	0.45	1.33	3	0.0
Aug	79.6	49.6	64.6	1.22	0.33	1.23	3	0.0
Sep	75.3	45.8	60.6	2.03	1.02	2.41	5	0.0
Oct	64.0	40.7	52.3	4.41	2.56	5.36	9	0.0
Nov	51.9	36.9	44.4	8.83	6.40	10.40	15	0.2
Dec	45.9	33.7	39.8	8.41	5.79	10.02	15	0.5
Annual:					50.73	61.62		
Average	62.1	40.7	51.4	-	-	-	-	-
Total	-	-	-	57.74			121	2.7

GROWING SEASON DATES

Years with missing data:	24 deg = 5	28 deg = 5	32 deg = 2
Years with no occurrence:	24 deg = 8	28 deg = 0	32 deg = 0
Data years used:	24 deg = 25	28 deg = 25	32 deg = 28
Probability	24 F or higher	28 F or higher	32 F or higher
50 percent *	2/2 to 12/28: 329 days	3/16 to 11/21: 250 days	4/26 to 10/23: 180 days
70 percent *	No occurrence	3/9 to 11/29: 265 days	4/20 to 10/30: 193 days

* Percent chance of the growing season occurring between the Beginning and Ending dates.

STATS TABLE - total precipitation (inches)

Yr	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annl
1973			5.48	2.37	2.04	2.94	0.08	1.18	2.74	3.82	19.05	12.18	51.88
1974	10.60	8.17	9.27	4.63	2.92	1.34	2.28	0.50	0.30	2.82	7.74	10.73	61.30
1975	6.55	5.41	7.04	4.16	2.78	2.27	0.56	3.77	0.00	8.16	7.41	9.55	57.66
1976	8.31	6.91	5.33	5.31	3.04	1.47	1.20	3.68	1.66	2.22	2.82	1.77	43.72
1977	1.56	3.80	7.27	2.69	8.49	1.87	0.99	2.64	4.39	3.37	9.70	11.69	58.46
1978	7.60	3.83	2.63	7.42	5.00	2.30	1.06	5.37	3.71	0.91	6.96		46.79
1979	3.56	10.85	4.19	6.05	3.23	1.20	0.37	1.75	2.28	8.48	6.92	6.56	55.44
1980	7.38	4.53	6.31	4.24	2.34	2.79	0.41	T	1.90	2.45	6.33	11.14	49.82

1981	2.78	6.69	4.09	4.66	5.04	5.85	0.20	0.04	3.18	5.73	6.50	13.65	58.41
1982	M9.32	7.94	5.40	4.58	1.32	3.38	0.90	1.22	3.28	5.26	6.00	10.05	58.65
1983	9.41	10.63	9.02	4.39	3.41	4.41	4.95	2.85	0.86	2.15	11.61	7.66	71.35
1984		7.60	6.52	6.73	5.71	7.01	0.47	0.01	1.79	7.34	15.98		59.16
1985	0.74	6.07	5.73	2.56	1.53	2.38	1.35	1.11	3.68	5.87	8.48	2.98	42.48
1986	6.40	10.21	4.58	4.18	3.63	0.99	1.79	0.13	5.51	2.58	12.83		52.83
1987	8.30	3.13	5.50	3.52	3.38	0.61	3.42	0.10	0.67	0.48	5.24	11.20	45.55
1988	9.31	2.33	5.65	7.41	6.15	3.25	0.17	0.00	0.81	0.33	13.42	M4.62	53.45
1989	6.29	M3.33	10.65	1.93	3.36	2.28	1.05	1.73	0.88	2.62	5.02	2.90	42.04
1990	10.23	7.15	3.85	3.75	3.65	2.56	0.45	M1.72	0.48	9.27	8.74	4.82	56.67
1991	3.22	5.40	7.05	5.41	7.87	3.27	0.61	0.85	0.49	3.79	9.27	6.52	53.75
1992	4.56	5.39	1.67	7.14	0.66	1.77	1.38	0.38	1.16	4.21	7.72	9.08	45.12
1993	5.62	M2.06	7.38	10.69	6.79	5.31	2.68	0.63	0.10	2.01	2.89	6.57	52.73
1994	5.68	5.75	5.05	3.85	2.31	3.11	0.15	T	1.89	5.63	M12.80	6.76	52.98
1995	9.97	4.79	5.45	5.47	2.69	4.26	1.19	1.52	4.62	5.81	9.89	9.96	65.62
1996	12.30	15.18	3.59	6.24	5.64	1.64	1.24	0.22	2.75	8.03	13.08	19.62	89.53
1997	7.69	5.02	10.26	5.93	2.63	3.13	0.97	1.65	4.61	7.21	4.37	3.92	57.39
1998	9.69	6.14	6.39	4.26	9.33	9.88	0.06	0.00	1.96	5.42	11.57	10.70	75.40
1999	9.15	M10.10	6.89	3.26	4.76	2.54	0.32	0.89	0.00	3.78	M10.89	7.20	59.78
2000	10.85	M7.94	4.92	3.36	M5.05	2.85	0.45	0.08	1.22	3.72	3.91	4.58	48.93
2001	3.55	1.74	4.60	4.66	2.34	2.94	0.52	0.56	1.16	4.73	9.47	10.07	46.34
2002	9.39	4.16	6.77	4.20	2.38	2.41	0.05	0.35	1.31	1.21	4.89	12.14	49.26
2003	8.64	5.66	8.74	9.50	2.04	0.84	0.00	0.31	1.90	M3.15	8.09	13.66	62.53
2004	11.12	5.74	3.19	2.89	2.90	2.51	0.15	3.54	4.35	5.95	4.89	M5.48	52.71
2005	2.88	1.24	6.25	6.62	6.44	4.69	0.59	0.10	0.85	5.84	8.00	11.55	55.05
2006	16.91	3.99	5.11	4.47	4.82	2.30	0.25	0.00	1.53	2.12	M19.07	M8.16	68.73
2007	M5.94	8.41	8.04	4.75	2.08	1.39	0.66	1.02	3.11	5.37	6.26	M10.20	57.23
2008	M10.69	4.06	7.87	5.29	2.45	1.99	0.15	1.90	1.11	1.78	6.63	9.36	53.28
2009	5.50	4.87	4.82	4.01	5.14	M0.63	0.27	0.24	1.94	M5.17	8.24	5.48	46.31
2010	7.38	M3.78	M8.08	7.72	M4.94	5.08	0.36	0.20	M3.00	6.76	M10.43	10.76	68.49
2011	5.10	3.56	M11.44	M7.43	M3.74	1.87	2.07	0.20	M0.59	M4.31	7.09	M6.06	53.46
2012	12.10	M5.46	M13.17	M7.56	M3.32	M4.60	M0.55	M0.01	M0.13	M7.13	10.29	M11.52	75.84
2013	6.00	3.00	M2.79	M3.32	5.56	M2.06	0.06	0.55	9.79	M2.54	3.77	M3.56	43.00
2014	M4.76	9.37	8.71	4.79	3.08	M2.25	0.71	M0.04	2.53	9.55	7.18	9.21	62.18

2015	3.26	3.90	4.71	M3.14	1.68	0.58	0.00	1.41	2.17	3.53	8.21	14.89	47.48
2016	7.12	4.88	7.82	3.42	2.01	1.83	0.61	0.33	1.23	14.06	7.81	6.99	58.11
2017	5.55	12.03	11.28	5.54	3.33	1.97	0.00	0.00	3.28	7.67	9.34	4.45	64.44
2018	6.68	3.60	M6.05	6.29	0.64	1.76	0.00	M0.23	1.03	M1.24			27.52

Notes: Data missing in any month have an "M" flag. A "T" indicates a trace of precipitation.

Data missing for all days in a month or year is blank.

Creation date: 2016-07-22

Almanac for LACOMB 3 NNE, OR
October 18, 2018

Daily Data	Observed	---	Normal	Record Highest	Record Lowest
Max Temperature	74		62	79 in 2003	48 in 1984
Min Temperature	37		40	53 in 2015	30 in 1976
Avg Temperature	55.5		51.3	62.0 in 2003	43.5 in 1994
Precipitation	0.00		0.15	1.55 in 2016	0.00 in 2018
Snowfall	0.0		0.0	0.0 in 2018	0.0 in 2018
Snow Depth	0		-	0 in 2018	0 in 2018
HDD (base 65)	9		14	21 in 1994	3 in 2003
CDD (base 65)	0		0	0 in 2018	0 in 2018
Month-to-Date Summary	Observed	---	Normal	Record Highest	Record Lowest
Avg Max Temperature	66.7		66.1	78.4 in 1991	58.1 in 2007
Avg Min Temperature	38.2		41.6	49.3 in 1988	35.9 in 1974
Avg Temperature	52.4		53.9	59.4 in 1991	48.3 in 2013
Total Precipitation	1.24		2.15	10.43 in 2016	0.00 in 1987
Total Snowfall	0.0		0.0	0.0 in 2018	0.0 in 2018
Max Snow Depth	0		-	0 in 2018	0 in 2018
Total HDD (base 65)	223		201	297 in 2013	99 in 1991
Total CDD (base 65)	0		0	6 in 1980	0 in 2018
Year-to-Date Summary	Observed	---	Normal	Record Highest	Record Lowest
Avg Max Temperature	65.7		65.4	68.9 in 2015	62.5 in 2011
Avg Min Temperature	41.1		42.0	43.9 in 1998	39.9 in 1985
Avg Temperature	53.4		53.7	56.1 in 1992	52.1 in 2011
Total Precipitation	27.52		37.81	52.09 in 1996	17.61 in 1973
Total Snowfall (since July 1)	0.0		0.0	0.0 in 2018	0.0 in 2018
Max Snow Depth (since July 1)	0		-	0 in 2018	0 in 2018
Total HDD (since July 1)	503		476	621 in 1973	233 in 2014
Total CDD (since Jan 1)	199		166	324 in 2017	72 in 1980

Climatological Data for LACOMB 3 NNE, OR - October 2018

Date	Max Temperature	Min Temperature	Avg Temperature	GDD Base 40	GDD Base 50	Precipitation	Snowfall	Snow Depth
2018-10-01	71	51	61.0	21	11	0.00	0.0	0
2018-10-02	73	53	63.0	23	13	0.00	0.0	0
2018-10-03	71	35	53.0	13	3	0.00	0.0	0
2018-10-04	67	34	50.5	11	1	0.00	0.0	0
2018-10-05	63	37	50.0	10	0	0.00	0.0	0
2018-10-06	55	41	48.0	8	0	0.56	0.0	0
2018-10-07	57	36	46.5	7	0	0.00	0.0	0
2018-10-08	57	37	47.0	7	0	0.21	0.0	0
2018-10-09	59	52	55.5	16	6	0.47	0.0	0
2018-10-10	63	41	52.0	12	2	0.00	0.0	0
2018-10-11	61	34	47.5	8	0	0.00	0.0	0
2018-10-12	68	34	51.0	11	1	0.00	0.0	0
2018-10-13	70	35	52.5	13	3	0.00	0.0	0
2018-10-14	73	32	52.5	13	3	0.00	0.0	0
2018-10-15	71	31	51.0	11	1	0.00	0.0	0
2018-10-16	71	31	51.0	11	1	0.00	0.0	0
2018-10-17	76	36	56.0	16	6	0.00	0.0	0
2018-10-18	74	37	55.5	16	6	0.00	0.0	0
2018-10-19	71	37	54.0	14	4	0.00	0.0	0
2018-10-20	69	36	52.5	13	3	0.00	0.0	0
2018-10-21	67	37	52.0	12	2	0.00	0.0	0
2018-10-22	67	37	52.0	12	2	0.00	0.0	0
2018-10-23	67	37	52.0	12	2	0.00	0.0	0
2018-10-24	59	39	49.0	9	0	0.01	0.0	0
2018-10-25	63	43	53.0	13	3	0.00	0.0	0
2018-10-26	63	45	54.0	14	4	0.05	0.0	0
2018-10-27	61	49	55.0	15	5	0.08	0.0	0
2018-10-28	66	48	57.0	17	7	0.63	0.0	0
2018-10-29	56	47	51.5	12	2	0.71	0.0	0
2018-10-30	M	M	M	M	M	M	0.0	0
2018-10-31	53	37	45.0	5	0	0.25	M	0
Average/Sum	65.4	39.3	52.4	375	91	2.97	0.0	0.0

Climatological Data for LACOMB 3 NNE, OR - September 2018

Date	Max Temperature	Min Temperature	Avg Temperature	GDD Base 40	GDD Base 50	Precipitation	Snowfall	Snow Depth
2018-09-01	75	43	59.0	19	9	0.00	0.0	0
2018-09-02	74	41	57.5	18	8	0.00	0.0	0
2018-09-03	80	41	60.5	21	11	0.00	0.0	0
2018-09-04	75	40	57.5	18	8	0.00	0.0	0
2018-09-05	80	40	60.0	20	10	0.00	0.0	0
2018-09-06	85	46	65.5	26	16	0.00	0.0	0
2018-09-07	83	44	63.5	24	14	0.00	0.0	0
2018-09-08	83	44	63.5	24	14	0.00	0.0	0
2018-09-09	75	44	59.5	20	10	0.00	0.0	0
2018-09-10	78	44	61.0	21	11	0.10	0.0	0
2018-09-11	73	50	61.5	22	12	0.00	0.0	0
2018-09-12	68	51	59.5	20	10	0.33	0.0	0
2018-09-13	62	47	54.5	15	5	0.05	0.0	0
2018-09-14	67	41	54.0	14	4	0.00	0.0	0
2018-09-15	70	41	55.5	16	6	0.00	0.0	0
2018-09-16	68	42	55.0	15	5	0.04	0.0	0
2018-09-17	63	41	52.0	12	2	0.36	0.0	0
2018-09-18	65	42	53.5	14	4	0.00	0.0	0
2018-09-19	70	39	54.5	15	5	0.00	0.0	0
2018-09-20	70	39	54.5	15	5	0.00	0.0	0
2018-09-21	72	42	57.0	17	7	0.00	0.0	0
2018-09-22	74	42	58.0	18	8	0.12	0.0	0
2018-09-23	68	40	54.0	14	4	0.02	0.0	0
2018-09-24	67	38	52.5	13	3	0.00	0.0	0
2018-09-25	70	36	53.0	13	3	0.00	0.0	0
2018-09-26	81	37	59.0	19	9	0.00	0.0	0
2018-09-27	83	40	61.5	22	12	0.00	0.0	0
2018-09-28	83	44	63.5	24	14	0.00	0.0	0
2018-09-29	85	45	65.0	25	15	0.00	0.0	0
2018-09-30	66	50	58.0	18	8	0.01	0.0	0
Average/Sum	73.8	42.5	58.1	552	252	1.03	0.0	0.0

Climatological Data for LACOMB 3 NNE, OR - August 2018

Date	Max Temperature	Min Temperature	Avg Temperature	GDD Base 40	GDD Base 50	Precipitation	Snowfall	Snow Depth
2018-08-01	90	49	69.5	30	20	0.00	0.0	0
2018-08-02	87	49	68.0	28	18	0.00	0.0	0
2018-08-03	73	54	63.5	24	14	0.00	0.0	0
2018-08-04	77	48	62.5	23	13	0.00	0.0	0
2018-08-05	84	48	66.0	26	16	0.00	0.0	0
2018-08-06	87	49	68.0	28	18	0.00	0.0	0
2018-08-07	88	53	70.5	31	21	0.00	0.0	0
2018-08-08	92	54	73.0	33	23	0.00	0.0	0
2018-08-09	92	54	73.0	33	23	0.00	0.0	0
2018-08-10	94	54	74.0	34	24	0.00	0.0	0
2018-08-11	90	57	73.5	34	24	0.00	0.0	0
2018-08-12	78	49	63.5	24	14	0.00	0.0	0
2018-08-13	M	M	M	M	M	M	0.0	0
2018-08-14	95	49	72.0	32	22	0.00	0.0	0
2018-08-15	89	52	70.5	31	21	0.00	0.0	0
2018-08-16	84	54	69.0	29	19	0.00	0.0	0
2018-08-17	81	47	64.0	24	14	0.00	0.0	0
2018-08-18	80	43	61.5	22	12	0.00	0.0	0
2018-08-19	85	43	64.0	24	14	0.00	0.0	0
2018-08-20	86	48	67.0	27	17	0.00	0.0	0
2018-08-21	80	50	65.0	25	15	0.00	0.0	0
2018-08-22	95	50	72.5	33	23	0.00	0.0	0
2018-08-23	91	50	70.5	31	21	0.00	0.0	0
2018-08-24	64	48	56.0	16	6	0.00	0.0	0
2018-08-25	73	41	57.0	17	7	0.00	0.0	0
2018-08-26	74	41	57.5	18	8	0.03	0.0	0
2018-08-27	69	56	62.5	23	13	0.20	0.0	0
2018-08-28	76	45	60.5	21	11	0.00	0.0	0
2018-08-29	87	45	66.0	26	16	0.00	0.0	0
2018-08-30	85	47	66.0	26	16	0.00	0.0	0
2018-08-31	68	48	58.0	18	8	0.00	0.0	0
Average/Sum	83.1	49.2	66.2	791	491	0.23	0.0	0.0

Climatological Data for LACOMB 3 NNE, OR - July 2018

Date	Max Temperature	Min Temperature	Avg Temperature	GDD Base 40	GDD Base 50	Precipitation	Snowfall	Snow Depth
2018-07-01	82	49	65.5	26	16	0.00	0.0	0
2018-07-02	80	43	61.5	22	12	0.00	0.0	0
2018-07-03	71	39	55.0	15	5	0.00	0.0	0
2018-07-04	76	40	58.0	18	8	0.00	0.0	0
2018-07-05	77	49	63.0	23	13	0.00	0.0	0
2018-07-06	84	50	67.0	27	17	0.00	0.0	0
2018-07-07	78	51	64.5	25	15	0.00	0.0	0
2018-07-08	80	46	63.0	23	13	0.00	0.0	0
2018-07-09	84	47	65.5	26	16	0.00	0.0	0
2018-07-10	67	52	59.5	20	10	0.00	0.0	0
2018-07-11	80	50	65.0	25	15	0.00	0.0	0
2018-07-12	88	55	71.5	32	22	0.00	0.0	0
2018-07-13	97	53	75.0	35	25	0.00	0.0	0
2018-07-14	92	50	71.0	31	21	0.00	0.0	0
2018-07-15	91	51	71.0	31	21	0.00	0.0	0
2018-07-16	97	54	75.5	36	26	0.00	0.0	0
2018-07-17	97	53	75.0	35	25	0.00	0.0	0
2018-07-18	M	M	M	M	M	0.00	0.0	0
2018-07-19	M	M	M	M	M	0.00	0.0	0
2018-07-20	M	M	M	M	M	0.00	0.0	0
2018-07-21	78	43	60.5	21	11	0.00	0.0	0
2018-07-22	81	44	62.5	23	13	0.00	0.0	0
2018-07-23	M	M	M	M	M	0.00	0.0	0
2018-07-24	M	M	M	M	M	0.00	0.0	0
2018-07-25	M	M	M	M	M	0.00	0.0	0
2018-07-26	95	52	73.5	34	24	0.00	0.0	0
2018-07-27	95	50	72.5	33	23	0.00	0.0	0
2018-07-28	90	48	69.0	29	19	0.00	0.0	0
2018-07-29	89	48	68.5	29	19	0.00	0.0	0
2018-07-30	96	53	74.5	35	25	0.00	0.0	0
2018-07-31	89	52	70.5	31	21	0.00	0.0	0
Average/Sum	85.4	48.9	67.1	685	435	0.00	0.0	0.0

Appendix D: Wetland Determination Data Forms

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region

Project/Site: Colonia Paz Housing Complex City/County: Lebanon/Linn Sampling Date: 10/18/2018
 Applicant/Owner: Farmworker Housing Development Corporation State: OR Sampling Point: 1
 Investigator(s): Stacey Reed and Sonya Templeton Section, Township, Range: Sec. 23, T. 12S., R. 2W
 Landform (hillslope, terrace, etc.): Artificial Pond Local relief (concave, convex, none): Concave Slope (%): <3%
 Subregion (LRR): A, Northwest Forests and Coast Lat: _____ Long: _____ Datum: _____
 Soil Map Unit Name: Unit: 2224A, Courtney gravelly silty clay loam, 0% to 3% slopes NWI classification: None
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes _____ No X (If no, explain in Remarks)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes X No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <u>X</u>	No _____	Is the Sampled Area within a Wetland?	Yes <u>X</u>	No _____
Hydric Soil Present?	Yes <u>X</u>	No _____			
Wetland Hydrology Present?	Yes <u>X</u>	No _____			

Precipitation:
 According to the AgACIS, Lacombe 3 NNE, OR station, 0.00 inches of rainfall was received on the day of the site visit and 1.24 inches within the two weeks prior.

Remarks:
 Plot is located within isolated pond.

VEGETATION

Tree Stratum (Plot Size: 30' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A)
1. <u>Populus tremuloides</u>	<u>25%</u>	<u>Yes</u>	<u>FACU</u>	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>25%</u> = Total Cover				Percent of Dominant Species That Are OBL, FACW, or FAC: <u>67%</u> (A/B)
Sapling/Shrub Stratum (Plot Size: 10' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Cornus alba</u>	<u>10%</u>	<u>Yes</u>	<u>FACW</u>	Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species <u>30</u> x 1 = <u>30</u> FACW species <u>10</u> x 2 = <u>20</u> FAC species <u>0</u> x 3 = <u>0</u> FACU species <u>0</u> x 4 = <u>0</u> UPL species <u>0</u> x 5 = <u>0</u> Column Totals: <u>40</u> (A) <u>50</u> (B) Prevalence Index = B/A = <u>1.25</u>
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
<u>10%</u> = Total Cover				Hydrophytic Vegetation Indicators: 1 - Rapid Test for Hydrophytic Vegetation X 2 - Dominance Test is >50% X 3 - Prevalence Index is ≤3.0 ¹ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) 5 - Wetland Non-Vascular Plants ¹ _____ Problematic Hydrophytic Vegetation (Explain) ¹ ¹ Indicators of hydric soil and wetland hydrology must be present.
Herb Stratum (Plot Size: 5' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Carex obnupta</u>	<u>30%</u>	<u>Yes</u>	<u>OBL</u>	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
<u>30%</u> = Total Cover				
Woody Vine Stratum (Plot Size: 10' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
<u>0%</u> = Total Cover				
% Bare Ground in Herb Stratum <u>70%</u>				

Remarks:

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region

Project/Site: Colonia Paz Housing Complex City/County: Lebanon/Linn Sampling Date: 10/18/2018
 Applicant/Owner: Farmworker Housing Development Corporation State: OR Sampling Point: 2
 Investigator(s): Stacey Reed and Sonya Templeton Section, Township, Range: Sec. 23, T. 12S., R. 2W
 Landform (hillslope, terrace, etc.): Terrace Local relief (concave, convex, none): Sl. Concave Slope (%): <3%
 Subregion (LRR): A, Northwest Forests and Coast Lat: _____ Long: _____ Datum: _____
 Soil Map Unit Name: Unit: 2224A, Courtney gravelly silty clay loam, 0% to 3% slopes NWI classification: None
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes _____ No X (If no, explain in Remarks)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes X No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <u>X</u>	No _____	Is the Sampled Area within a Wetland?	Yes _____	No <u>X</u>
Hydric Soil Present?	Yes _____	No <u>X</u>			
Wetland Hydrology Present?	Yes _____	No <u>X</u>			

Precipitation:
 According to the AgACIS, Lacombe 3 NNE, OR station, 0.00 inches of rainfall was received on the day of the site visit and 1.24 inches within the two weeks prior.

Remarks:
 Plot is located in vicinity of wetland delineated under the 1994 delineation by Jay Lorenz.

VEGETATION

Tree Stratum (Plot Size: 30' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>4</u> (A) Total Number of Dominant Species Across All Strata: <u>6</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>67%</u> (A/B)
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
_____ = Total Cover				
Sapling/Shrub Stratum (Plot Size: 10' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	Hydrophytic Vegetation Indicators: 1 - Rapid Test for Hydrophytic Vegetation X 2 - Dominance Test is >50% 3 - Prevalence Index is ≤3.0 ¹ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) 5 - Wetland Non-Vascular Plants ¹ Problematic Hydrophytic Vegetation (Explain) ¹ ¹ Indicators of hydric soil and wetland hydrology must be present.
1. <u>Rubus armeniacus</u>	5%	Yes	FAC	
2. <u>Crataegus monogyna</u>	2%	Yes	FAC	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
_____ = Total Cover				
Herb Stratum (Plot Size: 5' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Plantago lanceolata</u>	20%	Yes	FACU	
2. <u>Daucus carota</u>	20%	Yes	FACU	
3. <u>Schedonorus arundinaceus</u>	20%	Yes	FAC	
4. <u>Agrostis capillaris</u>	20%	Yes	FAC	
5. <u>Cirsium arvense</u>	5%	No	FAC	
6. <u>Holcus lanatus</u>	5%	No	FAC	
7. <u>Leucanthemum vulgare</u>	5%	No	FACU	
8. <u>Trifolium repens</u>	5%	No	FAC	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
_____ = Total Cover				
Woody Vine Stratum (Plot Size: 10' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
_____ = Total Cover				
% Bare Ground in Herb Stratum	<u>0%</u>			

Remarks:

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region

Project/Site: Colonia Paz Housing Complex City/County: Lebanon/Linn Sampling Date: 10/18/2018
 Applicant/Owner: Farmworker Housing Development Corporation State: OR Sampling Point: 3
 Investigator(s): Stacey Reed and Sonya Templeton Section, Township, Range: Sec. 23, T. 12S., R. 2W
 Landform (hillslope, terrace, etc.): Terrace Local relief (concave, convex, none): Sl. Concave Slope (%): <3%
 Subregion (LRR): A, Northwest Forests and Coast Lat: _____ Long: _____ Datum: _____
 Soil Map Unit Name: Unit: 23, Clackamas gravelly silt loam NWI classification: None
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes _____ No X (If no, explain in Remarks)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes X No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <u>X</u>	No _____	Is the Sampled Area within a Wetland?	Yes <u>X</u>	No _____
Hydric Soil Present?	Yes <u>X</u>	No _____			
Wetland Hydrology Present?	Yes <u>X</u>	No _____			

Precipitation:
 According to the AgACIS, Lacombe 3 NNE, OR station, 0.00 inches of rainfall was received on the day of the site visit and 1.24 inches within the two weeks prior.

Remarks:
Wetland A

VEGETATION

Tree Stratum (Plot Size: 30' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:	
1. <u>Fraxinus latifolia</u>	40%	Yes	FACW		Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A)
2. _____	_____	_____	_____	Total Number of Dominant Species Across All Strata: <u>2</u> (B)	
3. _____	_____	_____	_____		
4. _____	_____	_____	_____	Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100%</u> (A/B)	
40% = Total Cover					
Sapling/Shrub Stratum (Plot Size: 10' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	Prevalence Index worksheet:	
1. <u>Rubus armeniacus</u>	10%	Yes	FAC		Total % Cover of: _____ Multiply by: _____
2. <u>Rosa pisocarpa</u>	2%	No	FAC	OBL species <u>0</u> x 1 = <u>0</u>	
3. _____	_____	_____	_____	FACW species <u>40</u> x 2 = <u>80</u>	
4. _____	_____	_____	_____	FAC species <u>12</u> x 3 = <u>36</u>	
5. _____	_____	_____	_____	FACU species <u>0</u> x 4 = <u>0</u>	
12% = Total Cover				UPL species <u>0</u> x 5 = <u>0</u>	
				Column Totals: <u>52</u> (A) <u>116</u> (B)	
				Prevalence Index = B/A = <u>2.23</u>	
Herb Stratum (Plot Size: 5' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	Hydrophytic Vegetation Indicators:	
1. _____	_____	_____	_____		1 - Rapid Test for Hydrophytic Vegetation
2. _____	_____	_____	_____		X 2 - Dominance Test is >50%
3. _____	_____	_____	_____		X 3 - Prevalence Index is ≤3.0 ¹
4. _____	_____	_____	_____		4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet)
5. _____	_____	_____	_____		5 - Wetland Non-Vascular Plants ¹
6. _____	_____	_____	_____		Problematic Hydrophytic Vegetation (Explain) ¹
7. _____	_____	_____	_____		¹ Indicators of hydric soil and wetland hydrology must be present.
8. _____	_____	_____	_____		
9. _____	_____	_____	_____		
10. _____	_____	_____	_____		
11. _____	_____	_____	_____		
0% = Total Cover					
Woody Vine Stratum (Plot Size: 10' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status		
1. _____	_____	_____	_____		
2. _____	_____	_____	_____		
0% = Total Cover					
% Bare Ground in Herb Stratum <u>100%</u>					
				Hydrophytic Vegetation Present? Yes <u>X</u> No _____	

Remarks:
 Bare ground covered by leaf litter.

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region

Project/Site: Colonia Paz Housing Complex City/County: Lebanon/Linn Sampling Date: 10/18/2018
 Applicant/Owner: Farmworker Housing Development Corporation State: OR Sampling Point: 4
 Investigator(s): Stacey Reed and Sonya Templeton Section, Township, Range: Sec. 23, T. 12S., R. 2W
 Landform (hillslope, terrace, etc.): Terrace Local relief (concave, convex, none): Sl. Convex Slope (%): <3%
 Subregion (LRR): A, Northwest Forests and Coast Lat: _____ Long: _____ Datum: _____
 Soil Map Unit Name: Unit: 23, Clackamas gravelly silt loam NWI classification: _____ None
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes _____ No X (If no, explain in Remarks)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes X No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <u>X</u>	No _____	Is the Sampled Area within a Wetland?	Yes _____	No <u>X</u>
Hydric Soil Present?	Yes _____	No <u>X</u>			
Wetland Hydrology Present?	Yes _____	No <u>X</u>			

Precipitation:
 According to the AgACIS, Lacombe 3 NNE, OR station, 0.00 inches of rainfall was received on the day of the site visit and 1.24 inches within the two weeks prior.

Remarks:

VEGETATION

Tree Stratum (Plot Size: 30' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:
1. <u>Fraxinus latifolia</u>	20%	Yes	FACW	
2. <u>Crataegus monogyna</u>	15%	Yes	FAC	Total Number of Dominant Species Across All Strata: <u>5</u> (B)
3. _____	_____	_____	_____	Percent of Dominant Species That Are OBL, FACW, or FAC: <u>60%</u> (A/B)
4. _____	_____	_____	_____	Prevalence Index worksheet:
	<u>35%</u> = Total Cover			
Sapling/Shrub Stratum (Plot Size: 10' r or _____)				OBL species <u>0</u> x 1 = <u>0</u>
1. <u>Rubus armeniacus</u>	80%	Yes	FAC	FACW species <u>20</u> x 2 = <u>40</u>
2. <u>Rosa pisocarpa</u>	15%	No	FAC	FAC species <u>110</u> x 3 = <u>330</u>
3. <u>Oemleria cerasiformis</u>	2%	No	FACU	FACU species <u>14</u> x 4 = <u>56</u>
4. _____	_____	_____	_____	UPL species <u>0</u> x 5 = <u>0</u>
5. _____	_____	_____	_____	Column Totals: <u>144</u> (A) <u>426</u> (B)
	<u>97%</u> = Total Cover			Prevalence Index = B/A = <u>2.96</u>
Herb Stratum (Plot Size: 5' r or _____)				Hydrophytic Vegetation Indicators:
1. <u>Hedera helix</u>	10%	Yes	FACU	
2. <u>Mahonia aquifolium</u>	2%	Yes	FACU	X 2 - Dominance Test is >50%
3. _____	_____	_____	_____	X 3 - Prevalence Index is ≤3.0 ¹
4. _____	_____	_____	_____	4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet)
5. _____	_____	_____	_____	5 - Wetland Non-Vascular Plants ¹
6. _____	_____	_____	_____	Problematic Hydrophytic Vegetation (Explain) ¹
7. _____	_____	_____	_____	¹ Indicators of hydric soil and wetland hydrology must be present.
8. _____	_____	_____	_____	Hydrophytic Vegetation Present? Yes <u>X</u> No _____
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
	<u>12%</u> = Total Cover			
Woody Vine Stratum (Plot Size: 10' r or _____)				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
	<u>0%</u> = Total Cover			
% Bare Ground in Herb Stratum <u>88%</u>				

Remarks:

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region

Project/Site: Colonia Paz Housing Complex City/County: Lebanon/Linn Sampling Date: 10/18/2018
 Applicant/Owner: Farmworker Housing Development Corporation State: OR Sampling Point: 5
 Investigator(s): Stacey Reed and Sonya Templeton Section, Township, Range: Sec. 23, T. 12S., R. 2W
 Landform (hillslope, terrace, etc.): Terrace Local relief (concave, convex, none): Sl. Concave Slope (%): <3%
 Subregion (LRR): A, Northwest Forests and Coast Lat: _____ Long: _____ Datum: _____
 Soil Map Unit Name: Unit: 23, Clackamas gravelly silt loam NWI classification: None
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes _____ No X (If no, explain in Remarks)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes X No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <u>X</u>	No _____	Is the Sampled Area within a Wetland?	Yes <u>X</u>	No _____
Hydric Soil Present?	Yes <u>X</u>	No _____			
Wetland Hydrology Present?	Yes <u>X</u>	No _____			

Precipitation:
 According to the AgACIS, Lacombe 3 NNE, OR station, 0.00 inches of rainfall was received on the day of the site visit and 1.24 inches within the two weeks prior.

Remarks:
Wetland A

VEGETATION

Tree Stratum (Plot Size: 30' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>5</u> (A)
1. <u>Fraxinus latifolia</u>	<u>40%</u>	<u>Yes</u>	<u>FACW</u>	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>40%</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species <u>8</u> x 1 = <u>8</u> FACW species <u>45</u> x 2 = <u>90</u> FAC species <u>15</u> x 3 = <u>45</u> FACU species <u>0</u> x 4 = <u>0</u> UPL species <u>0</u> x 5 = <u>0</u> Column Totals: <u>68</u> (A) <u>143</u> (B) Prevalence Index = B/A = <u>2.10</u>
Sapling/Shrub Stratum (Plot Size: 10' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Rubus armeniacus</u>	<u>5%</u>	<u>Yes</u>	<u>FAC</u>	
2. <u>Crataegus monogyna</u>	<u>5%</u>	<u>Yes</u>	<u>FAC</u>	
3. <u>Physocarpus capitatus</u>	<u>5%</u>	<u>Yes</u>	<u>FACW</u>	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
<u>15%</u> = Total Cover				
Herb Stratum (Plot Size: 5' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Carex densa</u>	<u>8%</u>	<u>Yes</u>	<u>OBL</u>	
2. <u>Alopecurus pratensis</u>	<u>5%</u>	<u>No</u>	<u>FAC</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
<u>13%</u> = Total Cover				
Woody Vine Stratum (Plot Size: 10' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
<u>0%</u> = Total Cover				
% Bare Ground in Herb Stratum <u>87%</u>				

Remarks:
 Bareground covered by leaf litter.

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region

Project/Site: Colonia Paz Housing Complex City/County: Lebanon/Linn Sampling Date: 10/18/2018
 Applicant/Owner: Farmworker Housing Development Corporation State: OR Sampling Point: 6
 Investigator(s): Stacey Reed and Sonya Templeton Section, Township, Range: Sec. 23, T. 12S., R. 2W
 Landform (hillslope, terrace, etc.): Terrace Local relief (concave, convex, none): Sl. Convex Slope (%): <3%
 Subregion (LRR): A, Northwest Forests and Coast Lat: _____ Long: _____ Datum: _____
 Soil Map Unit Name: Unit: 23, Clackamas gravelly silt loam13 NWI classification: _____ None
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes _____ No X (If no, explain in Remarks)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes X No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <u>X</u>	No _____	Is the Sampled Area within a Wetland?	Yes _____	No <u>X</u>
Hydric Soil Present?	Yes _____	No <u>X</u>			
Wetland Hydrology Present?	Yes _____	No <u>X</u>			

Precipitation:
 According to the AgACIS, Lacombe 3 NNE, OR station, 0.00 inches of rainfall was received on the day of the site visit and 1.24 inches within the two weeks prior.

Remarks:
 Plot is approximately 4-6" higher than Plot 5.

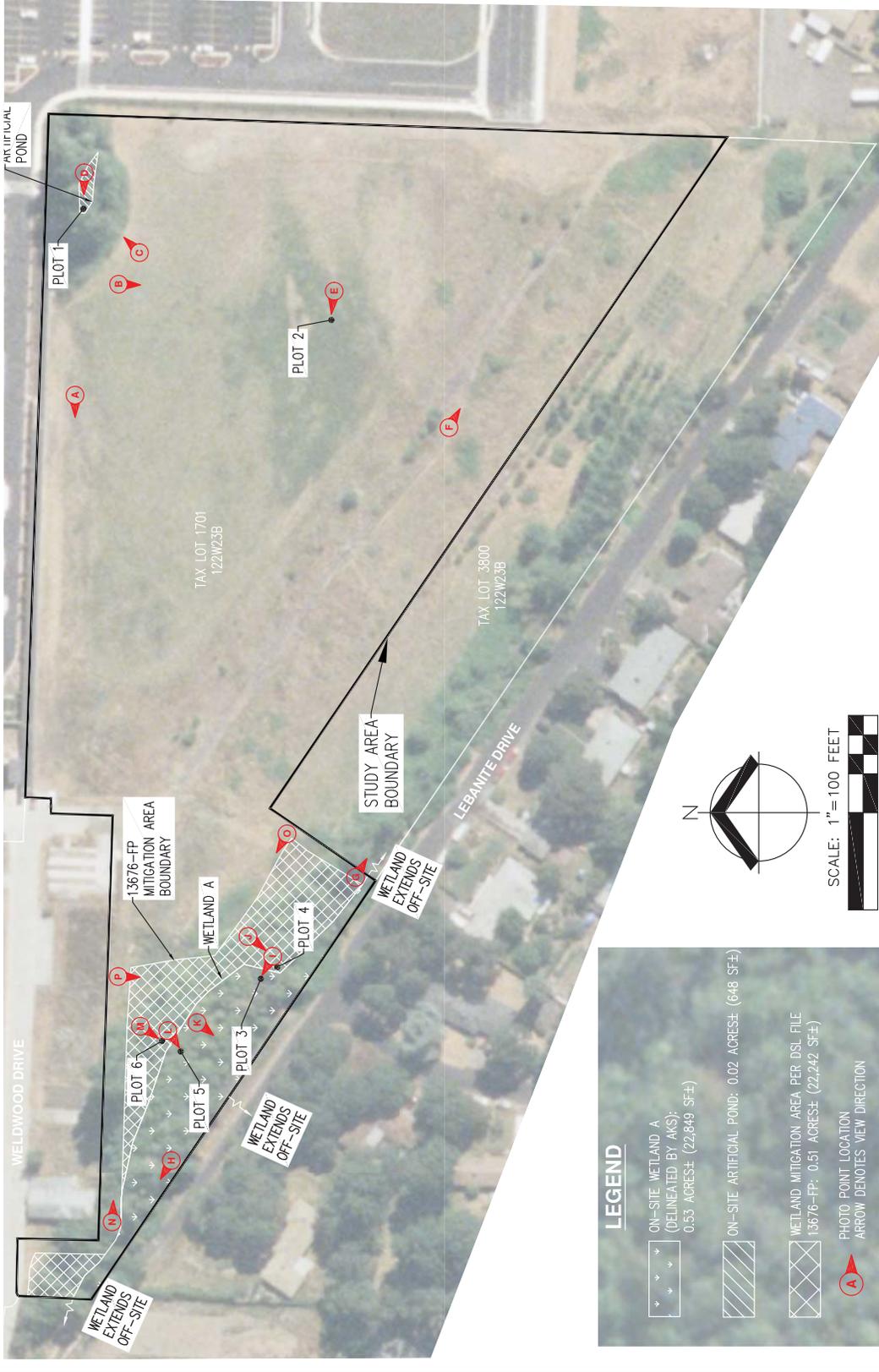
VEGETATION

Tree Stratum (Plot Size: 30' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>5</u> (A)
1. <u>Fraxinus latifolia</u>	<u>20%</u>	<u>Yes</u>	<u>FACW</u>	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>20%</u> = Total Cover				Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100%</u> (A/B)
Sapling/Shrub Stratum (Plot Size: 10' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Rubus armeniacus</u>	<u>15%</u>	<u>Yes</u>	<u>FAC</u>	Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species <u>0</u> x 1 = <u>0</u> FACW species <u>20</u> x 2 = <u>40</u> FAC species <u>53</u> x 3 = <u>159</u> FACU species <u>12</u> x 4 = <u>48</u> UPL species <u>0</u> x 5 = <u>0</u> Column Totals: <u>85</u> (A) <u>247</u> (B) Prevalence Index = B/A = <u>2.91</u>
2. <u>Crataegus douglasii</u>	<u>10%</u>	<u>Yes</u>	<u>FAC</u>	
3. <u>Quercus garryana</u>	<u>5%</u>	<u>No</u>	<u>FACU</u>	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
<u>30%</u> = Total Cover				Hydrophytic Vegetation Indicators: 1 - Rapid Test for Hydrophytic Vegetation X 2 - Dominance Test is >50% X 3 - Prevalence Index is ≤3.0 ¹ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) 5 - Wetland Non-Vascular Plants ¹ _____ Problematic Hydrophytic Vegetation (Explain) ¹ ¹ Indicators of hydric soil and wetland hydrology must be present.
Herb Stratum (Plot Size: 5' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Schedonorus arundinaceus</u>	<u>20%</u>	<u>Yes</u>	<u>FAC</u>	
2. <u>Holcus lanatus</u>	<u>8%</u>	<u>Yes</u>	<u>FAC</u>	
3. <u>Polystichum munitum</u>	<u>5%</u>	<u>No</u>	<u>FACU</u>	
4. <u>Hedera helix</u>	<u>2%</u>	<u>No</u>	<u>FACU</u>	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
<u>35%</u> = Total Cover				
Woody Vine Stratum (Plot Size: 10' r or _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
<u>0%</u> = Total Cover				
% Bare Ground in Herb Stratum <u>65%</u>				

Remarks:

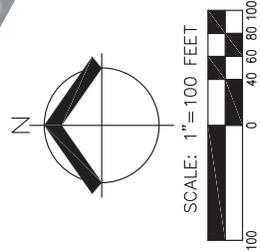
Appendix E: Photo Location Map and Site Photographs

USGS HIGH RESOLUTION
ORTHOMAGERY
JUNE, 2005



DATE: 11/26/2018

PHOTO LOCATION MAP	
FIGURE	5
DRWN: SKT	AKS
CHKD: SAR	AKS
AKS JOB:	7138
COLONIA PAZ HOUSING COMPLEX, LEBANON AKS ENGINEERING & FORESTRY, LLC 12965 SW HERMAN RD, STE 100 TUALATIN, OR 97062 P: 503.563.6151 F: 503.563.6152 aks-eng.com	



LEGEND

- ON-SITE WETLAND A (DELINEATED BY AKS): 0.53 ACRES± (22,849 SF±)
- ON-SITE ARTIFICIAL POND: 0.02 ACRES± (648 SF±)
- WETLAND MITIGATION AREA PER DSL FILE 15676-PP: 0.51 ACRES± (22,242 SF±)
- PHOTO POINT LOCATION
ARROW DENOTES VIEW DIRECTION

WETLAND BOUNDARIES SHOWN WERE DELINEATED BY AKS ENGINEERING & FORESTRY, LLC ON OCTOBER 18, 2018 AND WERE LOCATED USING A TRIMBLE GEO 7X HANDHELD GPS RECEIVER WITH SUB-METER ACCURACY.

DWG: 7138 PHOTO LOCATION MAP | LAYOUT



Photo A. View facing west of upland field.



Photo B. View facing south from the artificial pond of upland field.

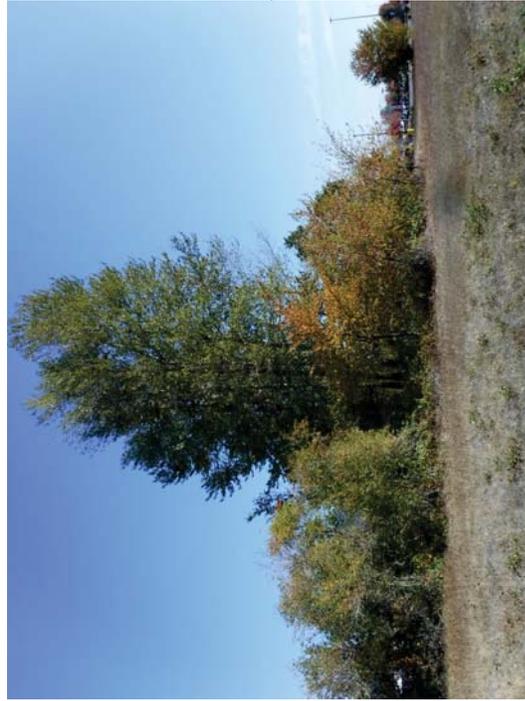


Photo C. View north of the artificial pond.



Photo D. View facing west within the artificial pond and Plot 1.



Photo E. View facing west of Plot 2 in subtle low spot in field.



Photo F. View facing east of farm road that runs through the central portion of the study area.

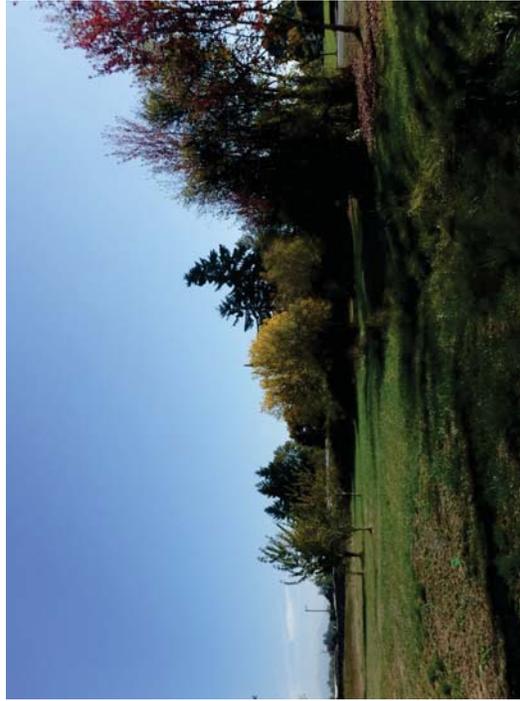


Photo G. View facing east of off-site portion of Ditch 1.

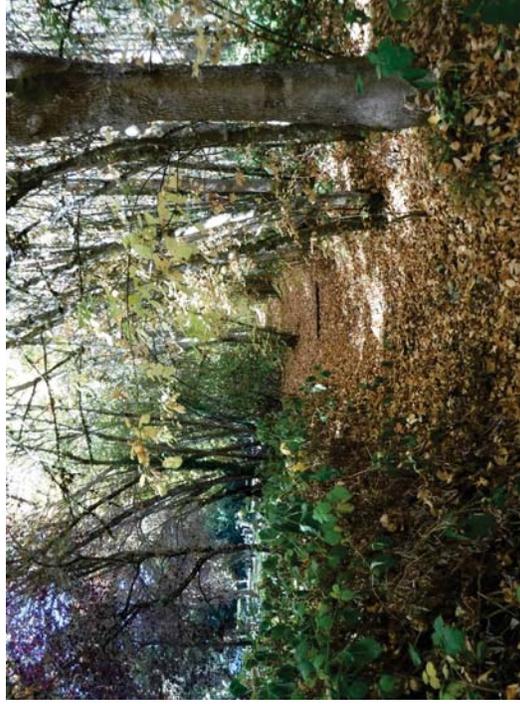


Photo H. View facing west of Wetland A



Photo I. View west at Plot 3 within Wetland A.



Photo J. View southwest of Plot 4.

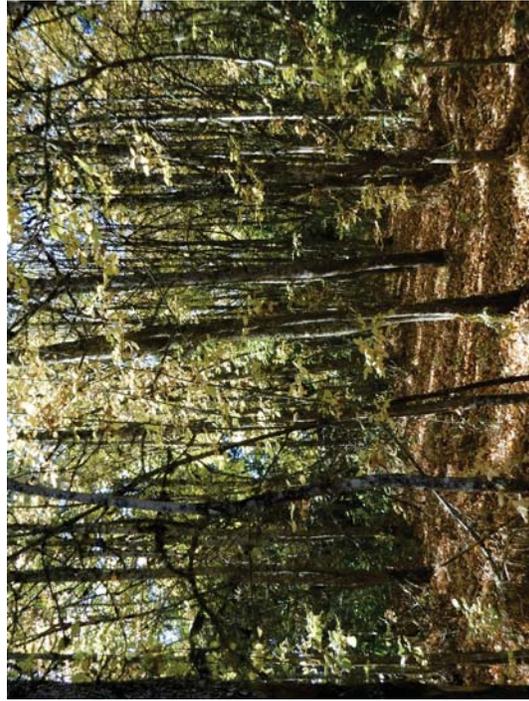


Photo K. View southwest within Wetland A of small Oregon ash grove.



Photo L. View facing southwest of Plot 5 within Wetland A.



Photo M. View facing southwest of Plot 6 at edge of Wetland A boundary.



Photo N. View east along Wetland A and proposed mitigation area.



Photo O. View facing west of upland field, Wetland A, and proposed mitigation area.



Photo P. View facing south of proposed mitigation area.

Attachment #9



Technical Memorandum

Limited Hydrogeological Evaluation

Colonia Paz
Linn County Parcel 211280
(12S02W23B TL 01701)
Lebanon, OR

July 22, 2020

Prepared for:



FHDC

A Home is Just the Beginning

Attn: Claudia Cantu
1274 5th Street, Suite 1-A
Woodburn, OR 97071

Prepared by:



Offices in Portland and Bend, Oregon / San Rafael, California
P.O. Box 14488, Portland, Oregon 97293
T. 503-452-5561 / E. ENW@EVREN-NW.com

Project No. 382-18001-04

Technical Memorandum
Limited Hydrogeologic Evaluation

Colonia Paz
Linn County Parcel 211280
(12S02W23B TL 01701)
Lebanon, Oregon

Prepared for:



Attn: Claudia Cantu
1274 5th Street, Suite 1-A
Woodburn, OR 97071

By:



Lynn D. Green, C.E.G., Principal Engineering Geologist



Erik RD Chapman, R.G., Senior Geologist

Contents

1.0	INTRODUCTION.....	1
1.1	Background	1
2.0	SITE SETTING.....	1
3.0	Review of Well Log Records	2
3.1	Water Well Records.....	2
3.2	Monitoring Well Records	3
4.0	Planned Storm Water Management (Future Development).....	4
5.0	Impact of Development on Ground Water Resources	4
6.0	Impact of Development on Wetland Areas	4
7.0	Conclusion.....	5
8.0	LIMITATIONS	5

Figures (after text)

1	Site Vicinity Map
2	Site Plan
3	Well Location Diagram

Attachments

A	Well Construction Reports
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Technical Memorandum Limited Hydrogeological Evaluation

Colonia Paz
Linn County Parcel 211280
(12S02W23B TL 01701)
Lebanon, Oregon

1.0 INTRODUCTION

This report presents the results of a limited hydrogeological evaluation conducted by EVREN Northwest, Inc. (ENW) at the site of the future Colonia Paz apartments on a portion of Linn County Parcel number 211280 in Lebanon, Oregon (see Figures 1 and 2). ENW understands that Farmworker Housing Development Corporation (FHDC) has requested this evaluation in response to public comments regarding potential effects on ground water quality in existing wells in the area and its impact on area wetlands.

1.1 Background

The subject property is identified by the Marion County Assessor's Office on tax map 12S02W23B as Tax Lot 1701 located in the SE quarter of the NW quarter of Section 23 of Township 12 South, Range 2 West, W.M. Surrounding properties are a mix of residential and commercial development in the south part of Lebanon, Oregon (see Figures 1 and 2).

ENW understands FHDC currently plans to develop a portion the subject property. This first phase of construction is planned for the southeastern corner of the site and amounts to just under two acres. Planned development includes an apartment building, paved parking, and common areas.

The City of Lebanon Community Development received written comments from the public in file AR20-05 through July 15, 2020 which have been shared and reviewed by the development team. This technical memorandum addresses issues strictly associated with potential impacts on nearby residents as they pertain to potential impacts to ground water and surface water resources.

2.0 SITE SETTING

The subject site is located within the US Geological Survey Lebanon, OR 7.5-minute quadrangle, at an approximate elevation of 360 feet above mean sea level (see Figure 1). The triangularly-shaped 9.51-acre property borders the north side of Lebanite Drive and is comprised of grass- and tree-covered land. The property is generally level, and the vicinity slopes very gently to the northeast toward Cheadle Lake. Site features are presented on the Site Plan on Figure 2.

The US Department of Agriculture Natural Resources Conservation Service Soil Survey of Linn County has mapped surface soils at the subject property as Clackamas gravelly silt loam. The typical soil profile consists of an upper 12 inches of gravelly silt loam, underlain by up to 48 inches of gravelly silty clay loam, and extremely gravelly clay loam.

The underlying geology beneath the subject area is described as lacustrine and fluvial basin-fill sediments of the Willamette Valley. In the Lebanon area, sediments have been derived from deposits from Eastern Idaho and Montana emplaced by floodwaters of the Missoula Floods (Willamette Silt). These deposits are underlain by sands and gravels of Cascade Range provenance, some of which were deposited as fluvial "fan deposits" by rivers. Large variations in sediment textures, mineralogy and grain size are attributed to Lebanon's position relative to "fan deposits," which deposit coarser materials near the slopes of origin and finer grained deposits further away from the source areas. Ground water beneath Lebanon occurs within the upper 100 to 200 feet of basin-fill sediments and provides water to numerous wells in the area.

A recent wetland delineation has identified a 0.53-acre wetland area within the 9-acre site. Other potential wetland areas within the subject site were determined to be manmade depressions and not directly hydraulically connected to adjacent wetland areas or nearby waters.¹ It is our understanding that the delineated 0.53-acre wetland area will be preserved during site development. The 1.93-acre Kingsley Wetland borders the site to the south.

The closest surface water body is an oxbow lake associated with the ancient Santiam River named Cheadle Lake, located approximately 0.25 miles to the east. The Santiam River is approximately ¾-miles east of the site.

3.0 Review of Well Log Records

To identify ground-water use in the area and to research local hydrostratigraphy, ENW searched available drillers' records of water wells and monitoring wells maintained by the Oregon Water Resources Department (OWRD). See Figure 3 for locations of select water wells and monitoring wells identified during the search.

3.1 Water Well Records

The OWRD lists 208 water well records within the same township, section, and range as the site. Results of this search indicate ground water is used extensively for domestic purposes as well as for irrigation and industrial use. The nearest wells to the site are all domestic wells and are summarized below in Table 1.

¹ AKS Engineering and Forestry. November 26, 2018. Wetland Delineation. Colonia Paz Housing Complex.

Table 1. Summary of Nearest Domestic Wells

Well Cty	Well No.	Name	Address of Well	Depth of First Water (feet bgs)	Depth Drilled (feet bgs)	Depth Water-Bearing Unit (feet bgs)	Static WL (feet bgs)	Max Yield (gpm)
LINN	14761	SCHEELE	455 CASCADE DR	39	59	39-59' (depth drilled)	12	150
LINN	8219	LADY	625 WAGON WHEEL DRIVE	---	58	48-58' (depth drilled)	24	20
LINN	53002	KENNEDY	3780 S SANTIAM HWY	42	50	42-46'	7	20
LINN	56389	RIES	WAGON WHEEL DR	42	83	43-83' (depth drilled)	16	40
LINN	61510	WALL	780 WAGON WHEEL DR	25	70	25-40' 50-70' (depth drilled)	16	30

A review of the closest water well records indicate wells draw water from depths of 39 to 83 feet bgs. The deepest well in the area is the Ries well, located on Wagon Wheel Drive south of the proposed development site. Well driller's notes describe the water-bearing zone in all of the closest wells as unconsolidated to indurated (i.e., cemented) sands and gravels. Maximum yields of the productive aquifer ranged from 20 to 150 gallons per minute.

In all of the closest well logs, driller's notes describe a confining unit above the regional aquifer. This confining unit consists of relatively fine-grained deposits, which are less porous and transmit less water and creates hydrostatic pressure in the productive aquifer below (confining head pressure). Confining conditions are reflected in elevated static water levels in completed wells in response to this confining head pressure. Due to low hydraulic conductivity of overlying sediments, the regional aquifer receives little recharge from surface infiltration, but rather is replenished from infiltration over a larger area, such as portions of Santiam River and from the foothills of the Cascades to the east.

3.2 Monitoring Well Records

ENW's search identified 13 monitoring wells, the details of which are presented in Table 2.

Table 2. Monitoring Well Details

Well No.	Depth to First Water (feet bgs)	Depth Drilled (feet bgs)	Static Water Level (feet bgs)	Monitoring Well Address	Max Yield (gpm)
LINN4379	4	10	4	3092 S SANTIAM HIGHWAY	
LINN4380	5	10	4.5	3092 S SANTIAM HIGHWAY	
LINN4381	5	10	5	3092 S SANTIAM HIGHWAY	
LINN14528	6	20	10	3029 S SANTIAM HWY	
LINN14529	10	20	10	3029 S SANTIAM HWY	
LINN14530	7	20	10	3029 S SANTIAM HWY	
LINN8120	38	40	15	3092 S SANTIAM HWY	10
LINN53707	9	19	9	3510 S SANTIAM	
LINN53708	9	19	9	3510 S SANTIAM	
LINN53709	6	19	6	3510 S SANTIAM	
LINN57043		20	10	3029 S SANTIAM HWY	
LINN57044			10	3029 S SANTIAM HWY	
LINN57045		20	10	3029 S SANTIAM HWY	

Monitoring wells are typically used for shallow aquifer assessments and therefore tend to report any ground water encountered, including shallow, unconfined ground water and perched water

tables. Accordingly, most monitoring wells nearby are drilled to total depths of between 10 and 20 feet bgs (with one exception). First water was encountered in most monitoring wells at depths ranging from 4 to 10 feet bgs, which are consistent with shallow ground water depths encountered at the subject site during recent geotechnical investigations. In all but the deepest monitoring well, static water levels suggest unconfined conditions (no confining head pressure). Ground-water yields within the shallow, unconfined water-bearing unit is on the order of 10 gpm (see LINN 8120).

The monitoring well data suggests the presence of a shallow water table near the ground surface. The shallow “perched” water-bearing unit typically occurs when surface water such as precipitation infiltrates vertically downward through relatively porous near-surface sediments until vertical movement is impeded by non-porous sediment layers. Accumulation of “perched” infiltrating water by definition lies above the regional aquifer. The shallow water table is generally unconfined and affected by seasonal changes in local precipitation. Shallow ground water may be expressed at the surface and is likely in hydraulic connection with nearby wetland areas.

4.0 Planned Storm Water Management (Future Development)

Based on discussions with our Client, it is our understanding that storm-water flow generated at the planned development will be infiltrated into the ground utilizing infiltration swales and other structures. These swales will be constructed as pre-treatment water-quality facilities using bioretention soil and appropriate vegetation (swales) and other pre-treatment technologies, such as catch basin that can remove oil, grease and other floating material as well as sediment, will be installed and maintained by the owner, following a Storm Water Management Plan. This plan will include regular inspections as part of regular operation and maintenance.

5.0 Impact of Development on Ground Water Resources

Concern has been expressed by area residents that site development may inhibit the quality or quantity of well water in the area. As suggested in a review of available nearby water well logs, nearby wells derive their water from a regional ground water aquifer at depths and that are hydraulically separated from overlying perched ground water and local infiltration. The regional aquifer covers a broad geographic area and is likely recharged from areas distal to the site. Very little if any replenishment of the aquifer is from surface infiltration near the proposed project development site. Based on these hydrogeologic characteristics, the potential impact of development on aquifer recharge, water availability and well water quality is not significant.

6.0 Impact of Development on Wetland Areas

Another comment was related to the development’s potential impact on wetlands within the proposed development site. As indicated, the proposed development has one delineated wetland area with additional adjacent wetland areas. The wetland areas are conservatively considered to be in hydraulic connection with the shallow, perched water table and therefore, may be partially sustained by hydraulic contributions by the shallow ground water system.

As outlined in Section 4.0, surface water recharge to wetlands will be maintained by diverting all storm water falling on hardscape surfaces (paved areas and roofs) to a water quality infiltration structures. These features gather the storm water, treat it for potential contaminants (i.e., oil and grease, suspended solids and other pollutants that are typical of parking lot runoff), and infiltrate the treated storm water into the subsurface. Since storm water system will be regularly monitored, inspected and maintained under an approved Storm Water Management Plan, the potential impact of development on shallow ground-water hydrology is not significant.

7.0 Conclusion

Based on our review of available information, it is our opinion that:

- The presence of low-porosity strata above the regional ground water aquifer, the broad occurrence of the regional aquifer, and substantial area from which ground water sources are replenished, the proposed development is not anticipated to adversely impact ground water quality or availability.
- The planned storm water treatment and management will employ engineered means of pre-treating and infiltrating storm water into the subsurface, and therefore replenish shallow ground water hydrology to the adjacent and other local wetland areas nearby.

8.0 LIMITATIONS

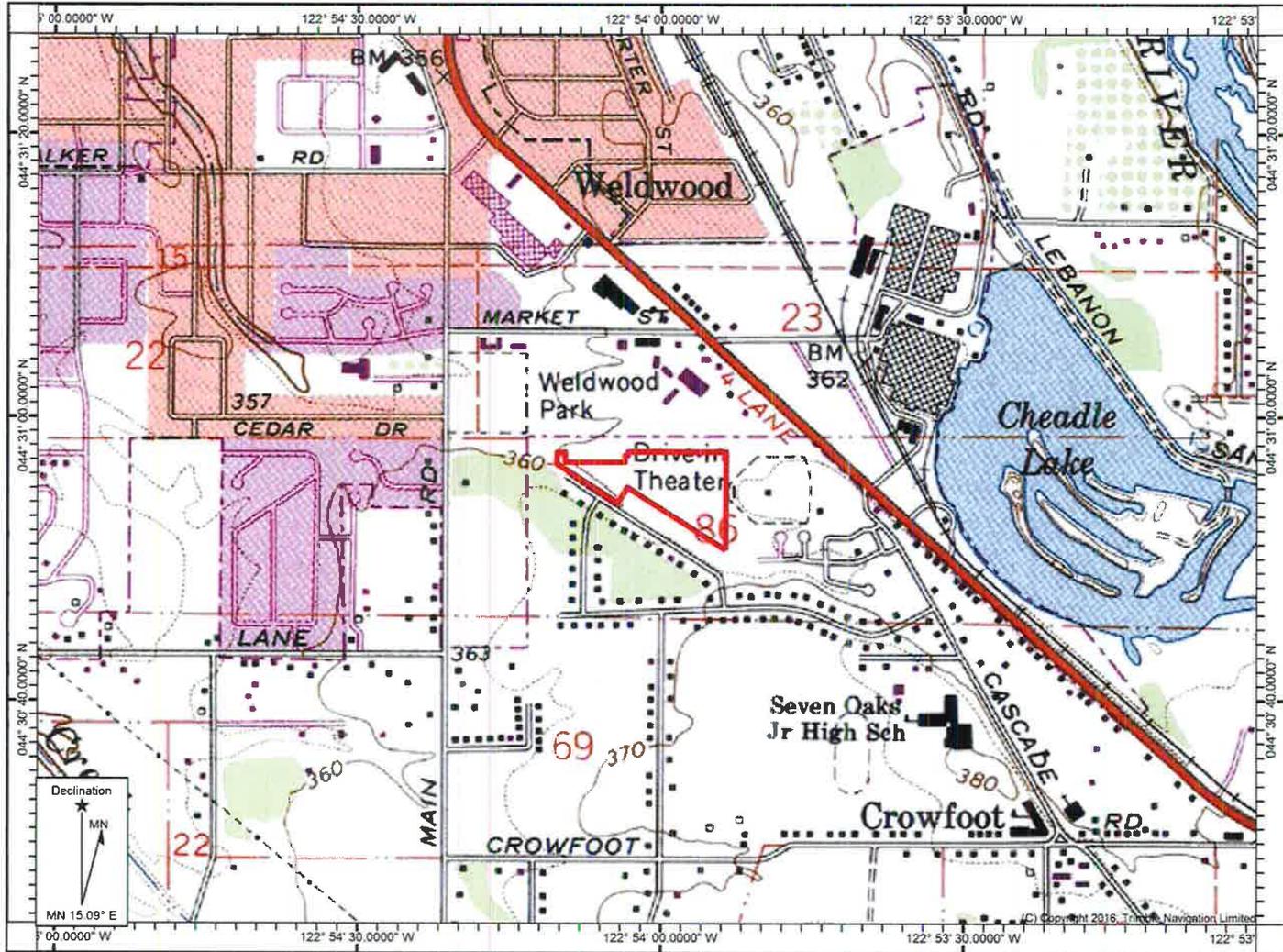
The scope of this Technical Memorandum is limited to observations made during previous on-site work; interviews with knowledgeable sources; and review of readily available published and unpublished reports and literature. As a result, these conclusions are based on information supplied by others as well as interpretations by qualified parties.

No subsurface exploration has been performed in conducting this assessment, and detailed mapping has not been completed. Figures and findings presented herein are based on limited site reconnaissance. Conclusion and recommendation presented in this assessment were prepared in accordance with generally accepted professional geologic engineering principals and practice. We make no warranty, either express or implied.

We have performed our services for this project in accordance with our agreement and understanding with the Client. This document and the information contained herein have been prepared solely for the use of the Client. We have performed this study under a limited scope of services per our agreement. It is possible, despite the use of reasonable care and interpretation that we may have failed to identify the presence of geological hazards other than those specifically mentioned in this assessment. We assume no responsibility for conditions that we did not specifically evaluate, or conditions that were not generally recognized at the time this report was prepared.

FIGURES





Name: LEBANON
Date: Jan 1, 1986

Location: 044° 30' 55.7269" N, 122° 54' 01.4074" W
Contour Interval: 10 ft



Date Drawn: 12/10/2018
CAD File Name: 382-18001-fig1sv_map(v01)
Drawn By: JOB
Approved By: LDG

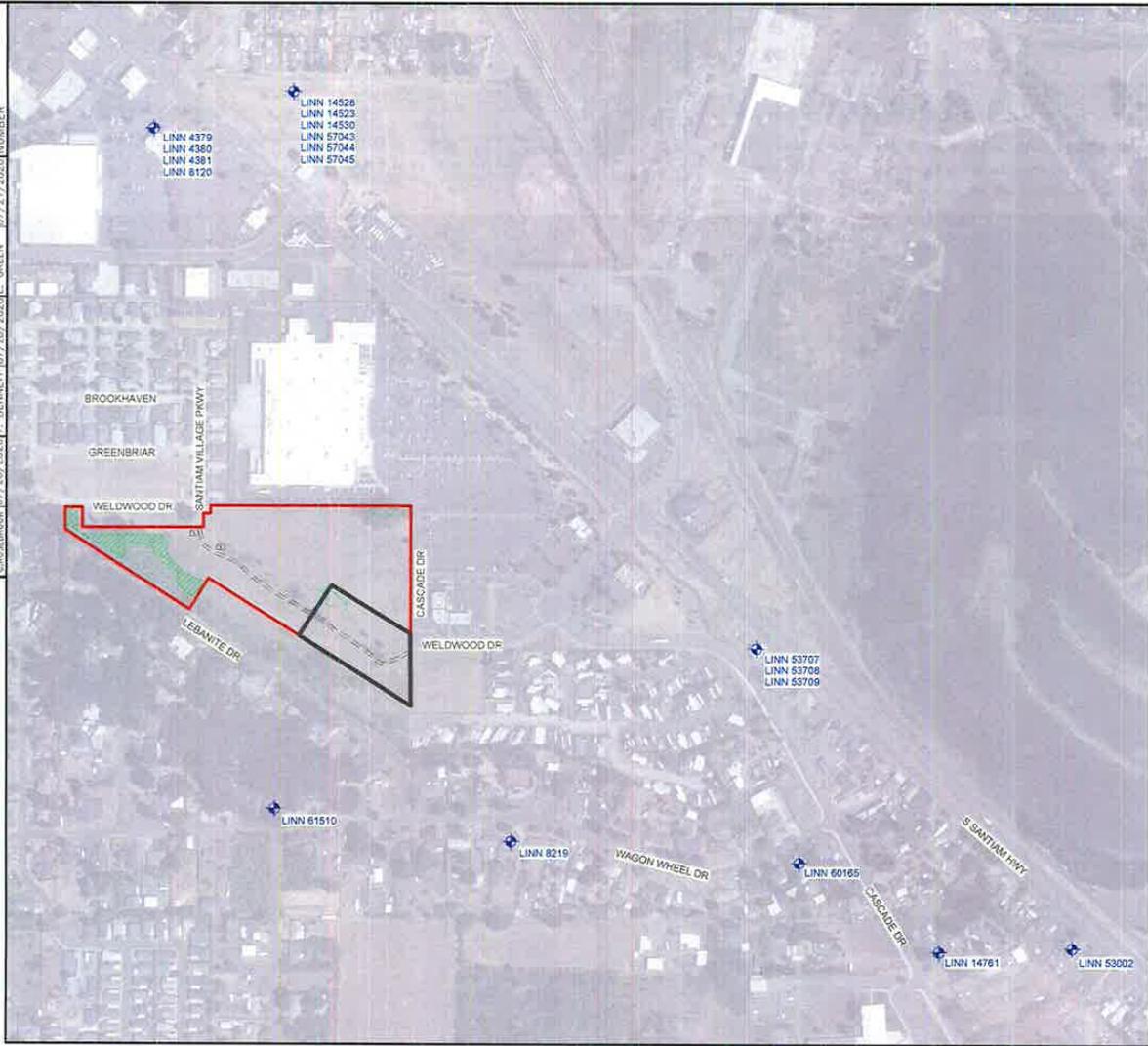
Colonial Paz
T12S R2W S23B TL 1701
Lebanon, Oregon

Site Vicinity Map

Project No.
382-18001
Figure No.
1

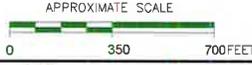


DRAWN BY: CROSSBROOK (07/20/2020) | CHECKED BY: BENNETT (07/20/2020) | APPROVED BY: GREEN (07/21/2020) | DRAWING NUMBER: 382-18001(v01)



- LEGEND:**
- SUBJECT PROPERTY BOUNDARIES
 - PROPOSED DEVELOPMENT AREA (APPROXIMATE)
 - WETLAND AREA DELINEATED IN 1996
 - WETLAND MITIGATION AREA IN 1996
 - ◆ OFFSITE WELL LOCATIONS

- NOTES:**
1. BASE MAP DEVELOPED FROM AN AERIAL PHOTOGRAPH MAP DATED 2017 AND ENW FIELD NOTES.
 2. ALL BUILDING, STREET, AND FEATURE LOCATIONS ARE APPROXIMATE.
 3. SYMBOLS REPRESENT LOCATION AND DO NOT ALWAYS REPRESENT EXACT SHAPE, SIZE, OR ORIENTATION.
 4. WETLANDS DISPLAYED ARE BASED ON A MAP BY USSELL ENGINEERING AND STATES THAT "THE DELINEATION THAT DETERMINED THE ILLUSTRATED WETLAND LIMITS HAS EXPIRED" AND THEY MAKE NO CLAIM TO REPRESENT THE ACCURACY OF THEIR MAP. THEY ALSO RECOMMENDED THAT A NEW WETLAND DELINEATION BE PERFORMED TO ACCURATELY DETERMINE THE LIMIT OF WETLANDS THAT MAY EXIST ON THE PROPERTY AT THAT TIME.





PO BOX 14488, PORTLAND, OREGON 97293
 P: (503)452-5561, E: ENW@EVREN-NW.COM

FIGURE 3
WELL LOCATION DIAGRAM
 COLONIA PAZ
 T12S R2W S23B TL 1701
 LEBANON, OREGON

ATTACHMENT A
WELL REPORTS

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LINN
14761

OCT - 9 1995

12S/02W/23DB

STATE OF OREGON
WATER WELL REPORT
(as required by ORS 537.765)

WATER RESOURCES DEPT. (START CARD) # 83618
SALEM, OREGON

Instructions for completing this report are on the last page of this form.

(1) OWNER: Well Number DR-1034

Name Don Scheele
Address 455 CASCAZ DR.
City LEBANON State ORE Zip 97335

(2) TYPE OF WORK
 New Well Deepening Alteration (repair/recondition) Abandonment

(3) DRILL METHOD:
 Rotary Air Rotary Mud Cable Auger
 Other

(4) PROPOSED USE:
 Domestic Community Industrial Irrigation
 Thermal Injection Livestock Other

(5) BORE HOLE CONSTRUCTION:
Special Construction approval Yes No Depth of Completed Well 59 ft.
Explosives used Yes No Type Amount

HOLE			SEAL				
Diameter	From	To	Material	From	To	Sacks or pounds	
10"	0	21	BENTONITE	0	21	11 SACKS	
6"	21	59					

How was seal placed: Method A B C D E
 Other Course Dry
Backfill placed from ft. to ft. Material
Gravel placed from ft. to ft. Size of gravel

(6) CASING/LINER:

Diameter	From	To	Gauge	Steel	Plastic	Welded	Threaded
Casing: 6"	+1	59	1250	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Liner:				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Final location of shoe(s) 59'

(7) PERFORATIONS/SCREENS:

Perforations Method HOLTE
 Screens Type SLOT Material STEEL

From	To	Slot size	Number	Diameter	Tele/pipe size	Casing	Liner
48	58	1 x 1/4	250	6"		<input checked="" type="checkbox"/>	<input type="checkbox"/>

(8) WELL TESTS: Minimum testing time is 1 hour

Yield gal/min	Drawdown	Drill stem at	Time
150+		55'	1 hr.

Temperature of water 53° Depth Artesian Flow Found
Was a water analysis done? Yes By whom
Did any strata contain water not suitable for intended use? Too little
 Salty Muddy Odor Colored Other
Depth of strata:

(9) LOCATION OF WELL by legal description:
County LINN Latitude Longitude
Township 12 or Range 2 of WM.
Section 23 SE 1/4 NW 1/4
Tax Lot 3401 Lot Block Subdivision
Street Address of Well (or nearest address) SAME

(10) STATIC WATER LEVEL:
12 ft. below land surface. Date 9-26-95
Artesian pressure lb. per square inch. Date

(11) WATER BEARING ZONES:
Depth at which water was first found 39'

From	To	Estimated Flow Rate	SWL
39	59	150 + gpm	72'

(12) WELL LOG:
Ground Elevation

Material	From	To	SWL
TOP SOIL	0	2	
CLAY-BROWN w/ GRAVEL	2	16	
CLAY-BROWN	16	39	
SAND w/ GRAVEL	39	46	12'
GRAVEL	46	59	12'

Date started 9-26-95 Completed 9-26-95

(unbonded) Water Well Constructor Certification:
I certify that the work I performed on the construction, alteration, or abandonment of this well is in compliance with Oregon water supply well construction standards. Materials used and information reported above are true to the best of my knowledge and belief.

WWC Number 1281
Signed Gale Aasenathy Date 9-27-95

(bonded) Water Well Constructor Certification:
I accept responsibility for the construction, alteration, or abandonment work performed on this well during the construction dates reported above. All work performed during this time is in compliance with Oregon water supply well construction standards. This report is true to the best of my knowledge and belief.

WWC Number 664
Signed Charles P. Lucht Date 9-27-95

ORIGINAL & FIRST COPY-WATER RESOURCES DEPARTMENT SECOND COPY-CONSTRUCTOR THIRD COPY-CUSTOMER

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LINN
53002

FEB 10 2000

STATE OF OREGON
WATER SUPPLY WELL REPORT
(as required by ORS 537.765)

WATER RESOURCES DEPT.
SALEM, OREGON

WELL I.D. # L 14320
START CARD # 128424

Instructions for completing this report are on the last page of this form.

(1) OWNER: Well Number 3446
Name Mary Kennedy
Address 3780 S Santiam Hwy
City Lebanon State Oregon Zip 97355

(2) TYPE OF WORK
 New Well Deepening Alteration (repair/recondition) Abandonment

(3) DRILL METHOD:
 Rotary Air Rotary Mud Cable Auger
 Other

(4) PROPOSED USE:
 Domestic Community Industrial Irrigation
 Thermal Injection Livestock Other

(5) BORE HOLE CONSTRUCTION:
Special Construction approval Yes No Depth of Completed Well 46 ft.
Explosives used Yes No Type _____ Amount _____

HOLE		SEAL		Sacks or pounds	
Diameter	From To	Material	From To		
10	0 140	Cement	0 40	17	sacks
6	40 45	Bore			

How was seal placed: Method A B C D E
 Other

Backfill placed from _____ ft. to _____ ft. Material _____
Gravel placed from _____ ft. to _____ ft. Size of gravel _____

(6) CASING/LINER:

Casing/Liner	Diameter	From To	Gauge	Material			
				Steel	Plastic	Welded	Threaded
Casing: <u>6</u>	<u>1</u>	<u>39</u> <u>250</u>	<u>250</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Liner: <u>NONE</u>				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Final location of shoe(s) NONE

(7) PERFORATIONS/SCREENS:

From To	Slot size	Number	Diameter	Material		Casing	Liner
				Tele/pipe size			
<u>NONE</u>							

(8) WELL TESTS: Minimum testing time is 1 hour
 Pump Bailer Air Artesian
Yield gal/min 20gpm Drawdown _____ Drill stem at 40 Time 1 hr.

Temperature of water 56 Depth Artesian Flow Found _____
Was a water analysis done? Yes By whom _____
Did any strata contain water not suitable for intended use? Too little
 Salty Muddy Odor Colored Other _____
Depth of strata: _____

(9) LOCATION OF WELL by legal description:
County Linn Latitude _____ Longitude _____
Township 12 N or S Range 2 E or W WM.
Section 23 SE 1/4 NW 1/4
Tax Lot 800 Lot _____ Block _____ Subdivision _____
Street Address of Well (or nearest address) 3780 S. Santiam Hwy Lebanon, OR 97355

(10) STATIC WATER LEVEL:
7 ft. below land surface. Date 1-27-00
Artesian pressure _____ lb. per square inch. Date _____

(11) WATER BEARING ZONES:
Depth at which water was first found 42

From	To	Estimated Flow Rate	SWL
<u>42</u>	<u>46</u>	<u>20gpm</u>	<u>7</u>

(12) WELL LOG:
Ground Elevation _____

Material	From	To	SWL
<u>Topsoil</u>	<u>0</u>	<u>1</u>	
<u>Brown clay & gravel</u>	<u>1</u>	<u>19</u>	
<u>Brown clay</u>	<u>19</u>	<u>30</u>	
<u>Brown clay & gravel</u>	<u>30</u>	<u>42</u>	
<u>Cemented gravel</u>	<u>42</u>	<u>43</u>	
<u>Black brown sand</u>	<u>43</u>	<u>44</u>	
<u>sand & gravel</u>	<u>44</u>	<u>50</u>	<u>7</u>

Date started 1-26-2000 Completed 1-27-2000

(unbonded) Water Well Constructor Certification:
I certify that the work I performed on the construction, alteration, or abandonment of this well is in compliance with Oregon water supply well construction standards. Materials used and information reported above are true to the best of my knowledge and belief.

WVC Number 1279
Signed Clayton Date 2-7-2000

(bonded) Water Well Constructor Certification:
I accept responsibility for the construction, alteration, or abandonment work performed on this well during the construction dates reported above. All work performed during this time is in compliance with Oregon water supply well construction standards. This report is true to the best of my knowledge and belief.

WVC Number 514
Signed Bob Jones Date 2-7-2000

STATE OF OREGON
WATER SUPPLY WELL REPORT
 (as required by ORS 537.765)

(WELL I.D.) # **L 74190**
 (START CARD) # **171900**

Instructions for completing this report are on the last page of this form.

(1) OWNER: Well Number **4017**
 Name **Kenneth & Patricia Ries**
 Address **61 H Street**
 City **Lebanon** State **Oregon** Zip **97355**

(2) TYPE OF WORK
 New Well Deepening Alteration (repair/recondition) Abandonment

(3) DRILL METHOD:
 Rotary Air Rotary Mud Cable Auger
 Other

(4) PROPOSED USE:
 Domestic Community Industrial Irrigation
 Thermal Injection Livestock Other

(5) BORE HOLE CONSTRUCTION:
 Special Construction approval Yes No Depth of Completed Well **83** ft.
 Explosives used Yes No Type _____ Amount _____

HOLE		SEAL			
Diameter	From To	Material	From To	Sacks or pounds	
10	20	Bentonite	0 20	16 sacks	
6	20 83				

How was seal placed: Method A B C D E
 Other **Poured dry**
 Backfill placed from _____ ft. to _____ ft. Material _____
 Gravel placed from _____ ft. to _____ ft. Size of gravel _____

(6) CASING/LINER:

Diameter	From	To	Gauge	Steel	Plastic	Welded	Threaded
Casing: 6	+1	49	250	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Liner:				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

(7) PERFORATIONS/SCREENS:

From	To	Slot size	Number	Diameter	Material	Tele/pipe size	Casing	Liner
							<input type="checkbox"/>	<input type="checkbox"/>

(8) WELL TESTS: Minimum testing time is 1 hour

Yield gal/min	Drawdown	Drill stem at	Time
40		83	1 hr.

Temperature of water **55** Depth Artesian Flow Found _____
 Was a water analysis done? Yes By whom _____
 Did any strata contain water not suitable for intended use? Too little
 Salty Muddy Odor Colored Other _____
 Depth of strata: _____

(9) LOCATION OF WELL by legal description:
 County **Linn** Latitude _____ Longitude _____
 Township **12** S Range **2** W WM.
 Section **23** SE 1/4 NW 1/4
 Tax Lot **2000** Lot _____ Block _____ Subdivision _____
 Street Address of Well (or nearest address) **Wagon Wheel Dr.**
Lebanon, OR 97355

(10) STATIC WATER LEVEL:
16 ft. below land surface. Date **2/14/2005**
 Artesian pressure _____ lb. per square inch. Date _____

(11) WATER BEARING ZONES:

Depth at which water was first found **42**

From	To	Estimated Flow Rate	SWL
42	83	40 gpm	16

(12) WELL LOG:
 Ground Elevation _____

Material	From	To	SWL
Cemented clay & gravel	0	22	
Sand & gravel	22	30	
Cemented clay & gravel	30	42	
Cemented gravel	42	83	

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WATER RESOURCES DEPT
 SALEM, OREGON

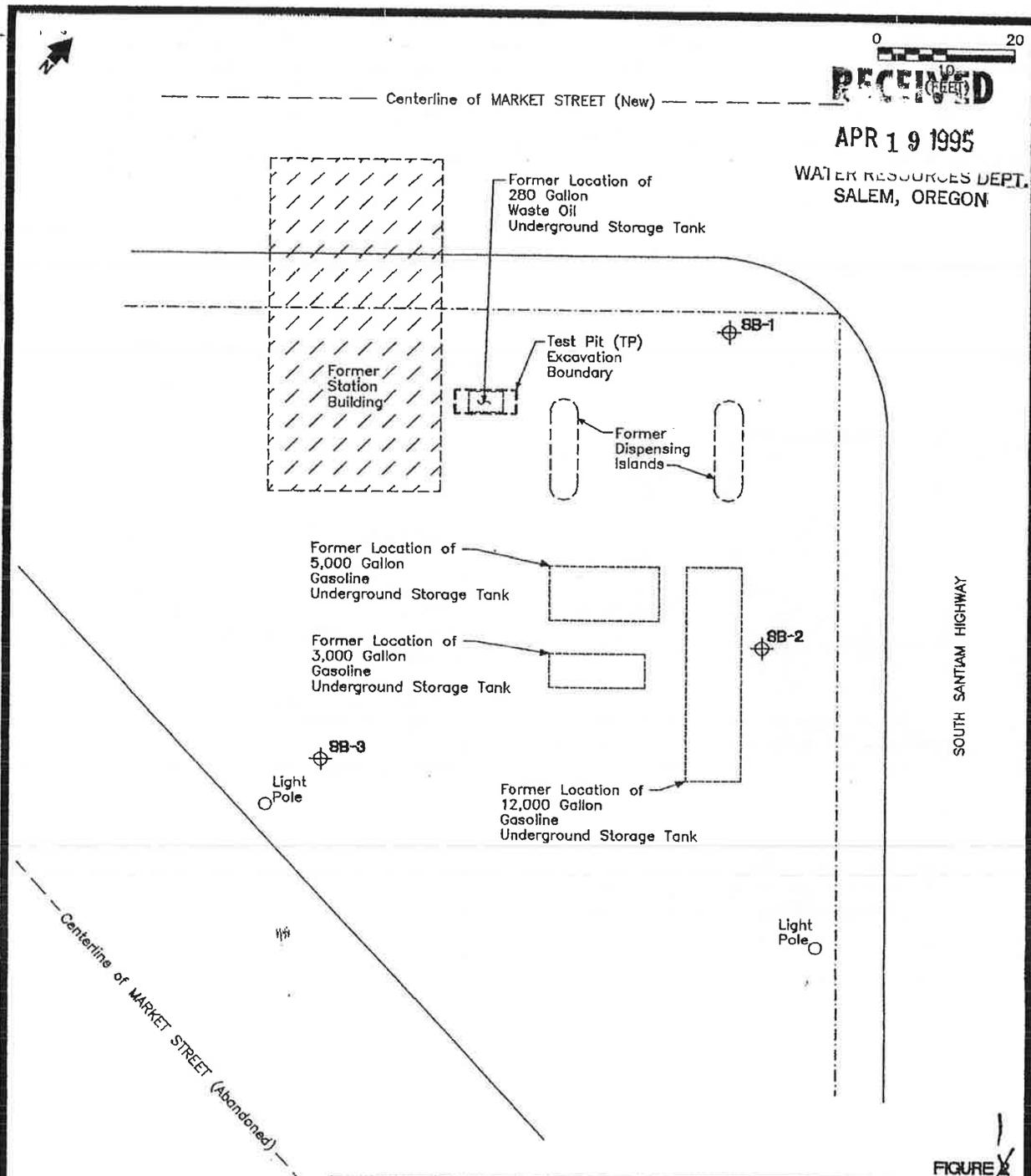
JONES DRILLING CO., INC.
 29400 SANTIAM HWY.
 LEBANON, OR 97355
 541-367-2560 541-451-2686
 1-800-915-8388

Date started **2/14/2005** Completed **2/14/2005**

(unbonded) Water Well Constructor Certification:
 I certify that the work I performed on the construction, alteration, or abandonment of this well is in compliance with Oregon water supply well construction standards. Materials used and information reported above are true to the best of my knowledge and belief.
 Signed *KAD* WWC Number **1411** Date **2/15/2005**

(bonded) Water Well Constructor Certification:
 I accept responsibility for the construction, alteration, or abandonment work performed on this well during the construction dates reported above. All work performed during this time is in compliance with Oregon water supply well construction standards. This report is true to the best of my knowledge and belief.
 Signed *Buttsony* WWC Number **1684** Date **2/15/2005**

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0 20
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 SALEM, OREGON

LEGEND

----- Property Line

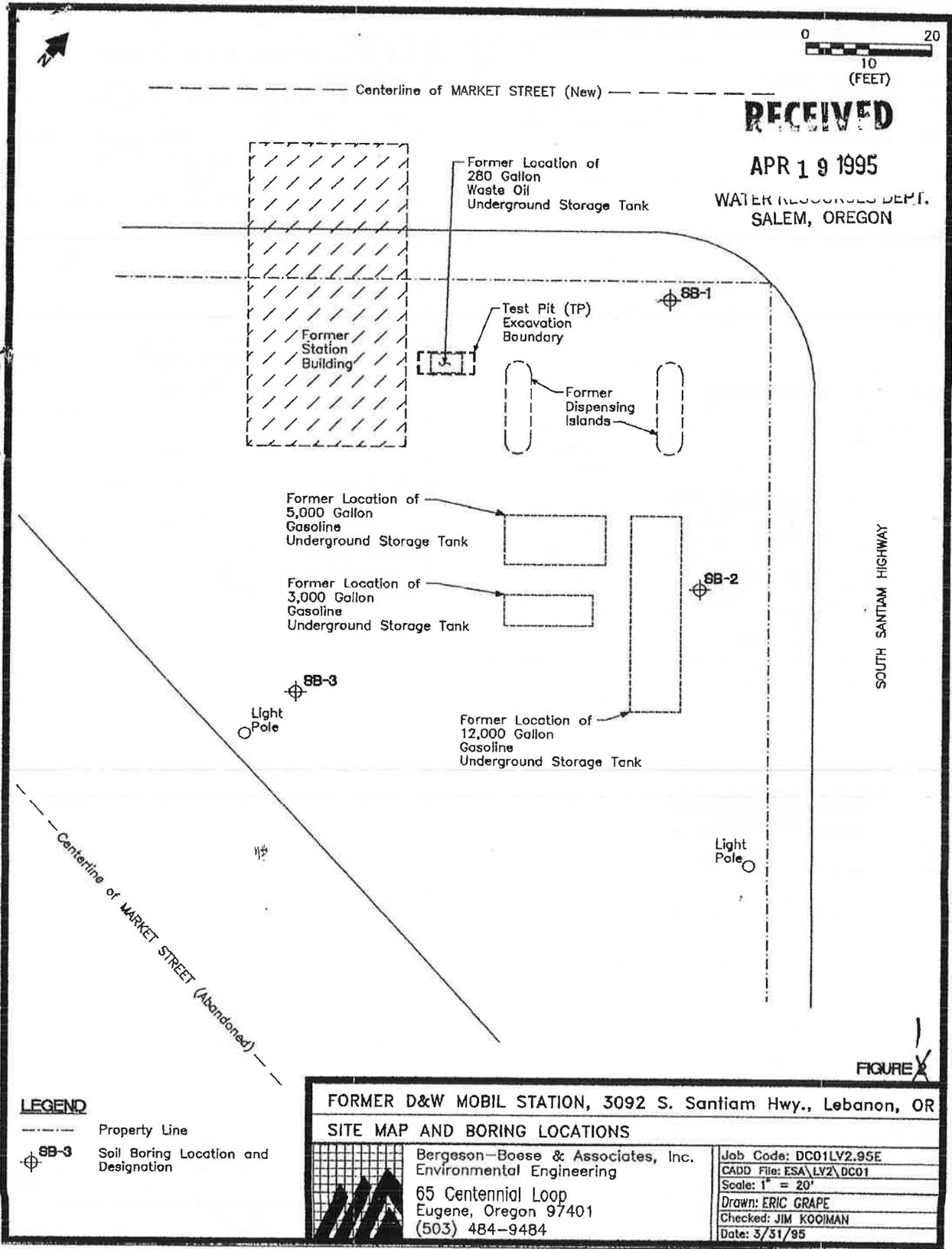
⊕ BB-3 Soil Boring Location and Designation

FORMER D&W MOBIL STATION, 3092 S. Santiam Hwy., Lebanon, OR

SITE MAP AND BORING LOCATIONS

	Bergeson-Boese & Associates, Inc.	Job Code: DC01LV2.95E
	Environmental Engineering	CADD File: ESA_LV2\DC01
	65 Centennial Loop	Scale: 1" = 20'
	Eugene, Oregon 97401	Drawn: ERIC GRAPE
	(503) 484-9484	Checked: JIM KOOMAN
		Date: 3/31/95

FIGURE 1



0 10 20
(FEET)

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WATER RESOURCES DEPT.
SALEM, OREGON

Centerline of MARKET STREET (New)

Former Station Building

Former Location of 280 Gallon Waste Oil Underground Storage Tank

Test Pit (TP) Excavation Boundary

Former Dispensing Islands

Former Location of 5,000 Gallon Gasoline Underground Storage Tank

Former Location of 3,000 Gallon Gasoline Underground Storage Tank

Former Location of 12,000 Gallon Gasoline Underground Storage Tank

Light Pole

Light Pole

Centerline of MARKET STREET (Abandoned)

SOUTH SANTIAM HIGHWAY

LEGEND

- Property Line
- ⊕ SB-3 Soil Boring Location and Designation

FORMER D&W MOBIL STATION, 3092 S. Santiam Hwy., Lebanon, OR

SITE MAP AND BORING LOCATIONS



Bergeson-Boese & Associates, Inc.
Environmental Engineering
65 Centennial Loop
Eugene, Oregon 97401
(503) 484-9484

Job Code: DC01LV2.95E
CADD File: ESA\LV2\DC01
Scale: 1" = 20'
Drawn: ERIC GRAPE
Checked: JIM KOOMAN
Date: 3/31/95

FIGURE 1

STATE OF OREGON
WATER WELL REPORT
 (as required by ORS 537.765)

Linn
 8120

12S/2W/23

(START CARD) # 917174

(1) OWNER: Well Number: _____
 Name Louis Schuyndt
 Address 38120 Weirich Dr
 City Sebanon State ore Zip 97353

(2) TYPE OF WORK:
 New Well Deepen Recondition Abandon

(3) DRILL METHOD
 Rotary Air Rotary Mud Cable
 Other _____

(4) PROPOSED USE:
 Domestic Community Industrial Irrigation
 Thermal Injection Other Monitoring

(5) BORE HOLE CONSTRUCTION:
 Special Construction approval Yes No Depth of Completed Well 40 ft.
 Explosives used Yes No Type _____ Amount _____

HOLE		SEAL		Amount sacks or pounds
Diameter	From To	Material	From To	
	6 0 40	Cement	15 40	5

How was seal placed: Method A B C D E
 Other _____

Backfill placed from _____ ft. to _____ ft. Material _____
 Gravel placed from _____ ft. to _____ ft. Size of gravel _____

(6) CASING/LINER:

	Diameter	From	To	Gauge	Steel	Plastic	Welded	Threaded
Casing:					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Liner:					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Final location of shoe(s) _____

(7) PERFORATIONS/SCREENS:
 Perforations Method _____
 Screens Type _____ Material _____

From	To	Slot size	Number	Diameter	Tele/pipe size	Casing	Liner
						<input type="checkbox"/>	<input type="checkbox"/>

(8) WELL TESTS: Minimum testing time is 1 hour
 Pump Bailer Air Flowing Artesian
 Yield gal/min 10 Drawdown _____ Drill stem at _____ Time 1 hr.

Temperature of water 54 Depth Artesian Flow Found _____
 Was a water analysis done? Yes By whom _____
 Did any strata contain water not suitable for intended use? Too little
 Salty Muddy Odor Colored Other _____
 Depth of strata: _____

(9) LOCATION OF WELL by legal description:
 County LINN Latitude _____ Longitude _____
 Township 12-S N or S, Range 2W E or W, WM.
 Section 23 $\frac{1}{4}$ _____ $\frac{1}{4}$ _____
 Tax Lot Lot no. 0211181 Block _____ Subdivision HORN
 Street Address of Well (or nearest address) 3092-S Highway

(10) STATIC WATER LEVEL:
 _____ 15 ft. below land surface. Date 10-14-89
 Artesian pressure _____ lb. per square inch. Date _____

(11) WATER BEARING ZONES:
 Depth at which water was first found 38

From	To	Estimated Flow Rate	SWL
<u>38</u>	<u>40</u>	<u>10 gal/min</u>	

(12) WELL LOG: Ground elevation _____

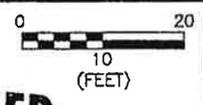
Material	From	To	SWL
<u>Sand + gravel pebbles</u>	<u>0</u>	<u>18</u>	
<u>Yellow Clay</u>			
<u>Yellow Clay</u>	<u>18</u>	<u>22</u>	
<u>Sand + gravel yellow</u>	<u>22</u>	<u>26</u>	
<u>Clay Hard</u>			
<u>Yellow Clay gravel</u>	<u>26</u>	<u>29</u>	
<u>Clay Blue</u>	<u>29</u>	<u>34</u>	
<u>Clay Yellow</u>	<u>34</u>	<u>38</u>	
<u>Clay yellow + gravel</u>	<u>38</u>	<u>40</u>	
<u>+ Water</u>			

Pulled casing out of well

Date started 10-9-89 Completed 11-11-89

(unbonded) Water Well Constructor Certification:
 I certify that the work I performed on the construction, alteration, or abandonment of this well is in compliance with Oregon well construction standards. Materials used and information reported above are true to my best knowledge and belief.
 Signed Robert E. White WWC Number 121
 Date 11-12-89

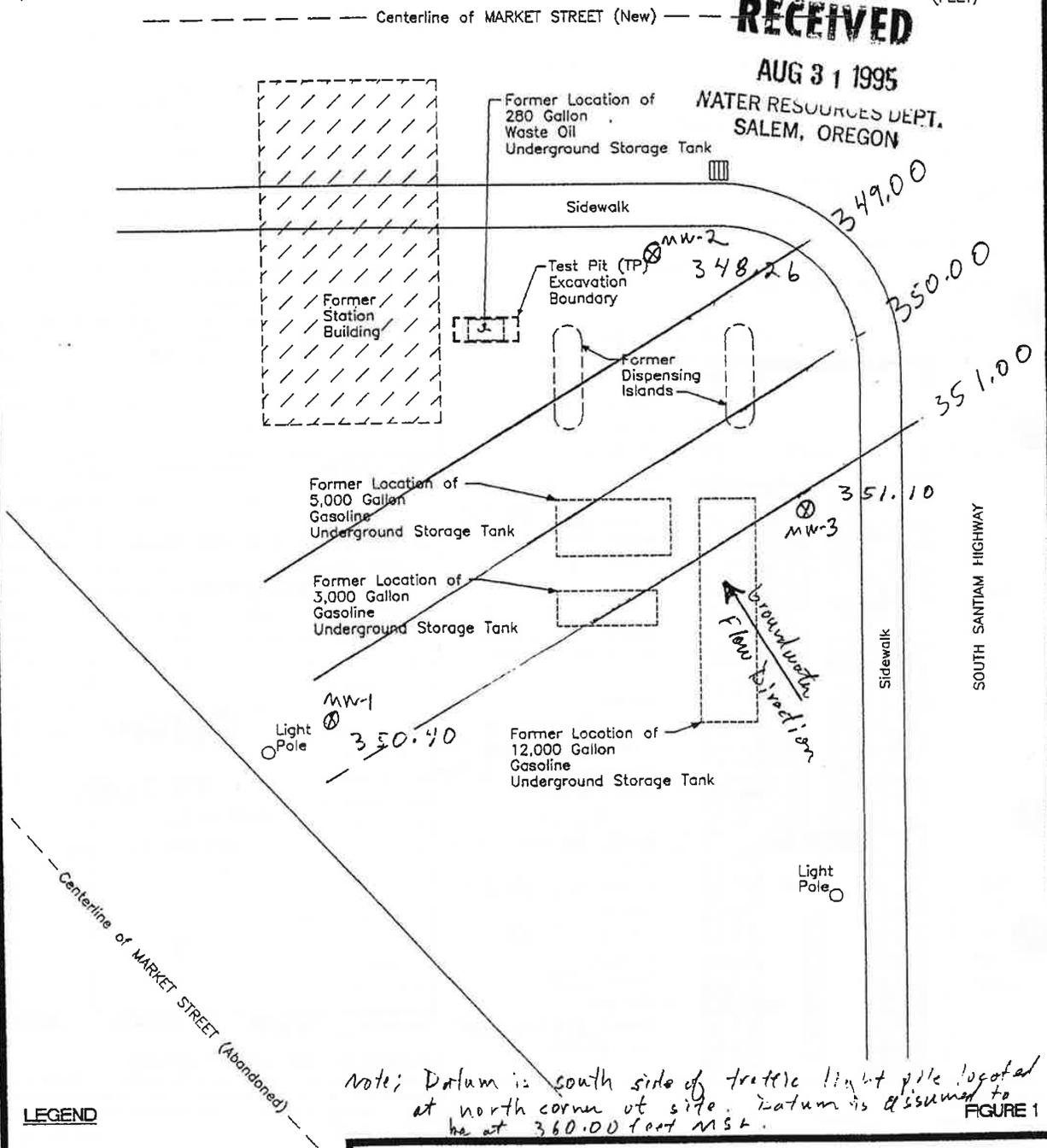
(bonded) Water Well Constructor Certification:
 I accept responsibility for the construction, alteration, or abandonment work performed on this well during the construction dates reported above. All work performed during this time is in compliance with Oregon well construction standards. This report is true to the best of my knowledge and belief.
 Signed Robert E. White WWC Number 121
 Date 11-12-89



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AUG 31 1995

**WATER RESOURCES DEPT.
SALEM, OREGON**

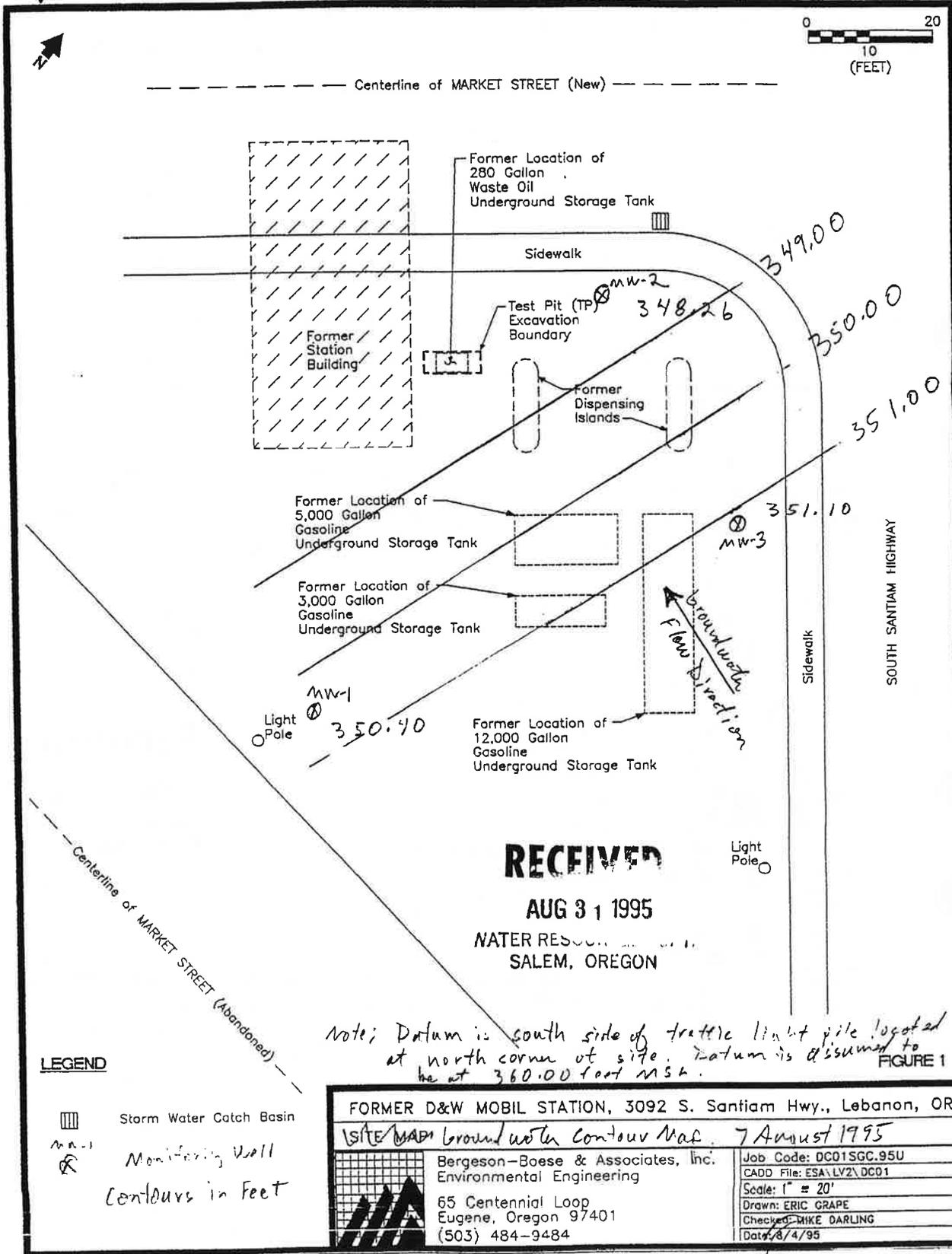


Note: Datum is south side of traffic light pole located at north corner of site. Datum is assumed to be at 360.00 feet MSL.

LEGEND

-  Storm Water Catch Basin
-  MW-1
Monitoring Well
-  Contours in Feet

FORMER D&W MOBIL STATION, 3092 S. Santiam Hwy., Lebanon, OR	
<i>SITE MAP Groundwater Contour Map, 7 August 1995</i>	
	Bergeson-Boese & Associates, Inc. Environmental Engineering
	65 Centennial Loop Eugene, Oregon 97401 (503) 484-9484
	Job Code: DC01SGC.95U
	CADD File: ESA\LV2\DC01
Scale: 1" = 20'	
Drawn: ERIC GRAPE	
Checked: MIKE DARLING	
Date: 8/4/95	



STATE OF OREGON
MONITORING WELL REPORT
 (as required by ORS 537.765 & OAR 690-240-095)

LINN
14530

DC01SGC.95U

125/20/23 BB

Start Card # **W-80272**

Instructions for completing this report are on the last page of this form.

(1) **OWNER/PROJECT:** WELL NO. **MJ-1**
 Name **Louis Schwindt**
 Address **740 16th Street**
 City **Lebanon** State **OR** Zip **97355**

(2) **TYPE OF WORK:**
 New construction Alteration (Repair/Recondition)
 Conversion Deepening Abandonment

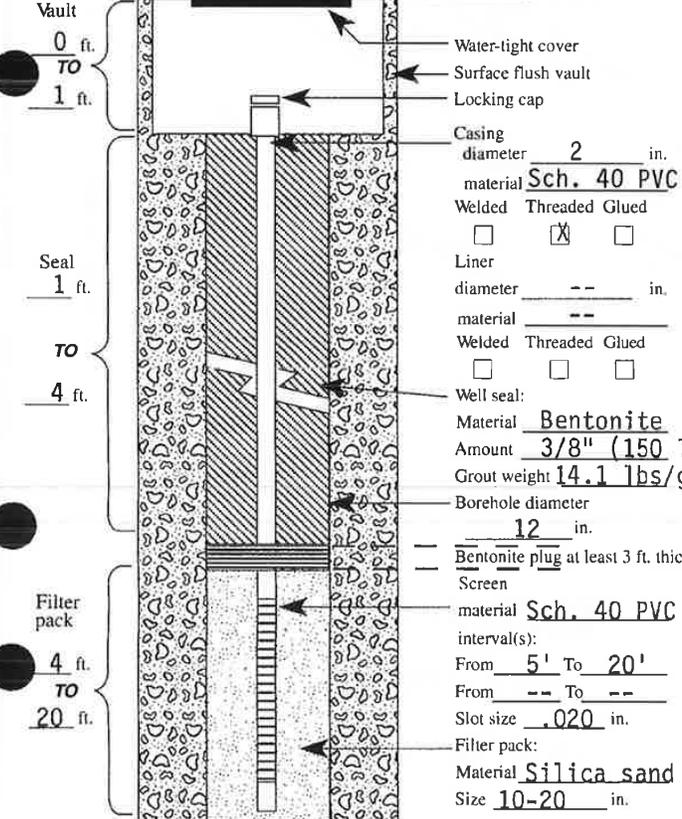
(3) **DRILLING METHOD**
 Rotary Air Rotary Mud Cable
 Hollow Stem Auger Other _____

(6) **LOCATION OF WELL By legal description**
 Well Location: County **Linn**
 Township **T12S** (N of **S**) Range **R2W** (E of **W**) Section **23**
 1. **NW** 1/4 of **NW** 1/4 of above section.
 2. Either Street address of well location **3029 S. Santiam Hwy**
Lebanon, OR 97355
 or Tax lot number of well location **Unknown**

3. **ATTACH MAP WITH LOCATION IDENTIFIED. Map shall include approximate scale and north arrow.**

(7) **STATIC WATER LEVEL:**
10 Ft. below land surface. Date **7-28-95**
 Artesian Pressure **--** lb/sq. in. Date **--**

(4) **BORE HOLE CONSTRUCTION**
 Special Standards Yes No
 Depth of completed well **20** ft.
 Land surface



(8) **WATER BEARING ZONES:**
 Depth at which water was first found **6.5'**

From	To	Est. Flow Rate	SWL
6.5'	20'	1 gpm	--

(9) **WELLOG:** Ground elevation **360'**

Material	From	To	SWL
Dark brown silty clay w/gravels	0	6.5'	
Sandy gravel, brown w/cobbles, saturated.	6.5'	20'	

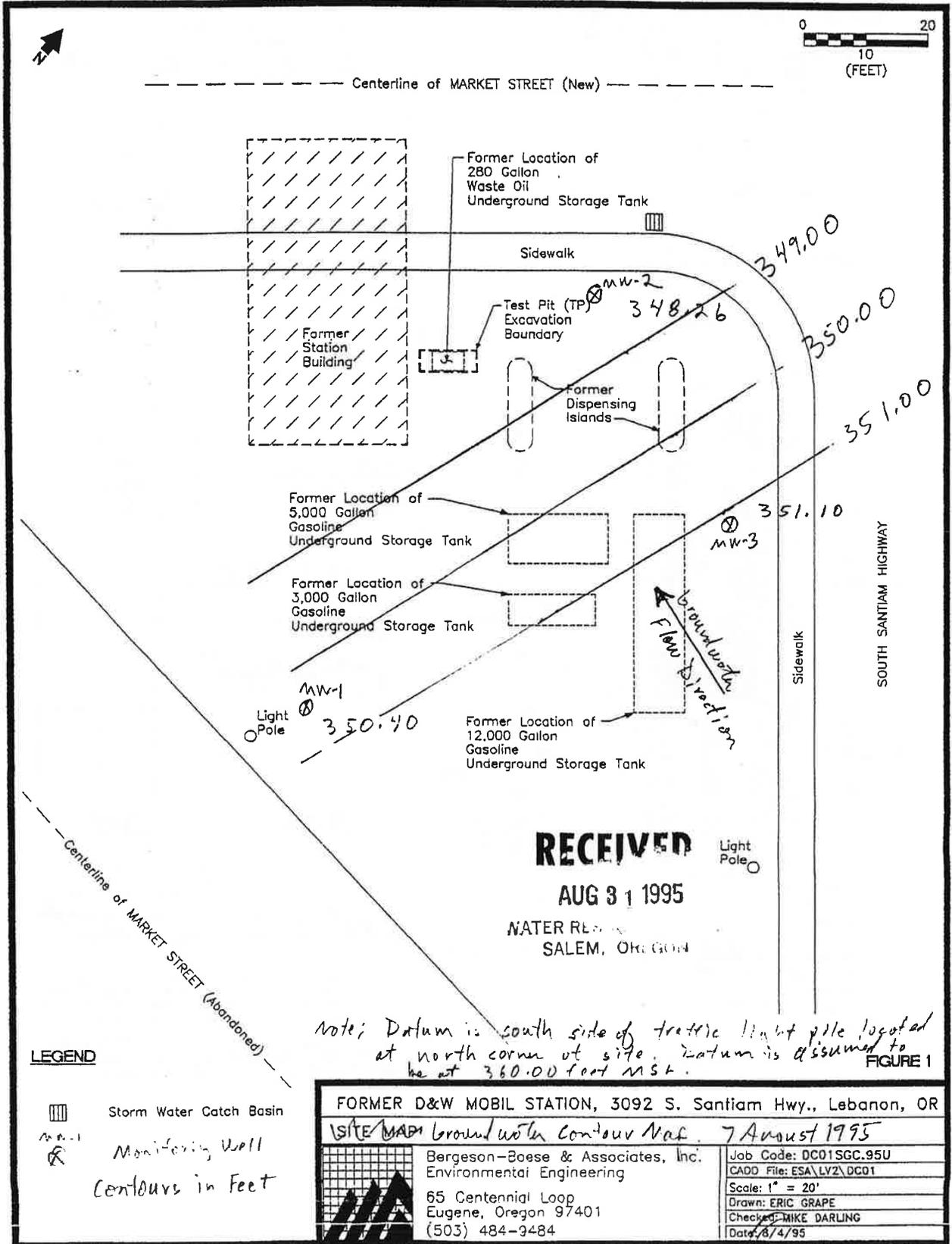
RECEIVED
AUG 31 1995
 WATER RESOURCES DEPT.
 SALEM, OREGON

(5) **WELL TEST:**
 Pump Bailer Air Flowing Artesian
 Permeability **--** Yield **--** GPM
 Conductivity **--** PH **--**
 Temperature of water **55** °F/C Depth artesian flow found **--** ft.
 Was water analysis done? Yes No
 By whom? **Pacific Northwest Laboratories**
 Depth of strata to be analyzed. From **5'** ft. to **20** ft.
 Remarks: _____

Name of supervising Geologist/Engineer **Michael Darling**
 ORIGINAL & FIRST COPY-WATER RESOURCES DEPARTMENT

(unbonded) Monitor Well Constructor Certification:
 I certify that the work I performed on the construction, alteration, or abandonment of this well is in compliance with Oregon well construction standards. Materials used and information reported above are true to the best knowledge and belief.
 MWC Number **--**
 Signed _____ Date **--**

(bonded) Monitor Well Constructor Certification:
 I accept responsibility for the construction, alteration, or abandonment work performed on this well during the construction dates reported above. All work performed during this time is in compliance with Oregon well construction standards. This report is true to the best of my knowledge and belief.
 MWC Number **10288**
 Signed **Robert L. Boese** Date **8/28/95**
 SECOND COPY-CONSTRUCTOR THIRD COPY-CUSTOMER

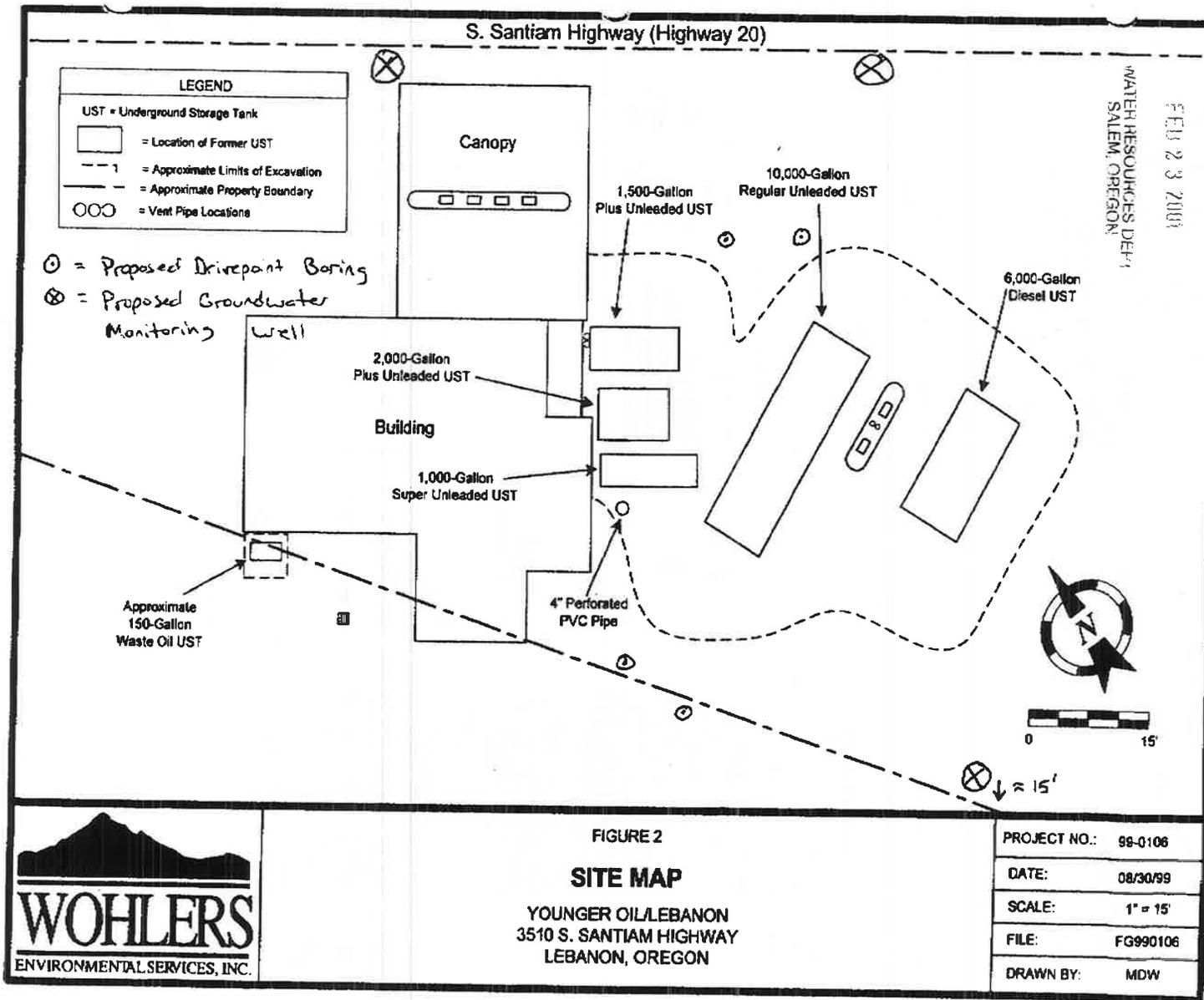


LEGEND

-  Storm Water Catch Basin
-  Monitoring Well
-  Contours in Feet

Note: Datum is south side of traffic light pole located at north corner of site. Datum is assumed to be at 360.00 feet MSL.

FORMER D&W MOBIL STATION, 3092 S. Santiam Hwy., Lebanon, OR	
SITE MAP: Groundwater Contour Map, 7 August 1995	
	Bergeson-Boese & Associates, Inc. Environmental Engineering
	65 Centennial Loop Eugene, Oregon 97401 (503) 484-9484
	Job Code: DC01SGC.95U CADD File: ESA\LV2\DC01
	Scale: 1" = 20' Drawn: ERIC GRAPE Checked: MIKE DARLING Date: 8/4/95



WATER RESOURCES DEPT.
SALEM, OREGON
FEB 23 2001

FROM : Panasonic FAX SYSTEM
PHONE L I N N 53707
Jan. 05 2001 02:03PM P3

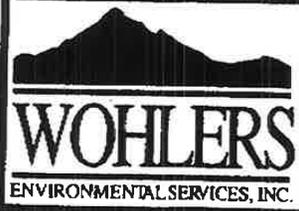


FIGURE 2
SITE MAP
YOUNGER OIL/LEBANON
3510 S. SANTIAM HIGHWAY
LEBANON, OREGON

STATE OF OREGON
MONITORING WELL REPORT (8/23/2001)
as required by ORS 537.765 & OAR 690-240-0951

LINN 53708

Amendment Card # 43685
134735

Instructions for completing this report are on the last page of this report.

(1) OWNER/PROJECT
 Name: Younger Oil Company
 Address: PO Box 87
 City: Albany State: OR Zip: 97321

(2) TYPE OF WORK:

New construction
 Alteration (depth, R and I, etc.)
 Deepening
 Abandonment

(6) LOCATION OF WELL By legal description
 Location: County Linn
 Township 12 (N, S) Range 2 (E, W) Section 23
 1. SW 1/4 of SE 1/4 of above section.
 2. Other: Street address of well location: 8510 S. Benton
 3. Tax lot number of well location: 1000

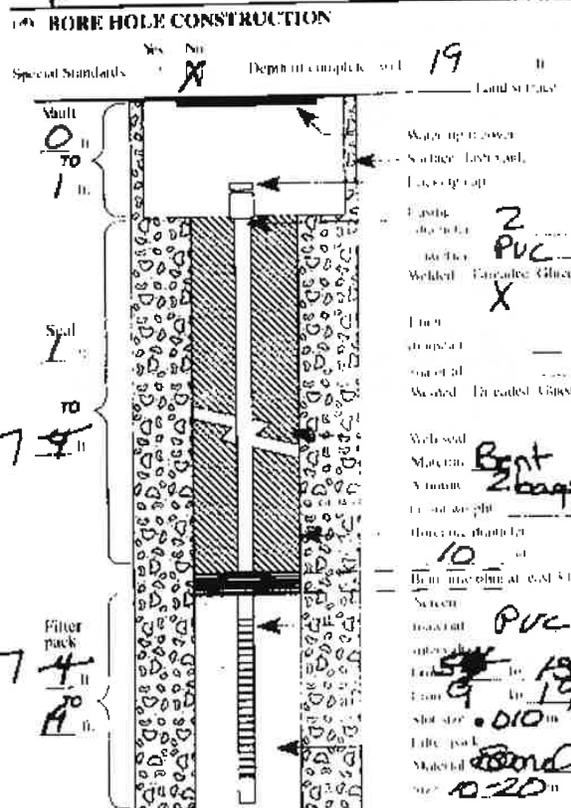
(7) STATIC WATER LEVEL:
 1. Below land surface: 0 Date: 1/25/01
 2. Artesian Pressure: _____ Date: _____

(3) DRILLING METHOD

Rotary Air
 Hollow Stem Auger
 Rotary Mud
 Cable
 Other

(8) WATER BEARING ZONES:
 Depth in which water was first found: to 9

From	To	Est. Flow Rate	SWL
<u>to 9</u>	<u>19</u>		<u>to 9</u>



(9) WELL LOG: Ground elevation: _____

Material	From	To	SWL
Gravel	0	2	
Sandy silt	2	7	
Silt Gravel	7	18.5	
Silt Clay	18.5	19	

Material	From	To	SWL
Gravel	0	2	
Sandy silt	2	7	
Silt Gravel	7	18.5	
Silt Clay	18.5	19	

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 JUN 25 2001
 WATER RESOURCES DEPT
 SALEM, OREGON

(5) WELL TEST:

Pump: _____ | Bailor: _____ | Flow Meter: _____

Permeability: _____ Yield: _____ GPM

Conductivity: _____

Temperature of water: 53 °F (Depth in which flow found: _____ ft.)

Was water analysis done? Yes | No

By whom? _____

Depth of stands to be analyzed: From _____ to _____

Remarks: _____

I hereby certify that the work performed on the construction, alteration, or abandonment of this well is in compliance with Oregon well construction standards. Materials used and information reported above are true to the best of my knowledge and belief.

Signed: [Signature] MWC Number: 10468
 Date: 2/21/01

I hereby certify that the construction, alteration, or abandonment work performed on this well during the construction dates reported above, all work performed during this time is in compliance with Oregon well construction standards. This report is true to the best of my knowledge and belief.

Signed: [Signature] MWC Number: 1004
 Date: 2/21/01

SPONSORING CONSTRUCTOR: _____

Name of supervising Certified Engineer: _____
 ORIGINAL & FIRST COPY WATER RESOURCES DEPARTMENT

STATE OF OREGON
MONITORING WELL REPORT FEB 23 2001
 (as required by ORS 537.765 & OAR 690-240-095)

LINN 53708

Start Card # L43685
134735

Instructions for completing this report are on the last page of this form.

(1) OWNER/PROJECT:
 Name Yunger Oil Company
 Address PO Box 87
 City Albany State OR Zip 97321

(2) TYPE OF WORK:

New construction Alteration (Repair/Recondition)
 Conversion Deepening Abandonment

(6) LOCATION OF WELL By legal description
 Well Location: County Linn
 Township 12 (N or S) Range 2 (E or W) Section 23
 1. SW 1/4 of SE 1/4 of above section.
 2. Either Street address of well location
8510 S. Banham
 or Tax lot number of well location 1000

3. ATTACH MAP WITH LOCATION IDENTIFIED. Map shall include approximate scale and north arrow.

(3) DRILLING METHOD

Rotary Air Rotary Mud Cable
 Hollow Stem Auger Other

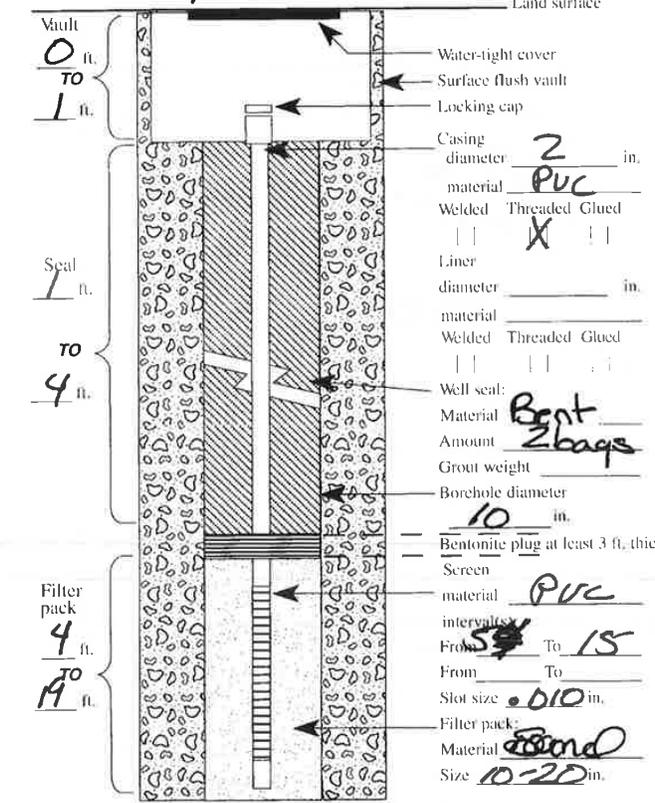
(7) STATIC WATER LEVEL:
6 Ft. below land surface, Date 1/25/01
 Artesian Pressure _____ lb/sq. in. Date _____

(4) BORE HOLE CONSTRUCTION

Special Standards Yes No
 Depth of completed well 19 ft.

(8) WATER BEARING ZONES:
 Depth at which water was first found 6

From	To	Est. Flow Rate	SWL
<u>6</u>	<u>19</u>		<u>6</u>



(9) WELL LOG: Ground elevation _____

Material	From	To	SWL
<u>Gravel</u>	<u>0</u>	<u>2</u>	
<u>Sandy silt</u>	<u>2</u>	<u>7</u>	
<u>Silt Gravel</u>	<u>7</u>	<u>18.5</u>	
<u>Silty clay</u>	<u>18.5</u>	<u>19</u>	

Date started 1/25/01 Completed 1/25/01

(5) WELL TEST:

Pump Bailer Air Flowing Artesian
 Penneability _____ Yield _____ GPM
 Conductivity _____ PH _____
 Temperature of water 53 °F/C Depth artesian flow found _____ ft.
 Was water analysis done? Yes No
 By whom? _____
 Depth of strata to be analyzed. From _____ ft. to _____ ft.
 Remarks: _____

Name of supervising Geologist/Engineer _____

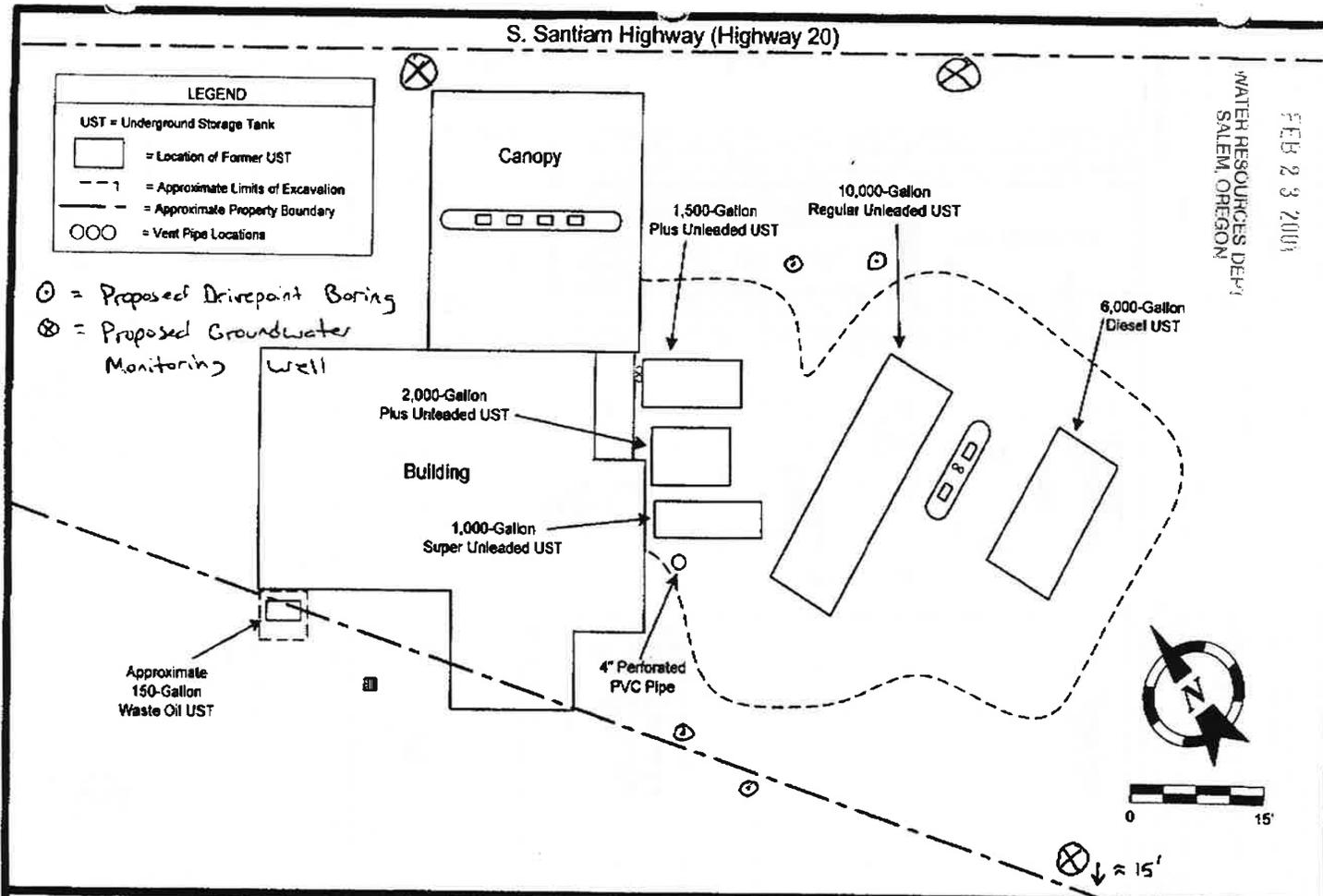
(unbonded) Monitor Well Constructor Certification:
 I certify that the work I performed on the construction, alteration, or abandonment of this well is in compliance with Oregon well construction standards. Materials used and information reported above are true to the best knowledge and belief.
 Signed [Signature] Date 2/21/01 MWC Number 104168

(bonded) Monitor Well Constructor Certification:
 I accept responsibility for the construction, alteration, or abandonment work performed on this well during the construction dates reported above. All work performed during this time is in compliance with Oregon well construction standards. This report is true to the best of my knowledge and belief.
 Signed [Signature] Date 2/21/01 MWC Number 10011

SECOND COPY-CONSTRUCTOR THIRD COPY-CUSTOMER

ORIGINAL & FIRST COPY-WATER RESOURCES DEPARTMENT

LINN 53708



FROM : Panasonic FAX SYSTEM

PHONE NO. :

Jan. 05 2001 02:03PM P3

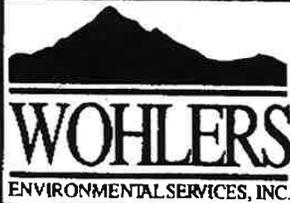


FIGURE 2

SITE MAP

YOUNGER OIL/LEBANON
3510 S. SANTIAM HIGHWAY
LEBANON, OREGON

PROJECT NO.:	99-0106
DATE:	08/30/99
SCALE:	1" = 15'
FILE:	FG990106
DRAWN BY:	MDW

STATE OF OREGON
MONITORING WELL REPORT
(as required by ORS 537.765 & OAR 690-240-095)

RECEIVED

LINN 53709

FEB 23 2001

L43686
 Start Card # 134736

Instructions for completing this report are on the last page of this form.

(1) OWNER/PROJECT: WATER RESOURCES DEPT. SALEM, OREGON
 Name: Yanger Oil Company
 Address: PO Box 8
 City: Albany State: OR Zip: 97321

(6) LOCATION OF WELL By legal description
 Well Location: County Lincoln
 Township 12 (N or S) Range 2 (E or W) Section 23
 1. SW 1/4 of SE 1/4 of above section.
 2. Either Street address of well location 3570 S. Santiam
 or Tax lot number of well location 1000

(2) TYPE OF WORK:
 New construction Alteration (Repair/Recondition)
 Conversion Deepening Abandonment

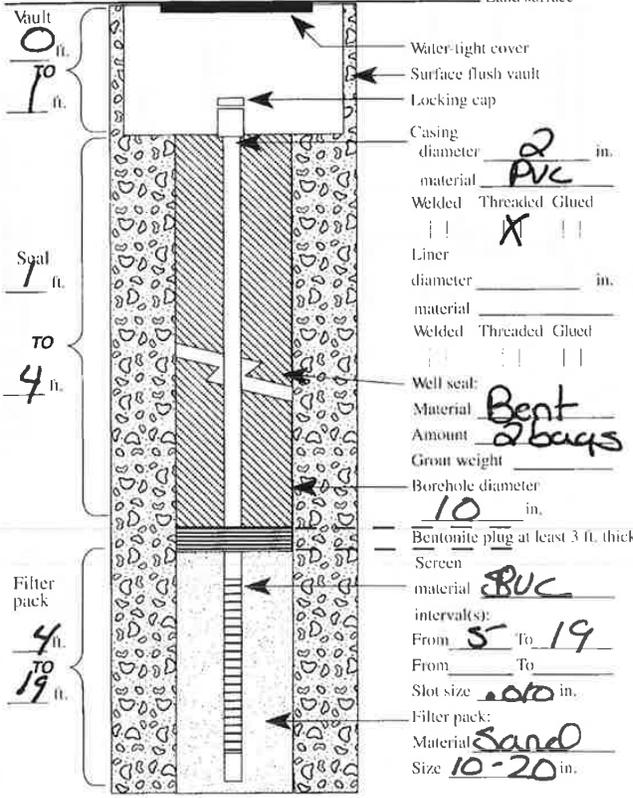
3. ATTACH MAP WITH LOCATION IDENTIFIED. Map shall include approximate scale and north arrow.

(3) DRILLING METHOD
 Rotary Air Rotary Mud Cable
 Hollow Stem Auger Other

(7) STATIC WATER LEVEL:
6 Ft. below land surface, Date 1/25/01
 Artesian Pressure _____ lb/sq. in., Date _____

(4) BORE HOLE CONSTRUCTION
 Special Standards Yes No
 Depth of completed well 19 ft. Land surface

(8) WATER BEARING ZONES: 6
 Depth at which water was first found 6



From	To	Est. Flow Rate	SWL
<u>6</u>	<u>19</u>		<u>6</u>

(9) WELL LOG: Ground elevation _____

Material	From	To	SWL
<u>Gravels</u>	<u>0</u>	<u>2</u>	
<u>Sandy Silts</u>	<u>2</u>	<u>7</u>	
<u>Silty Gravels</u>	<u>7</u>	<u>18.5</u>	
<u>Silty Clay</u>	<u>18.5</u>	<u>19</u>	

Date started 1/25/01 Completed 1/25/01

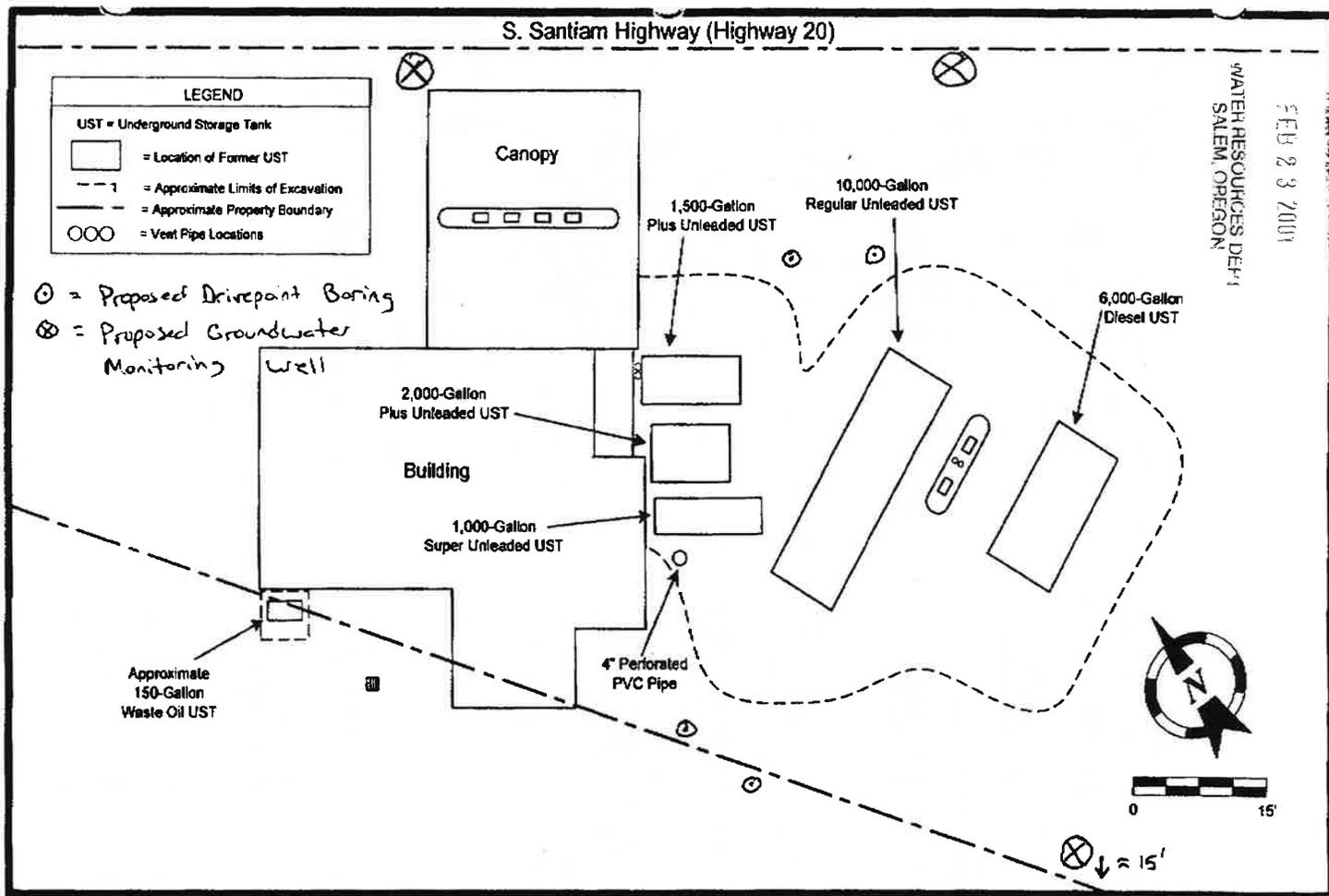
(5) WELL TEST:
 Pump Bailer Air Flowing Artesian
 Permeability _____ Yield _____ GPM
 Conductivity _____ PH _____
 Temperature of water 51 °F/C Depth artesian flow found _____ ft.
 Was water analysis done? Yes No
 By whom? _____
 Depth of strata to be analyzed. From _____ ft. to _____ ft.
 Remarks: _____
 Name of supervising Geologist/Engineer _____

(unbonded) Monitor Well Constructor Certification:
 I certify that the work I performed on the construction, alteration, or abandonment of this well is in compliance with Oregon well construction standards. Materials used and information reported above are true to the best knowledge and belief.
 Signed: [Signature] MWC Number 10482
 Date 2/21/01

(bonded) Monitor Well Constructor Certification:
 I accept responsibility for the construction, alteration, or abandonment work performed on this well during the construction dates reported above. All work performed during this time is in compliance with Oregon well construction standards. This report is true to the best of my knowledge and belief.
 Signed: [Signature] MWC Number 10011
 Date 2/21/01

ORIGINAL & FIRST COPY-WATER RESOURCES DEPARTMENT SECOND COPY-CONSTRUCTOR THIRD COPY-CUSTOMER

LINN 53709



FEB 23 2001
WATER RESOURCES DEPT
SALEM, OREGON

FROM : Panasonic FAX SYSTEM

PHONE NO. :

Jan. 05 2001 02:03PM P3

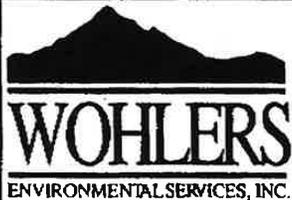


FIGURE 2
SITE MAP
YOUNGER OIL/LEBANON
3510 S. SANTIAM HIGHWAY
LEBANON, OREGON

PROJECT NO.:	99-0106
DATE:	08/30/99
SCALE:	1" = 15'
FILE:	FG990106
DRAWN BY:	MDW

STATE OF OREGON
MONITORING WELL REPORT
 (as required by ORS 537.765 & OAR 690-240-095)

LINN 57043
 57043

Start Card # 183928

Instructions for completing this report are on the last page of this form.

(1) **OWNER/PROJECT:** WELL NO. DR-2000-B
 Name LOUIS SCHWINDT
 Address 797 GLEN OAK DR.
 City LEGANON State OREGON Zip 97355

(6) **LOCATION OF WELL By legal description**
 Well Location: County LINN
 Township 12 Range 2 Section 23
 1. NW 1/4 of NW 1/4 of above section.
 2. Either Street address of well location 3029 S. Jonathan Hwy
LEGANON OR. 97355
 or Tax lot number of well location _____

(2) **TYPE OF WORK:**
 New construction Alteration (Repair/Recondition)
 Conversion Deepening Abandonment

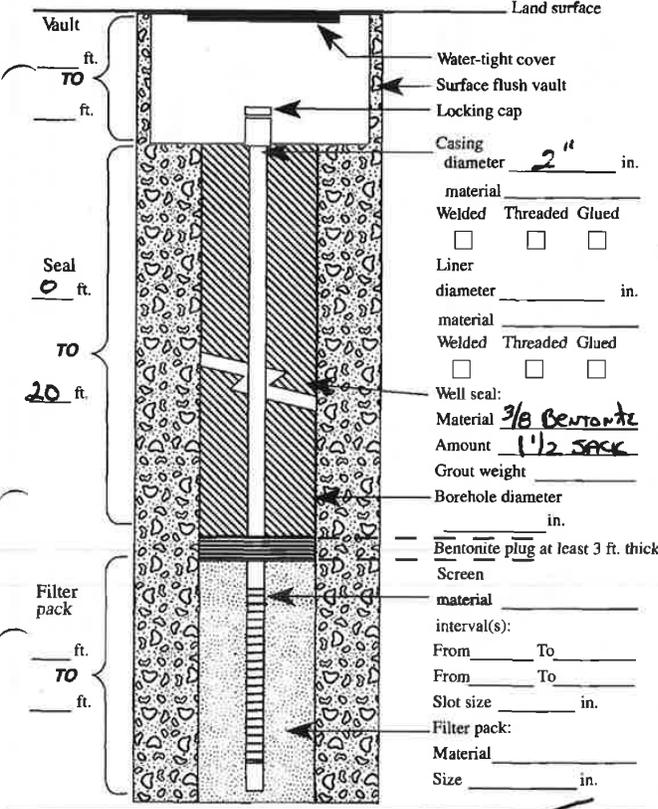
3. **ATTACH MAP WITH LOCATION IDENTIFIED.** Map shall include approximate scale and north arrow.

(3) **DRILLING METHOD**
 Rotary Air Rotary Mud Cable
 Hollow Stem Auger Other N/A

(7) **STATIC WATER LEVEL:**
10 Ft. below land surface. Date 12-1-05
 Artesian Pressure _____ lb/sq. in. Date _____

BORE HOLE CONSTRUCTION

Special Standards Yes No
 Depth of completed well 0 ft. Land surface



(8) **WATER BEARING ZONES:**
 Depth at which water was first found N/A

From	To	Est. Flow Rate	SWL

(9) **WELL LOG:** Ground elevation _____

Material	From	To	SWL
<u>Filled 2" PVC with 3/8 bentonite to minus one foot to 20'</u>			
<u>Removed vaults & topped off with bentonite</u>			
<u>Abandon well in accordance with specific standards</u>			

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 MAR 07 2006
 WATER RESOURCES DEPT
 SALEM, OREGON

RECEIVED
 JAN 10 2006
 WATER RESOURCES DEPT
 SALEM, OREGON

Date started 12-1-05 Completed 12-1-05

(5) **WELL TEST:**
 Pump Bailer Air Flowing Artesian
 Permeability _____ Yield _____ GPM
 Conductivity _____ PH _____
 Temperature of water _____ °F/C Depth artesian flow found _____ ft.
 Was water analysis done? Yes No
 By whom? _____
 Depth of strata to be analyzed. From _____ ft. to _____ ft.
 Remarks: _____

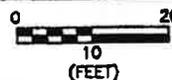
(unbonded) Monitor Well Constructor Certification:
 I certify that the work I performed on the construction, alteration, or abandonment of this well is in compliance with Oregon well construction standards. Materials used and information reported above are true to the best knowledge and belief.
 MWC Number _____
 Signed _____ Date _____

(bonded) Monitor Well Constructor Certification:
 I accept responsibility for the construction, alteration, or abandonment work performed on this well during the construction dates reported above. All work performed during this time is in compliance with Oregon well construction standards. This report is true to the best of my knowledge and belief.
 MWC Number 00118
 Signed Chad D. [Signature] Date 12-2-05

Name of supervising Geologist/Engineer _____
 ORIGINAL & FIRST COPY-WATER RESOURCES DEPARTMENT

SECOND COPY-CONSTRUCTOR THIRD COPY-CUSTOMER

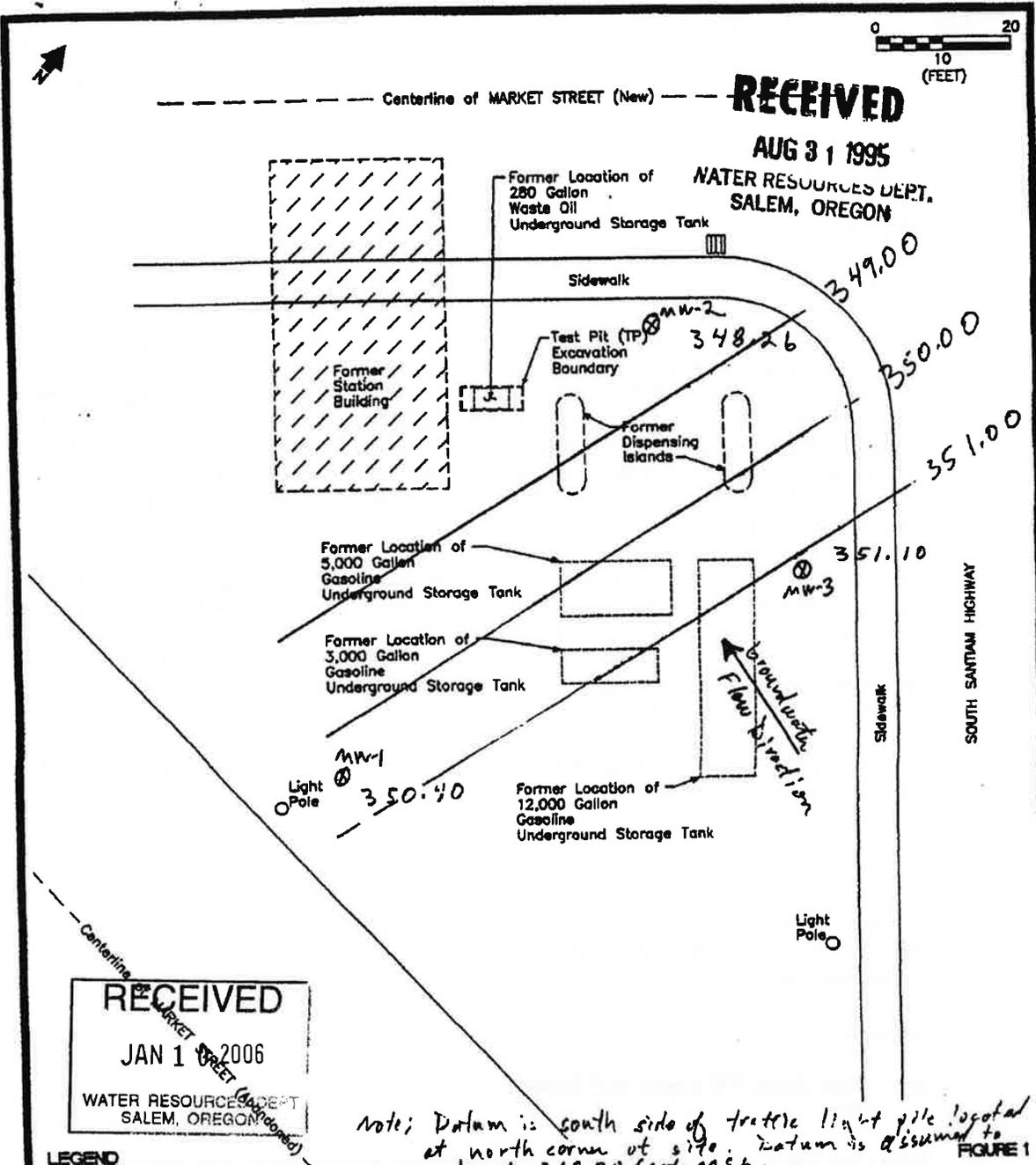
LINN 57043
 LINN 57043



RECEIVED

AUG 31 1995

WATER RESOURCES DEPT.
 SALEM, OREGON



RECEIVED
 JAN 1 2006
 WATER RESOURCES DEPT.
 SALEM, OREGON

Note: Datum is south side of traffic light pole located at north corner of site. Datum is assumed to be at 360.00 feet MSL.

LEGEND

- ▣ Storm Water Catch Basin
- ⊙ Monitoring Well
- ⊕ Contours in Feet

FORMER D&W MOBIL STATION, 3092 S. Santiam Hwy., Lebanon, OR

SITE MAP Groundwater Contour Map, 7 August 1995

Bergeson-Boese & Associates, Inc. Environmental Engineering	Job Code: DC01SGC.95U
65 Centennial Loop Eugene, Oregon 97401 (503) 484-9484	CAAD File: ESA\LV2.DCD1
	Scale: 1" = 20'
	Drawn: ERIC GRAPE
	Checked: MIKE DARLING
	Date: 8/4/95



Oregon

Theodore R. Kulongoski, Governor

LINN 57043

Water Resources Department
North Mall Office Building
725 Summer Street NE, Suite A
Salem, OR 97301-1271
503-986-0900
FAX 503-986-0904

December 20, 2005

NUGENT DRILLING CO.
CHARLES D NUGENT MWC 10118
36969 ROCK HILL DR
LEBANON OR 97355

FINAL ORDER

Dear Chuck:

The Special Standard requests you submitted for owner: Louis Schwindt, Start Card numbers 183927, 183928 and 183929, are hereby approved for the following: You may abandon these wells in place as described in OAR 690-240-0510(2). If you plan on abandoning the wells using bentonite then the placement of the bentonite shall conform to the Department's rules and the manufacturers specifications and result in a seal that is free of voids or bridges. Care shall be taken to minimize the introduction of bentonite dust. Only sodium bentonite chips manufactured to be greater than 1/4 inch or tablets shall be used below the water level in the sealing interval. Copies of your Special Standard Request forms are attached.

The Well Construction Standards serve to protect ground water resources. By approving and issuing this special construction standard the Oregon Water Resources Department is not representing that a well constructed in accordance with this condition will maintain structural integrity or that it meets engineering standards. The well constructor/or landowner is responsible for ensuring that a well is constructed in a manner that protects ground water resources as required under Oregon Administrative Rules 690-200 through 690-240.

If you have any questions regarding this letter, I may be contacted at (503) 986-0851, or by e-mail at Kristopher.R.Byrd@wrdd.state.or.us.

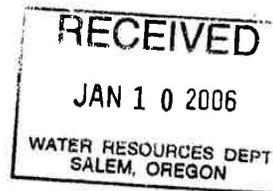
Sincerely,

Kristopher Byrd
Well Construction Program Coordinator
Enforcement Section

enclosure

cc: John Unger, NW Region Well Inspector
File

This is a final order in other than a contested case. This order is subject to judicial review under ORS 183.484. Any petition for judicial review must be filed within the 60 day time period specified by ORS 183.484(2). Pursuant to ORS 536.075 and OAR 137-004-0080 you may either petition for judicial review or petition the Director for reconsideration of this order. A petition for reconsideration may be granted or denied by the director, and if no action is taken within 60 days following the date the petition was filed, the petition shall be deemed denied.



Oregon Water Resources Department

REQUEST FOR WRITTEN APPROVAL TO USE CONSTRUCTION METHODS NOT INCLUDED IN OREGON ADMINISTRATIVE RULES 690-200 THROUGH 690-240

Before the request can be considered, this form must be completed. Requests shall be submitted to the Well Construction Specialist, Water Resources Department, 158 12th Street NE, Salem OR 97301. Requests may also be considered by the appropriate Regional Manager.

Date of request: 11-28-05 Oral approval date (if applicable): 11-14-05

Bonded Well Constructor (name, license #, and mailing address): Charles D. Nugent

36969 Rock Hill Dr. Lebanon, Ore 97355 #10118

(1) Location of Well: NW 1/4 NW 1/4 of Section 23,
Township 12 N Range 2 W Lin County

Address at well site: 3029 S. Santiam Hwy
Lebanon, Ore.

(2) Start Card Number(s)(for work to be done): 183928

(3) Name and Address of Land Owner: Louis Schwiner
797 Glen Oak Dr. ~~7th St.~~ Lebanon, Ore 97355

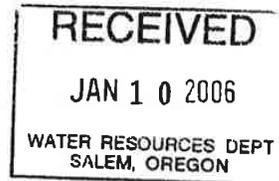
(4) Distance to the nearest septic tank, drainfield, closed sewage line (if water supply well)
N/A

(5) The unusual site conditions which necessitate this request: N/A.

(6) The proposed construction methods that the bonded well constructor believes will be adequate for this well: (attach additional pages if needed)

Fill monitoring well (20') with 3/8 bendable
to ground level - remove surface unct.

- (7) **Diagram showing the pertinent features of the proposed well design and construction:
(attach additional pages if needed)**



-
- (1) **The Well Construction Standards serve to protect ground water resources. By approving and issuing this special construction standard the Oregon Water Resources Department is not representing that a well constructed in accordance with this condition will maintain structural integrity or that it meets engineering standards. The well constructor/ or landowner is responsible for ensuring that a well is constructed in a manner that protects ground water resources as required under Oregon Administrative Rules 690-200 through 690-240.**
- (2) **If it should be determined at some future date that the well, due to its construction, is allowing ground water contamination, waste or loss of artesian pressure, the undersigned shall return to the site and rectify the problem.**
- (3) **If oral approval was granted, a written request must be submitted to the Department either within three (3) working days of the date of approval or prior to the completion of the associated well work. Failure to submit a written request as described above may void prior oral approval.**

I have read and understand the above information. I further attest that the information provided is accurate to the best of my knowledge.

Bonded Constructor Signature: _____

A handwritten signature in black ink, appearing to be "Chad D. [unclear]", written over a horizontal line.

revised 6/18/2003

STATE OF OREGON
MONITORING WELL REPORT
As required by ORS 537.765 & OAR 690-240-095)

LINN 57044

Start Card # 183927

Instructions for completing this report are on the last page of this form.

(1) OWNER/PROJECT WELL NO. DR-2000
 Name Louis Schwandt
 Address 797 Glen Oak Dr.
 City LEBANON State OREGON Zip 97355

(6) LOCATION OF WELL By legal description
 Well Location: County LINN
 Township 12 or 13 Range 2 (R or W) Section 23
 1. NW 1/4 of NW 1/4 of above section.

(2) TYPE OF WORK:
 New construction Alteration (Repair/Recondition)
 Conversion Deepening Abandonment

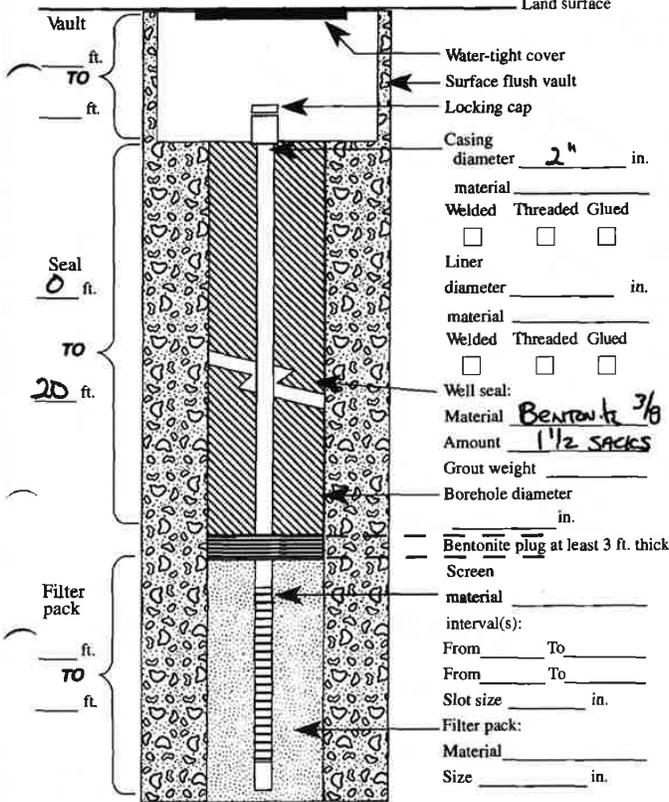
2. Either Street address of well location 3029 S. Sennah Hwy
LEBANON, ORE. 97355
 or Tax lot number of well location _____
 3. ATTACH MAP WITH LOCATION IDENTIFIED. Map shall include approximate scale and north arrow.

(3) DRILLING METHOD
 Rotary Air Rotary Mud Cable
 Hollow Stem Auger Other N/A

(7) STATIC WATER LEVEL:
10 Ft. below land surface. Date 12-1-05
 Artesian Pressure _____ lb/sq. in. Date _____

BORE HOLE CONSTRUCTION

Special Standards Yes No
 Depth of completed well 0 ft.



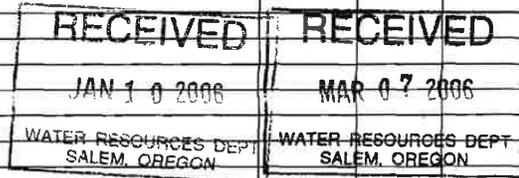
(8) WATER BEARING ZONES:

Depth at which water was first found N/A

From	To	Est. Flow Rate	SWL

(9) WELL LOG: Ground elevation _____

Material	From	To	SWL
<u>Filled 2" P.U.C. with 3/8 Bentonite to minus 1 foot.</u>			
<u>Removed vaults! Topped off with Bentonite to ground level.</u>			
<u>Abandon well in accordance to Special Standards.</u>			



Date started 12-1-05 Completed 12-1-05

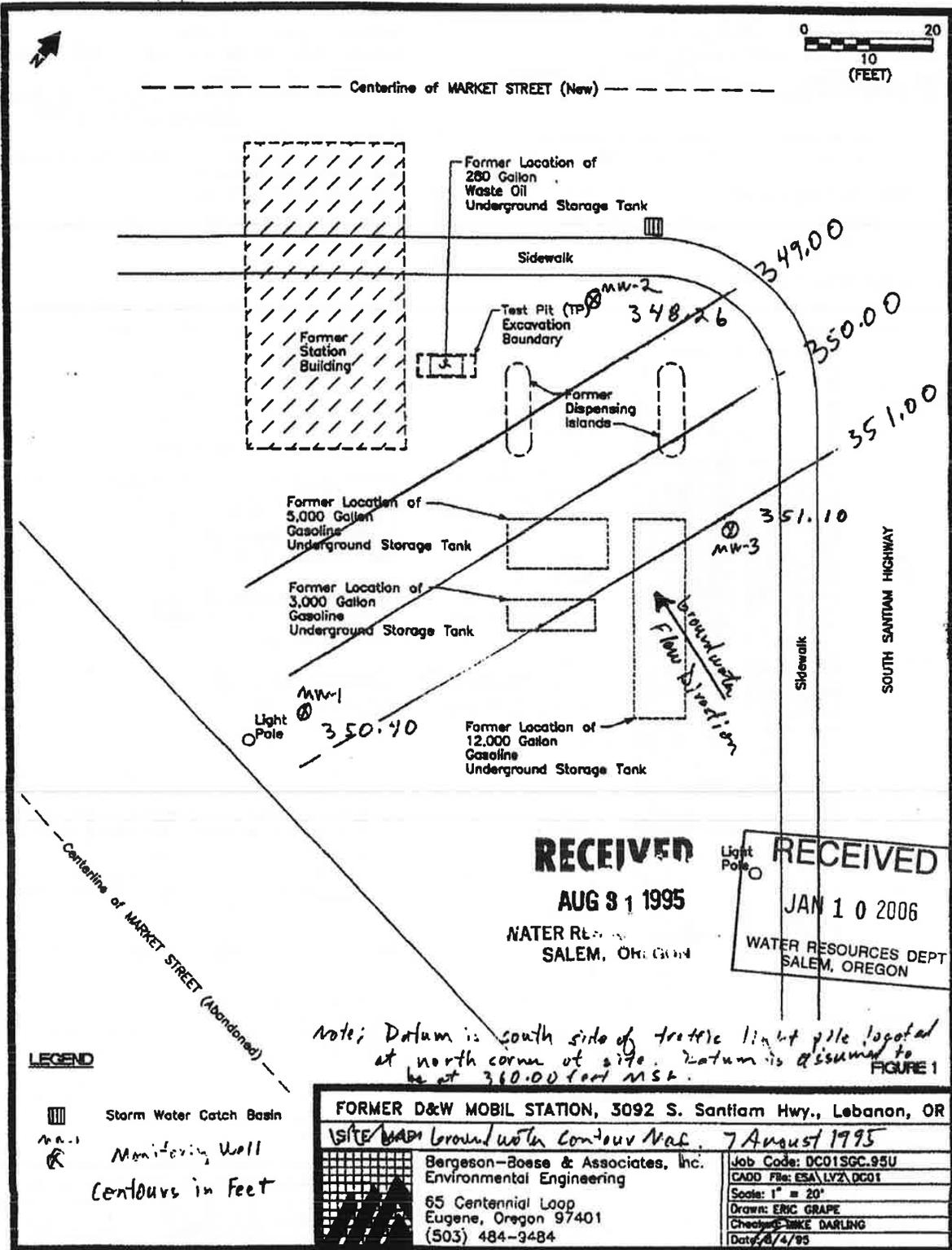
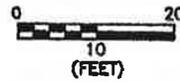
(5) WELL TEST:
 Pump Bailer Air Flowing Artesian
 Permeability _____ Yield _____ GPM
 Conductivity _____ PH _____
 Temperature of water _____ °F/C Depth artesian flow found _____ ft.
 Was water analysis done? Yes No
 By whom? _____
 Depth of strata to be analyzed. From _____ ft. to _____ ft.
 Remarks: _____
 Name of supervising Geologist/Engineer _____

(unbonded) Monitor Well Constructor Certification:
 I certify that the work I performed on the construction, alteration, or abandonment of this well is in compliance with Oregon well construction standards. Materials used and information reported above are true to the best knowledge and belief.
 MWC Number _____
 Signed _____ Date _____

(bonded) Monitor Well Constructor Certification:
 I accept responsibility for the construction, alteration, or abandonment work performed on this well during the construction dates reported above. All work performed during this time is in compliance with Oregon well construction standards. This report is true to the best of my knowledge and belief.
 Signed Chris D. [Signature] MWC Number 10118
 Date 12-2-05

ORIGINAL & FIRST COPY-WATER RESOURCES DEPARTMENT SECOND COPY-CONSTRUCTOR THIRD COPY-CUSTOMER

LINN 57044
 LINN 57044



RECEIVED

AUG 31 1995

WATER RESOURCES DEPT
 SALEM, OREGON

RECEIVED

JAN 10 2006

WATER RESOURCES DEPT
 SALEM, OREGON

Note: Datum is south side of traffic light pole located at north corner of site. Datum is assumed to be at 360.00 feet MSL. FIGURE 1

LEGEND

- ▣ Storm Water Catch Basin
- MW-1 Monitoring Well
- ⊗ Contours in Feet

FORMER D&W MOBIL STATION, 3092 S. Santiam Hwy., Lebanon, OR

SITE MAP Groundwater Contour Map, 7 August 1995

Bergeson-Boese & Associates, Inc.
 Environmental Engineering
 65 Centennial Loop
 Eugene, Oregon 97401
 (503) 484-9484

Job Code: DC01SGC.95U
 CADD File: ESA LV2.DC01
 Scale: 1" = 20'
 Drawn: ERIC GRAPE
 Checked: MIKE DARLING
 Date: 8/4/95



Oregon

Theodore R. Kulongoski, Governor

LINN 57044

Water Resources Department

North Mall Office Building

725 Summer Street NE, Suite A

Salem, OR 97301-1271

503-986-0900

FAX 503-986-0904

December 20, 2005

NUGENT DRILLING CO.
CHARLES D NUGENT MWC 10118
36969 ROCK HILL DR
LEBANON OR 97355

FINAL ORDER

Dear Chuck:

The Special Standard requests you submitted for owner: Louis Schwindt, Start Card numbers 183927, 183928 and 183929, are hereby approved for the following: You may abandon these wells in place as described in OAR 690-240-0510(2). If you plan on abandoning the wells using bentonite then the placement of the bentonite shall conform to the Department's rules and the manufacturers specifications and result in a seal that is free of voids or bridges. Care shall be taken to minimize the introduction of bentonite dust. Only sodium bentonite chips manufactured to be greater than 1/4 inch or tablets shall be used below the water level in the sealing interval. Copies of your Special Standard Request forms are attached.

The Well Construction Standards serve to protect ground water resources. By approving and issuing this special construction standard the Oregon Water Resources Department is not representing that a well constructed in accordance with this condition will maintain structural integrity or that it meets engineering standards. The well constructor/or landowner is responsible for ensuring that a well is constructed in a manner that protects ground water resources as required under Oregon Administrative Rules 690-200 through 690-240.

If you have any questions regarding this letter, I may be contacted at (503) 986-0851, or by e-mail at Kristopher.R.Byrd@wrdd.state.or.us.

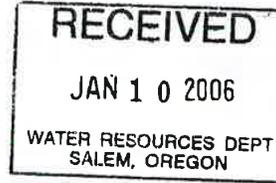
Sincerely,

Kristopher Byrd
Well Construction Program Coordinator
Enforcement Section

enclosure

cc: John Unger, NW Region Well Inspector
File

This is a final order in other than a contested case. This order is subject to judicial review under ORS 183.484. Any petition for judicial review must be filed within the 60 day time period specified by ORS 183.484(2). Pursuant to ORS 536.075 and OAR 137-004-0080 you may either petition for judicial review or petition the Director for reconsideration of this order. A petition for reconsideration may be granted or denied by the director, and if no action is taken within 60 days following the date the petition was filed, the petition shall be deemed denied.



Oregon Water Resources Department

REQUEST FOR WRITTEN APPROVAL TO USE CONSTRUCTION METHODS NOT INCLUDED IN OREGON ADMINISTRATIVE RULES 690-200 THROUGH 690-240

Before the request can be considered, this form must be completed. Requests shall be submitted to the Well Construction Specialist, Water Resources Department, 158 12th Street NE, Salem OR 97301. Requests may also be considered by the appropriate Regional Manager.

Date of request: 11-28-05 Oral approval date (if applicable): 11-14-05

Bonded Well Constructor (name, license #, and mailing address): Charles D. Nugent

36969 Rock Hill Dr. Lebanon, Ore 97355 #10118

(1) Location of Well: NW 1/4 NW 1/4 of Section 23,

Township 12 S Range 2 W Lincoln County

Address at well site: 3029 S. Sanham Hwy
Lebanon, Ore.

(2) Start Card Number(s)(for work to be done): 183927

(3) Name and Address of Land Owner: Louis Schwindt

797 Glen Oak Dr. ~~740 16th St~~ Lebanon, Ore 97355

(4) Distance to the nearest septic tank, drainfield, closed sewage line (if water supply well)

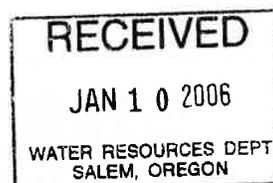
N/A

(5) The unusual site conditions which necessitate this request: N/A.

(6) The proposed construction methods that the bonded well constructor believes will be adequate for this well: (attach additional pages if needed)

File monitoring well (20') with 3/8 bendable
to ground level - remove surface vault.

- (7) **Diagram showing the pertinent features of the proposed well design and construction:
(attach additional pages if needed)**



- (1) **The Well Construction Standards serve to protect ground water resources. By approving and issuing this special construction standard the Oregon Water Resources Department is not representing that a well constructed in accordance with this condition will maintain structural integrity or that it meets engineering standards. The well constructor/or landowner is responsible for ensuring that a well is constructed in a manner that protects ground water resources as required under Oregon Administrative Rules 690-200 through 690-240.**
- (2) **If it should be determined at some future date that the well, due to its construction, is allowing ground water contamination, waste or loss of artesian pressure, the undersigned shall return to the site and rectify the problem.**
- (3) **If oral approval was granted, a written request must be submitted to the Department either within three (3) working days of the date of approval or prior to the completion of the associated well work. Failure to submit a written request as described above may void prior oral approval.**

I have read and understand the above information. I further attest that the information provided is accurate to the best of my knowledge.

Bonded Constructor Signature: _____



revised 07/07/2003

STATE OF OREGON
MONITORING WELL REPORT
 (as required by ORS 537.765 & OAR 690-240-095)

LINN 57045
 57045

Start Card # 183929

(1) OWNER/PROJECT: WELL NO. DR-2000-C
 Name LOUIS SCHWINDT
 Address 797 GLEN OAK DR.
 City LEBANON State OREGON Zip 97355

(6) LOCATION OF WELL By legal description
 Well Location: County LINN
 Township 12 (N or S) Range 2 (E or W) Section 23
 1. NW 1/4 of NW 1/4 of above section.
 2. Either Street address of well location 3029 S. Sandhain Rd
LEBANON, OR. 97355
 or Tax lot number of well location _____
3. ATTACH MAP WITH LOCATION IDENTIFIED. Map shall include approximate scale and north arrow.

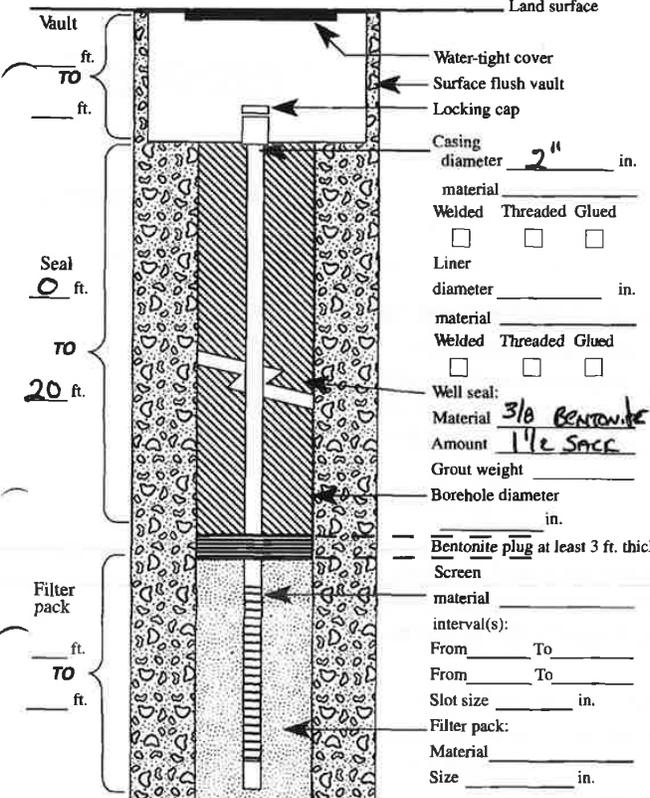
(2) TYPE OF WORK:
 New construction Alteration (Repair/Recondition)
 Conversion Deepening Abandonment

(3) DRILLING METHOD
 Rotary Air Rotary Mud Cable
 Hollow Stem Auger Other _____

(7) STATIC WATER LEVEL:
10 Ft. below land surface. Date 12-1-05
 Artesian Pressure _____ lb/sq. in. Date _____

BORE HOLE CONSTRUCTION

Special Standards Yes No Depth of completed well _____ ft.
 Land surface _____ ft.



(8) WATER BEARING ZONES:
 Depth at which water was first found N/A

From	To	Est. Flow Rate	SWL

(9) WELL LOG: Ground elevation _____

Material	From	To	SWL
<u>Filled 2" P.U.C. with 3/8 bentonite to minus one foot to 20'</u>			
<u>Remove vaults & top of with bentonite</u>			
<u>Abandon well in accordance with special standards</u>			

RECEIVED
 JAN 10 2006
 WATER RESOURCES DEPT
 SALEM, OREGON

RECEIVED
 MAR 07 2006
 WATER RESOURCES DEPT
 SALEM, OREGON

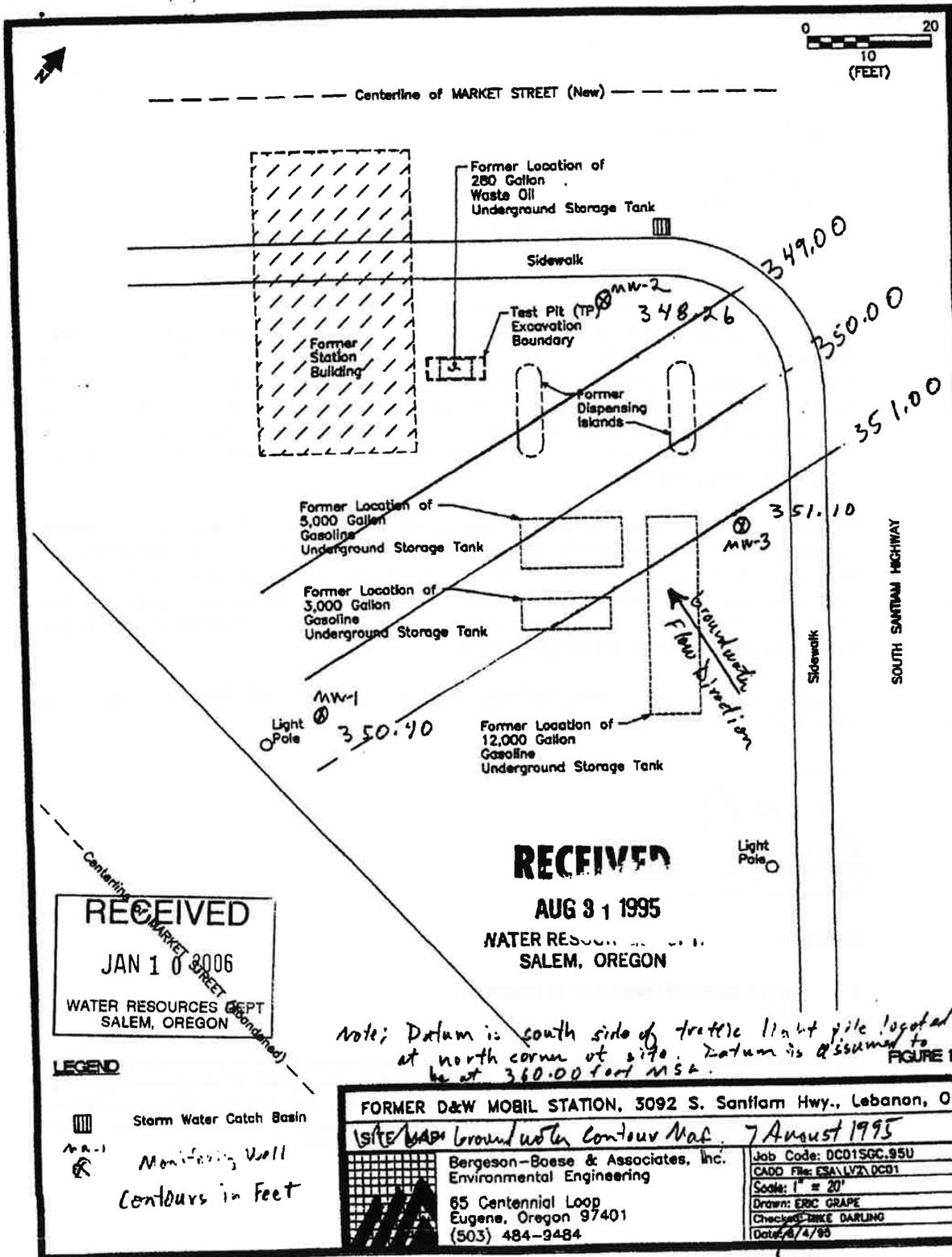
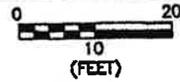
Date started 12-1-05 Completed 12-1-05

(5) WELL TEST:
 Pump Bailer Air Flowing Artesian
 Permeability _____ Yield _____ GPM
 Conductivity _____ PH _____
 Temperature of water _____ °F/C Depth artesian flow found _____ ft.
 Was water analysis done? Yes No
 By whom? _____
 Depth of strata to be analyzed. From _____ ft. to _____ ft.
 Remarks: _____
 Name of supervising Geologist/Engineer _____

(unbonded) Monitor Well Constructor Certification:
 I certify that the work I performed on the construction, alteration, or abandonment of this well is in compliance with Oregon well construction standards. Materials used and information reported above are true to the best knowledge and belief.
 MWC Number _____
 Signed _____ Date _____

(bonded) Monitor Well Constructor Certification:
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 Signed Chal Pelt MWC Number 10118
 Date 12-2-05

LINN 57045
 LINN 57045



RECEIVED
 JAN 10 2006
 WATER RESOURCES DEPT
 SALEM, OREGON

RECEIVED
 AUG 31 1995
 WATER RESOURCES DEPT
 SALEM, OREGON

Note: Datum is south side of traffic light pole located at north corner of site. Datum is assumed to be at 360.00 foot MSL.

LEGEND
 [Symbol] Storm Water Catch Basin
 [Symbol] Monitoring Well
 [Symbol] Contours in Feet

FORMER D&W MOBIL STATION, 3092 S. Santiam Hwy., Lebanon, OR	
SITE MAP Groundwater Contour Map, 7 August 1995	
Bergeson-Boese & Associates, Inc. Environmental Engineering 65 Centennial Loop Eugene, Oregon 97401 (503) 484-9484	Job Code: DC01SGC.95U CADD File: ESA\LV2\DC01 Scale: 1" = 20' Drawn: ERIC GRAPE Checked: DIKKE DARLING Date: 8/4/95



Oregon

Theodore R. Kulongoski, Governor

LINN 57045

CV

Water Resources Department
North Mall Office Building
725 Summer Street NE, Suite A
Salem, OR 97301-1271
503-986-0900
FAX 503-986-0904

December 20, 2005

NUGENT DRILLING CO.
CHARLES D NUGENT MWC 10118
36969 ROCK HILL DR
LEBANON OR 97355

FINAL ORDER

Dear Chuck:

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If you have any questions regarding this letter, I may be contacted at (503) 986-0851, or by e-mail at Kristopher.R.Byrd@wrp.state.or.us.

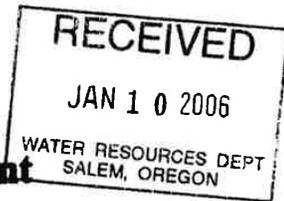
Sincerely,

Kristopher Byrd
Well Construction Program Coordinator
Enforcement Section

enclosure

cc: John Unger, NW Region Well Inspector
File

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Oregon Water Resources Department

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Date of request: 11-28-05 Oral approval date (if applicable): 11-14-05

Bonded Well Constructor (name, license #, and mailing address): Charles D. Nugent

36969 Oak Hill Dr. Lebanon, Ore 97355 #10118

(1) Location of Well: NW 1/4 NW 1/4 of Section 23

Township 12 N Range 2 W Linn County

Address at well site: 3029 S. Santiam Hwy
Lebanon, Ore.

(2) Start Card Number(s)(for work to be done): 183929

(3) Name and Address of Land Owner: Louis Schwiner

797 Glen Oak Dr. ~~74 11th St~~ Lebanon, Ore 97355

(4) Distance to the nearest septic tank, drainfield, closed sewage line (if water supply well)

N/A

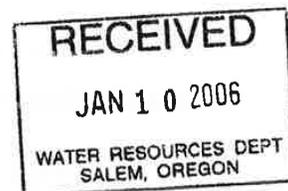
(5) The unusual site conditions which necessitate this request: N/A.

(6) The proposed construction methods that the bonded well constructor believes will be adequate for this well: (attach additional pages if needed)

Five monitoring wells (20') with 3/8 bendouts

to Ground Level - Remove surface conduit.

- (7) **Diagram showing the pertinent features of the proposed well design and construction:
(attach additional pages if needed)**



-
- (1) **The Well Construction Standards serve to protect ground water resources. By approving and issuing this special construction standard the Oregon Water Resources Department is not representing that a well constructed in accordance with this condition will maintain structural integrity or that it meets engineering standards. The well constructor/or landowner is responsible for ensuring that a well is constructed in a manner that protects ground water resources as required under Oregon Administrative Rules 690-200 through 690-240.**
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I have read and understand the above information. I further attest that the information provided is accurate to the best of my knowledge.

Bonded Constructor Signature: _____

A handwritten signature in black ink, appearing to be "Chad A. [unclear]", written over a horizontal line.

revised 07/07/2003

Attachment #10

Mark Rossi

From: Jim Lord <jim@ashleyvance.com>
Sent: Wednesday, July 15, 2020 5:16 PM
To: Mark Rossi
Subject: Fwd: Colonia Paz 1 Affordable Housing Project

Here you go!

Jim Lord, PE

Ashley & Vance Engineering

Civil • Structural

33 NW Franklin Ave | Bend, OR 97703

o. (541) 647-1445 x179 | c. (541) 318-9132

www.ashleyvance.com

In response to COVID-19, we are doing our part to flatten the curve by working remotely. We welcome any and all social interaction via video, email, and phone extension, all of which are functioning perfectly even in our distributed environment. Thank you and be well!

----- Forwarded message -----

From: Shana Olson <solson@ci.lebanon.or.us>
Date: Wed, Jul 15, 2020 at 5:12 PM
Subject: RE: Colonia Paz 1 Affordable Housing Project
To: Jim Lord <jim@ashleyvance.com>

Hi Jim,

The City's existing water and sewer systems have been sized to meet current zoning for vacant properties including treatment plant capacities. This development is anticipated as part of the existing facility master plans and the City services located in Weldwood Dr have been sized accordingly.

Let me know if you need anything else.

Thank you,

Shana Olson

Project Manager – Development Engineering Environmental

City of Lebanon | 925 Main Street | Lebanon OR 97355

Tel: 541.258.4265 | Fax: 541.258.4955



From: Jim Lord <jim@ashleyvance.com>
Sent: Wednesday, July 15, 2020 4:50 PM
To: Shana Olson <solson@ci.lebanon.or.us>
Subject: Colonia Paz 1 Affordable Housing Project

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hi Shana,

I know we have discussed this in meetings and over the phone, but can you provide me a written response (email reply is fine) that the existing sewer main and water line in Weldwood Drive that we will be connecting to the new apartment building too has sufficient capacity to support this development?

Let me know if you need any additional information from me.

Thanks!

Jim Lord, PE

Ashley & Vance Engineering

Civil • Structural

33 NW Franklin Ave | Bend, OR 97703

o. (541) 647-1445 x179 | c. (541) 318-9132

www.ashleyvance.com

In response to COVID-19, we are doing our part to flatten the curve by working remotely. We welcome any and all social interaction via video, email, and phone extension, all of which are functioning perfectly even in our distributed environment. Thank you and be well!

Attachment #11

Part One: General Information

Lebanon Community School District
485 S. 5th Street
Lebanon, OR 97355
Superintendent: Bo Yates
Assistant Superintendent: Jennifer Meckley

Part Two: Narrative

Brief description of your school district/eligible charter school:

Lebanon Community School District (LCSD) serves approximately 4202 students in a semi-rural bedroom community with a growing population and recent surges in the business and academic community. There are eight schools; four K-5/6, two K-8, one middle school, and one high school. There is an alternative option academy for secondary students who are at-risk. There is one charter school that is K-8, Sandridge. 52% of our students are male, 48% female, and we have 4 students who identify as non-binary. Less than one percent of our students are migrant or from officially recognized Native American tribes. Five percent of our students' first language is not English, and one percent were born outside of the US. Student ethnic demographics are as follows: 6% mixed race; 11% Hispanic/Latinx; 1% Native American; 1% Asian, .5% Black, and 80% White.

Lebanon hosts the sixth largest osteopathic medical college in the US. A brand new, state-of-the-art Veteran's Home has been added, and these two entities, along with the Good Samaritan Hospital organization, the city of Lebanon, and the school district, have created a large multi-use area which houses a four-star hotel and fine dining. The downtown area is growing new businesses. There are many organizations that have come alongside the district, and this sets the stage for a wealth of support in terms of partnerships and planning.

In 2010 we did a long-term visioning process that collected input from almost 15% of the city's population, and the 2020 vision was born. From the direction of that vision, we have spent significant funds on training and professional development. We currently have early releases in every building K-12 every Wednesday for afternoon Professional Development (PD) and Professional Learning Communities (PLCs). We provide training for new teachers outside of the school year. We are an Achievement Via Individual Determination (AVID) district with trained staff in every building. We have implemented Positive Behavior Interventions and Supports (PBIS), Response to Intervention (RTI), Educational Non-Verbal Yardsticks (ENVoY). We have done professional development in the areas of Social Emotional Learning (SEL) and Equity work. We participated in the Equal Opportunity Schools (EOS) Grant to focus on Advanced Placement (AP) enrollment of historically underserved students and developed support systems for academic success. We have devoted time and funds in mental health support, suicide prevention, racial-equity work, culturally responsive teaching strategies, and more.

Our Overarching District Goals are as follows:

1. Increase student achievement by 3% each year.
2. Ensure that 90% of each cohort read at grade level (40% or higher on the STAR assessment) by the end of 3rd grade.
3. 90% cohort graduation on-time (4 years).

LCSD has directed targeted support toward programs that provide immediate supports for students below grade level or at-risk. We implemented a limited summer school program for Kindergarten through 6th grade last summer for six weeks. We have a strong commitment to helping all students rise to grade-level achievement standards and pursue this goal with aggressive passion.

Our focal groups require specific and targeted supports which we are addressing as we learn from the data and engagement activities. However, the one area we have been working on for years, which remains a significant challenge is in Special Education (Sped). LCSD has 19% of students receiving services, with more referred and reviewed daily. Teacher caseloads are high, and our ability to increase staffing has proved challenging. We continue to develop systems with a strong foundation that supports both academic and behavioral issues.

We already have ongoing professional development, training, and program implementation imbedded in our district culture. Still, even with all of these efforts, the academic and social and emotional growth and progress of our students need more resources and support. The fact of the matter is that we do not have sufficient personnel to implement the programs, systems, and processes for which we have been trained. Our staff produce results, but the scope is limited due to staffing and resources.

Exact need(s) or issue(s) SIA funding will address as outlined in your three-year plan and as it relates to the two purposes stated in the law (meeting students' mental & behavioral health needs and reducing disparities and increasing academic achievement)

Based on the data we have collected and the input we have gathered, we know that the areas we must address are as follows:

- Kindergarten transition/preparation
- Early Literacy K-3 including English Language acquisition
- Social, emotional, mental, and behavioral support for students
- Personal safety in terms of a positive and inclusive climate, the elimination of bullying, and improved inclusion of our diverse sub-groups.
- A well-rounded program that increases academic and extra-curricular opportunities for all students and extends access to all students by mitigating barriers.

Kindergarten transition is vital because, according to the Oregon Department of Education (ODE) Kindergarten-readiness data LCSD has the lowest Kindergarten readiness scores in the county, and Linn County is one the lowest in the state. We need to assess which areas are of greatest need among the students so we can determine staffing and resource levels.

Early literacy support is an immediate need due to the fact that only 46% of our 3rd graders are at grade level, as reported by the state report card. There is a small outlying school that will need a 0.5 FTE ELA specialist who can address the needs of Emerging Bilingual (EB) students to help with language acquisition and support general instructional goals in the regular education classrooms. We need Instructional Assistants (IAs) in each Kindergarten class to decrease the ratios of student to teacher in order to support the readiness deficiencies and provide additional literacy supports for the classroom teachers. We also want to have one dedicated IA each for grades 1st through 3rd to ensure the fidelity of the interventions. Middle school instructional assistants will support those students who arrive at 6th grade underperforming and utilize intervention as well as decrease the ratios of student to teacher, decreasing overall class size. The addition of a bilingual IA will significantly increase support for EB students in terms of general learning and language acquisition.

Summer school and extended day programs that will allow the district to provide increased support in the form of interventions and small-group or individual instruction. Summer school will also decrease the amount of time students who struggle, go-between school years, which supports the retention of learning.

Our largest subgroup of students with behavioral, social/emotional, or mental issues is in Special Education. There are 194 students in grades Kindergarten through 3rd grade on Special Education Individual Education Plans (IEPs) with 45 currently in the referral process and another 25 projected to be referred before they end of the school year. Of our 800 Sped students K-12, 22% have behavior as part of the IEP. Sped students have disproportionate numbers of referrals, suspensions, and expulsions as related to the size of their population as compared to other subgroups. Among Sped students there are also EB students and students of color or other historically underserved populations who need support, so we need to add a Sped certified teacher who is trained in issues of EB students and equity issues as well. Sped IAs are vital to ensuring that all IEP requirements are met and students receive services.

The need for behavioral support in the form of TOSAs who are trained in Equity and Cultural Responsiveness will allow the district to analyze and reflect on the data from an equity perspective they interact with and learn from students and staff as they identify systems issues and inequities and develop better processes and systems to support all parties. However, some behaviors are rooted much more deeply and need specialized support. Mental health specialists are needed to deal with those issues that are currently bogging down our behavioral staff, academic counselors, teachers, and administrators. The periodic support received through the county is simply not sufficient to meet the needs.

The TOSAs will work with all of our other system teams (PBIS, RTI, AVID, etc.) to develop comprehensive building systems to address climate and safety issues presented in our findings as we gather data and observe current practices with the intent of implementation of rules and procedures that are fair and equitable while still manageable for staff. Inclusivity is a need that can be addressed with a systemic solution that involves all stakeholders and meets the diverse needs of our focal group populations.

The addition of support for an alternative education program to prevent drop-out and support at-risk students is necessary due to the particular needs of students who have reached the secondary level, and the supports of the primary level were not able to bring the students in line academically, behaviorally or in both areas. Specifically, adding a counselor to address the behavioral and social-emotional needs of students will provide much needed one-on-one support and guidance.

LCSD wants to increase access to Physical Education (PE), Music, and Career and Technical Education (CTE) programs with funds used to add Full-time employees (FTE) and resources, as well as use capital outlay to add a PE classroom and a playground to support the facility needs of a base for a well-rounded education. Additional course offerings at the middle school level and opportunities for exploration of career-related programs at the younger grades will help to provide knowledge of post-secondary options and potentially encourage completion through high-school. Providing more electives and activities will increase student buy-in and help to impact attendance and behavior positively.

In order to truly impact the achievement gap in a meaningful way, there needs to be an ongoing program of communication with families in our focal groups. Our largest sub-group that is not related to Sped is our Hispanic and Latinx group. The need for a Bilingual Liaison is evident and pressing. Communication with families and transmitting information back and forth between the schools, students and families requires a single-point of contact to coordinate events, activities and school-related information in an effective manner. A translator who is proficient at writing and communicating in Spanish is important to ensure all documents are as accurate as possible. An engagement coordinator will work with the district leadership and involve the Bilingual Liaison in creating a plan for communication to involve all stakeholders. This person will design a survey that will be used annually to provide a continuous flow of input and communication of results between stakeholders.

PART THREE: Community Engagement and Input

Describe your approach to community engagement. Include who you engaged, frequency/occurrence, how you ensured engagement of staff and focal student groups, key information you collected, who you partnered with in the engagement efforts. (250 words or less)

Community engagement work focused on discovery of pertinent information to identify areas of concern. Groups needing support include the following groups (all groups engaged in the process and will participate continuously from now on): Special Education; low SES; Minorities; and other groups with gaps, needs, or deficiencies. The focus is on improving academic achievement, closing achievement gaps; and, addressing social/emotional/behavioral issues and barriers. Input collected includes disaggregated stakeholder perception data and longitudinal academic and behavioral data.

We developed and disseminated surveys, conducted evening invitational meetings in the schools, conducted round table discussions with various stakeholder groups, and invited as many community members as possible to participate. We provided time for staff during paid work

hours and meeting times to seek input and encourage contributions from classified and certified employee groups. We partnered with numerous groups and official entities. The local Chamber of Commerce; Optimist Club; Athletic Booster Club; Boys and Girls Club; Samaritan Medical Organization; the local medical college, the community college; as well as Live Longer Lebanon community coalition group all provided access to diverse community member groups and helped encourage participation of stakeholders in the surveys, meetings, and conversations conducted to solicit information and input.

All invitations and information for families and community members were produced in bi-lingual format to ensure inclusion of the local Latino community, which is our largest minority group. Engagement activities monthly and ensure that targeted populations have activities to which they are proactively invited.

Self-assessment about the quality and nature of your engagement of focal students, families, and staff. If the goal is meaningful, authentic, and ongoing community engagement, where are you at in that process? What barriers, if any, were experienced, and how might you anticipate and resolve these issues in future engagements? (500 words or less)

This process must be meaningful and productive, so we have taken care to ensure that the work is done with forethought and planning to include all groups and connect with stakeholders. Our focus was and continues to be two-fold; identifying and addressing student issues and supporting staff to effect change. The impetus is helping students with needs that impact success. Focal groups of this process are Special Education students; students with disabilities, behavioral issues, or mental health issues; students impacted by issues of equity due to race, ethnicity, or gender; students with gaps in learning due to mobility or other socioeconomic circumstances; underprivileged students; and, families in need.

Providing staff with the resources and training to implement the systems and processes is vital for success. Staff has been provided surveys, included in focus group conversations, and given opportunity to give input regularly. Classified and certified staff have provided significant information to the process and will be included continuously.

The process has been guided by the precepts that we must gather enough accurate information to assess the situation effectively and then address issues effectively. We utilized external specialists to develop and implement an engagement process to disseminate information, solicit needed input, and review feedback. In order to ensure that information is accurate, we provide opportunities for input that are confidential.

As part of the process, there were glitches in learning the best methods for communicating with parents about the nature of our efforts. We discovered that having multiple points of communication is vital. We now ensure that bi-lingual information and survey links are included on the district website and all school websites. We provide hardcopy and electronic information to all stakeholder groups. We also discovered areas that our surveys can be adjusted to become annual data collection tools.

In general, our system of engagement has developed into a sustainable cycle-model of input solicitation from stakeholder groups; examination and analysis of student data; examination of input from stakeholders; adjustments in practice as determined by the data; and, communication back to the stakeholders.

What relationships or partnerships will you cultivate to improve future engagement? (150 words or less)

The district enjoys established relationships with the local Chamber; Optimist Club; Booster Club; Boys and Girls Club; Samaritan Health; Western COMP (medical college) LBCC; Live Longer Lebanon community coalition; City of Lebanon; Veteran's Home; and, the local Ministerial association. We will continue to work with them as we develop options for our students. We are part of the Regional Racial Equity group focused on engagement and support for our focal groups and will involve that in our SIA implementation.

We collaborate with all stakeholders to improve our community. LCSD will continue reaching out to groups as we discover them. We will utilize established communication and input methods to maintain interactive support for our efforts. Website updates and a newsletter outline the work, the process, upcoming opportunities for engagement and results as discovered will be disseminated through all existing communication methods as well as provided at district and building-level events.

What resources would enhance your engagement efforts? How can ODE support your continuous improvement? (150 words or less)

Schools need a comprehensive support system from the state that includes: interim SBAC assessments and results or other assessment information; state-funded support systems for academic and behavioral issues; state provided best-practice trainings that are concise and efficient and do not require extensive professional development; and processes where the state provides the data and information in a simple format that does not require district staff to duplicate information from the state into other forms and documents.

A district collaboration page on the ODE website that shares strategies and processes for other districts to see what is being done in other parts of the state would be helpful as well. Any processes or systems that can be coordinated at the regional or state level to leverage funding or support would also help districts to provide more for their students and families.

Districts are required to upload 5 artifacts of engagement (survey data, meeting minutes, photos, other documents, etc.). Why did you select the artifacts you did? How do they show evidence of engaging student populations, families, and the community? (250 words or less)

Artifact 1 – Parent/Guardian Survey & Community Survey, Responses, and Summaries of Quantitative Responses

Rationale: This document shows the number of individuals who participated in our survey from the parent/guardian (608 responses) and the community (47 responses) groups. It reflects the

opinions and perceptions of these stakeholders. It was a bilingual survey to ensure as much access as possible. It was also an anonymous survey allowing for freedom of response. The comments were added to the comments collected from parent/guardian focus group conversations and other input sessions. All comments were coded and assessed in a qualitative format, and the summary is found in Artifact 5

Artifact 2 – Student Survey, Responses, and Summaries of Quantitative Responses

Rationale: This document shows the responses of 1614 students. There were 524 who self-identified as of an ethnicity in our focal groups. The comments of those students are reflected in a separate section in the qualitative data from our focal groups in Artifact 5. It was a bilingual survey to ensure as much access as possible. It was also an anonymous survey allowing for freedom of response. The comments were coded and assessed in a qualitative format and the summary is found in Artifact 5.

Artifact 3 – Staff Survey, Responses, and Summaries of Quantitative Responses

Rationale: This document shows the responses from 137 staff members. It reflects opinions and perceptions of these stakeholders. It was an anonymous survey allowing for freedom of response. The comments were added to the comments collected from teacher focus group conversations and other input from staff. All comments were coded and assessed in a qualitative format, and the summary is found in Artifact 5

Artifact 4 – Qualitative Data Analysis and Summary

Rationale: This document shows a summary of the primary perceptions of participants in our surveys, focus groups, presentations, and other input sessions. The comments were reviewed to determine which category of expression they fit best: generally positive, e.g., “my school is great” or “my child is happy at school”; expressing a barrier to learning for students, e.g., “math is too hard for me”; or, requesting change or improvement, e.g., “we need more electives.” Each specific concept stated was categorized whenever possible to allow for quantitative analysis (e.g., teachers, food, climate, etc.) The areas with the most comments are reflected in the summary.

Artifact 5 – Photos from Presentations and Focus Group Conversations

Rationale: These photos show physical engagement of stakeholders in the process. They were taken during presentations and focus group conversations. There were no photos taken in small student classes or focal groups due to a desire to make the conversations as comfortable as possible.

Describe the strategies (at least two) that you executed to engage each of the focal student groups, and their families present within your district and community. Your response should include why the strategies were used. (500 words or less).

Strategy 1 – Design an informational communication plan in multi-modal, bi-lingual formats to provide a foundation for the request for engagement from student and family stakeholder groups.

We developed a message for all stakeholders explaining: the need for change in our district; the purpose of the upcoming activities; the nature of our process; and, the future opportunities to participate in the process. The message was presented verbally or in written (hardcopy and electronic) format to each group as part of the activities listed in the next section. The message was translated into Spanish and disseminated to the Latino community and Spanish-speaking students and family stakeholders.

Rationale: It is vital to have a clear and concise message to explain the need for input to improve student achievement and address the issues and barriers that confront students. The message needed to be disseminated to each stakeholder group and as many community partners and members as possible.

The need for multiple modalities and Spanish language translations was evident due to the fact that it would significantly increase ease of access for participation for all student and family stakeholders. Verbal information was stated at meetings (with bi-lingual meetings as an option), in focus group conversations (with bi-lingual options), and in presentations to stakeholder groups. Printed information was produced and translated to Spanish and included in all documents and handouts. Written information is also posted on all pertinent websites where students and families can access the information.

Strategy 2 – Coordinated multi-modal, bi-lingual input opportunities to engage students and family stakeholders.

Information has been solicited from our students and families as part of the data collection needed to assess our current situation as well as inform new work to be done to effect change. The methods for input (surveys, meetings, and focus groups) are fully described in the activities listed in the next section. All input options include the confidentiality of responses to ensure optimum levels of honesty in response from participants.

Rationale: Input directly from the students and their families related to the needs, barriers, and issues surrounding their success academically or in the social/emotional realm is necessary to gauge improvement efforts. Only by requesting engagement in the process and offering opportunity for input and engagement in the process can we address the situation.

Describe the ACTIVITIES (at least two) that you executed to engage each of the focal student groups and their families. Your response should include why the activities were used. (500 words or less)

Activity 1 – Presentations

Presentations were made to student groups and families during the school day (students) and in the evenings (families). Presentations included the informational background and data that informed the district's impetus for implementing a process to solicit information to initiate the creation of a support system for addressing issues that negatively impact students. Information

was presented that related to the disparity in academic achievement due to ability, equity, behavioral issues, social/emotional issues, economic disparity, or other barriers to learning. During the presentations, participants were given information about providing input in open or in confidential/anonymous ways. Presentations were held in English and in Spanish to students and families.

Rationale: Getting the information out was inherently necessary to create awareness of the issues and the opportunities to participate. Presentations were a primary vehicle of communication due to the level of efficiency, ease of implementation, and the ability to increase the scope of implementation on a continuous basis.

Activity 2 - Focus Groups

Focus groups of students and focus groups for parents/families were held in schools during the school day (students) and evenings (families). Groups participated in a guided process with questions. Notes were taken to reflect the responses and input.

Rationale: Focus groups allow for investigation into the perceptions of targeted groups. Groups of similar characteristics can expand upon thoughts generated by the group and provide fuller understanding of the responses. Groups can also increase the comfort of participants and allow for frank and honest input. Focus groups also eliminate any communication barriers due to language or literacy issues.

Activity 3 – Surveys

Anonymous, bi-lingual surveys were sent out in electronic format to students and parents/guardians requesting demographic and other data as well as input for the process. There were multiple-choice, fill-in-the-blank, and open-ended questions.

Rationale: Survey format provided an anonymous platform for enhanced, frank, and honest input. Survey data could be analyzed quantitatively and qualitatively. Limited scope questions (multiple-choice, etc.) allowed for quantitative analysis. Open-ended questions allowed for anecdotal responses and personal opinion data.

Describe the STRATEGIES (at least two) that you used to engage staff. Your response should include why the strategies were used. (500 words or less)

Strategy 1 – Design an informational communication plan to provide a foundation for the request for engagement from staff.

We developed a message for all stakeholders explaining: the need for change in our district, the purpose of the upcoming activities, the nature of our process; and, the future opportunities to participate in the process. The message was presented verbally or in written (hardcopy and electronic) format to each group as part of the activities listed in the next section.

Rationale: It is vital to have a clear and concise message to explain the need for input to improve student achievement and address the issues and barriers that confront students. The message needed to be disseminated to each stakeholder group and as many community partners and members as possible. The need for multiple modalities was evident due to the fact that it would significantly increase ease of access for participation for all staff. Verbal information was stated at meetings, in focus group conversations, and in presentations during meetings. Printed information was included in all documents and handouts. Written information is also posted on all pertinent websites where staff can access the information.

Strategy 2 – Coordinated multi-modal opportunities to engage staff.

Information has been solicited from staff as part of the data collection needed to assess our current situation as well as inform new work to be done to effect change. The methods for input (surveys, meetings, and focus groups) are fully described in the activities listed in the next section. All input options include the confidentiality of responses to ensure optimum levels of honesty in response from participants.

Rationale: Input directly from staff related to the needs, barriers, and issues surrounding student success academically or in the social/emotional realm is necessary to gauge improvement efforts. Only by requesting engagement in the process and offering opportunity for input and engagement in the process can we address the situation.

Describe the ACTIVITIES (at least two) that you used to engage staff. Your response should include why the activities were used. (500 words or less)

Activity 1 – Presentations

Presentations were made to staff during the workday. Presentations included the informational background and data that informed the district’s impetus for implementing a process to solicit information to initiate the creation of a support system for addressing issues that negatively impact students. Information was presented that related to the disparity in academic achievement due to ability, equity, behavioral issues, social/emotional issues, economic disparity, or other barriers to learning. During the presentations, staff were given information about providing input in open or in confidential/anonymous ways.

Rationale: Getting the information out was inherently necessary to create awareness of the issues and the opportunities to participate. Presentations were a primary vehicle of communication due to the level of efficiency, ease of implementation, and the ability to increase the scope of implementation on a continuous basis.

Activity 2 – Group Input

During meetings and presentations, staff participated in a guided process with questions. Notes were taken to reflect the responses and input.

Rationale: Group conversation allows for investigation into the perceptions of staff. Collectively, staff can expand upon thoughts generated by the group and provide fuller understanding of the

responses. Groups can also increase the comfort of participants and allow for frank and honest input.

Activity 3 – Surveys

Anonymous surveys were sent out in electronic format to staff requesting demographic and other data as well as input for the process. There were multiple-choice, fill-in-the-blank, and open-ended questions.

Rationale: Survey format provided an anonymous platform for enhanced, frank, and honest input. Survey data could be analyzed quantitatively and qualitatively. Limited scope questions (multiple-choice, etc.) allowed for quantitative analysis. Open-ended questions allowed for anecdotal responses and personal opinion data.

Describe and distill what you learned from your community and staff. What you learned or are actively learning. How you applied the input to inform your planning (250-500 words)

LCSD reached out to all stakeholder groups. The students, staff, parents, and community groups were all offered the opportunity to answer a survey with quantitative and qualitative answer options. Students in the focal groups and their parents were also invited to participate in focus group and small group conversations to gather qualitative information.

- 1614 students - 3729 comments: 47% positive responses, 37% changes desired, 16% felt there were barriers to their education. Primary areas for change were: climate, inclusivity, safety, bullying, rules, disengagement, and specific course issues with core subjects.
- 545 focal group students - 1636 comments: 39% positive, 38% changes desired, 23% felt there were barriers. Primary areas for change were: climate, inclusion, bullying issues, academic support needs, disengagement, and specific core course issues
- 608 parents - 1137 comments: 66% positive, 33% change desired, 1% barrier mentioned. Primary areas for change were: communication, climate, inclusion, bullying, and content-specific issues.
- 150 staff – 517 comments: 13% positive, 87% change desired. Primary areas for change were: work-load, prep/planning time, professional development, increasing instructional time, and addressing behavior.
- 47 Community members – 335 comments: 7% positive, 93% change desired. Primary areas for change were: college-career preparation, communication, and teacher quality.

These findings have been incorporated in our SIA plan in the following ways:

1. Inclusivity of focal groups will be supported by the addition of language-specific supports provided by the bilingual Liaison, the translator, and the engagement coordinator. Ongoing community engagement will be the primary focus. Working with the administration at the building and district level, these positions will provide information for all district programs with input from all focal groups.
2. Climate, behavior, and rules issues will be part of the TOSA work in coordination with existing district programs. Mental health professionals will support this work. The alternative education program is an important part of this strategy as well.

3. Academic support will be addressed with the additional IAs, Sped staff, and the extended day and summer school programs.
4. A well-rounded education program addresses many of the comments about disengagement, preparing for college and careers, and increasing courses and programs that meet diverse student interests and increases intrinsic motivation and engagement in school.

PART FOUR: Data Analysis

Describe the data sources used and how the data informs equity-based decision making (150 words)

Data sources included: Summative Assessment Data (SBAC, EasyCBM, STAR); Behavioral Data (SWIS, Attendance Data); Academic Achievement (3rd Grade Literacy and Math, 9th Grade On-Track, Graduation Rates); and Survey Responses from focal student groups/families, staff, and the community (Quantitative and Qualitative).

Information solicited from the focal groups was the primary data source for the development of a district-wide understanding of who these students and families are and what their perceived needs are as things stand now. We understand clearly that emotional needs must be met in order for school to be a safe and positive place for all students. Academic achievement is contingent on many things, but attendance and participation are two of the largest contributors, and for the focal groups, this data supports the need for significant support at the small group and individual level to develop a cohesive system of academic and social/emotional support to bridge the achievement gap.

EQUITY LENS: Describe how you used the equity lens or tool (250 words or less)

Lebanon Community School District has a history of disaggregating data down to the sub-group level to determine gaps and needs for equitable responses to the needs of historically underserved populations. The equity lens was reviewed by the SIA grant writing team and disseminated to all leaders involved in the engagement process, the data collection and analysis, and the overarching design of the proposed plan for the SIA grant.

All data was reviewed in light of the equity lens. All plan aspects are designed to address the needs uncovered in the engagement and data analysis and reflect the priorities of ODE and the district in the identified areas of the grant. The need for additional instructional staff was showcased in the input from staff who overwhelmingly concurred that there is not enough time for them to implement all of the strategies they have been trained in due to large class sizes, or classes with many students with diverse needs.

Our district plan involves providing enough staff to meet the needs of early learners, emerging bilingual students, students with special needs, and historically underserved and marginalized population students. Increasing staff who have been trained in Culturally Responsive Teaching practices, Socio-Emotional Learning curriculum, Racial Equity practices, and ENVoY behavior management strategies will ensure that every student has at least one staff member who is paying

attention to their needs and helping to develop the academic and social/emotional strategies that will lead to success in all areas.

PART FIVE: Student Investment Account (SIA) Plan Outcomes:

Outcome #1: Increase academic achievement for students, including reducing academic disparities for identified student groups

Outcome #2: Meet students' mental or behavioral health needs

Outcome #3: Ongoing Community Engagement

1. How are the resource allocations in your budget reflective of the outcomes you are trying to achieve?

Our goals are very clearly aligned to student to teacher ratios and access to resources.

We have 52 activities or sub-activities in total. Of those, 21, less than half, are also budget line items. In Plan A, we are strategically funding 66.5 FTE to do the work reflected in the non-monetary line items. Seven of those line items are for licensed (\$544,000), six are classified and only one is administrative. 22 of the positions are for summer school or extended day and do not involved additional overhead of insurance to allow for more staff in a fiscally responsible manner.

Information needed for cultural changes in our district and improvement of our inclusion and support for our focal groups will be provided regardless of staffing, but will be much more effective with the resources allocated in this budget.

The other items in Plan A are providing the necessary facilities (\$60,000) services (\$130,000) and resources (other non-dedicated funds) for the plan to work.

Theory of Action for the Budget: If we provide competent staff to organize and lead our programs, there will be efficiencies and creativity to effect change. Additionally, coordination will create monetary savings and provide for more funds to go to activities that directly impact students.

2. Where do you expect to put most of your focus, resources and energy in the first year?

Our priorities for the first year are as follows:

1. Staffing of the positions we need filled in order to do the work we have set before us.
2. PD and training to ensure fidelity of implementation
3. Comprehensive calendar of programs and events to coordinate district work
4. Collaboration for planning
5. Implementation of the following:
 - a. Extended day and summer school programs

- b. Pre-K transition program
- c. ELA and Early Literacy support and interventions
- d. Alt Ed/Drop-Out Prevention Program
- e. Inclusion of focal groups
- f. Ongoing community engagement

3. In what ways might your priorities shift within your plan based on resource availability?

Understanding that districts across the state will be looking for employees to meet their SIA objectives, here are the secondary activities/interventions we will implement to work toward each area:

- Climate/Culture of access, compassion, understanding, acceptance and equity.
 - PD related to behavior management from an equity standpoint.
 - Substitutes to provide time for committees to work and provide recommendations.
- Class size/work load issues
 - Shared additional staff, rather than dedicated
 - Potentially staggered start/end times
 - Activities for students with other staff to provide prep/planning time.
 - Provide substitutes for teams to review/address assessment issues and needs and make suggestions for limiting instructional time used for testing.
 - Substitutes to provide time for committees to work and provide recommendations.
- Summer School
 - Increased involvement with other organizations.
 - Shared staffing for whole district rather than building specific
 - Decreased scope
 - Decreased time
 - Substitutes to provide time for committees to work and provide recommendations.
- Kindergarten transition
 - Extended year contracts for current employees
 - Periodic staffing of invitational opportunities for incoming kindergarten students.
 - PD and training of staff to provide individual and small group interventions for students who are not ready for school
 - Substitutes to provide time for committees to work and provide recommendations.
- Early Literacy
 - Grade-level appropriate curriculum purchases and associated training
 - Extended contract time of current employees to work longer year or day.
 - Shared personnel across levels or buildings
 - AVID strategies PD for later grades (post 3rd grade) to support students who arrive under grade level.
 - Substitutes to provide time for committees to work and provide recommendations.

- Equitable support and interventions to close the achievement gap for historically underserved populations in our district
 - PD for all staff to understand and address inequities and cultural difference issues
 - Purchase of and training for programs to inform/teach students
 - Building climate surveys
 - Substitute and Additional compensation for committees/teams to address issues
 - PD and Training of all behavior staff about racial/ethnic disparities and awareness

- Social/emotional/mental health supports
 - Expand current contracted services
 - PD/Training for staff related to identification and referral options
 - Substitute and Additional compensation for committees/teams to address issues

- Alternative Educational Supports to prevent drop-outs and support at-risk students.
 - Create and staff an “in-house” program at the high school for 9th and 10th graders.
 - Substitute and Additional compensation for committees/teams to address issues

- Well-rounded educational options and opportunities
 - Shared programs across buildings
 - Stipends for current staff to support new clubs and programs
 - Curriculum materials
 - Support staff who want to add endorsements
 - Coordinate a volunteer program to solicit helpers and relationships with other organizations
 - Substitute and Additional compensation for committees/teams to address issues

Student Investment Account: Year One, Plan A (2020-2021)

ODE Outcome #1: Increase academic achievement for students, including reducing educational disparities for identified student groups

LCSD Strategy #1: Kindergarten Transition Program

Theory of Action: If we assess pre-Kindergarten students for academic and social/emotional readiness, we can ensure appropriate staffing and resources at the Kindergarten level to address disparity and inequities.

Measures of Evidence for Strategy #1

1. Disaggregated benchmark data in ELA for Kindergarten
2. Purchase and implementation of evidence-based reading intervention materials
3. Teacher feedback on the effectiveness of the program
4. Number of students at grade level at the end of each year.

Activity 1.1 – Pre-K Transition Program - Materials & Resources

ODE Outcome #1 (Cont.)

LCSD Strategy #2: Early Literacy Focus

Theory of Action: If we focus on literacy in the early grades, more students will be on track by the end of third grade and ready to progress at the appropriate level.

Measures of Evidence for Strategy #2

1. Disaggregated benchmark data in ELA for grades Kindergarten through Third Grade.
2. Decreasing numbers of students needing interventions.
3. Aligned systems and programs (scope and sequence, etc.)
4. Number of students at grade level in each grade at the end of each year.

Activity 2.1 – Special Education Teachers and Instructional Assistants (IAs) trained in EB, Equity and Culturally Responsive Teaching practices

- 2.1a - 24 - K-3rd Grade IAs (one in each Kindergarten, and one per grade level)
- 2.1b - Four – 6th-8th Grade IAs
- 2.1c - Four – Special Education trained IAs
- 2.1d – 0.5 FTE EB/ELA Teacher
- 2.1e – One – Special Education Teacher trained in EB, Equity and Culturally Responsive Teaching practices

Activity 2.2 – English Language Acquisition Support

- 2.2a One bilingual IA
- 2.2b Resources for EB/ELA instruction and support

Activity 2.3 – Summer School/Extended Day Programs

- 2.3a – 11 - K-6 summer school and extended day certified instructors
- 2.3b – 11 - K-6 summer school and extended day IAs
- 2.3c - Resources for summer school and extended day instruction and support
- 2.3d – Funding for Charter School Summer School and Extended Day Program

Activity 2.4 – ELA Intervention Resources

- K-3rd Grade programs for ELA interventions

Activity 2.5 – Professional Development

- 2.5a - Alignment of practices
- 2.5b - Teamwork and Collaboration
- 2.5c – Training
- 2.5d - Planning and Implementation

ODE Outcome #1 (Cont.)

LCSD Strategy #3: Assessment Coordination

Theory of Action:

If we have one person to oversee all testing in the district, we can streamline processes and utilize testing in a comprehensive system that maximizes the usefulness of data and minimizes classroom interruptions.

Measures of Evidence for Strategy #3

1. Hiring of Assessment Coordinator who will coordinate a district-wide program with teams and leadership at the building and district level.
2. Development of assessment program K-12
3. Development and implementation of an assessment calendar
4. Development of meaningful communication and reports for stakeholders.
5. Development of a longitudinal data collection program with reports

Activity 3.1 – **Hire 0.5 FTE Assessment Coordinator**

Activity 3.2 – **Evaluate current assessment practices and systems**

Activity 3.3 – **Determine changes in program**

Activity 3.4 – **Develop comprehensive program and calendar**

Activity 3.5 – **Develop longitudinal maintenance of data process**

ODE Outcome #2: Meet students' mental or behavioral health needs

LCSD Strategy #4: Teachers on Special Assignment (TOSAs)

Theory of Action:

If our behavior program is based in best-practices associated with closing the gap and ensuring equity, our students will have a safe learning environment. If all of our behavior and academic programs have one primary point of leadership, our resources will be concentrated and focus and limit overlap and redundancy, making effectiveness, efficiency, and fiscal responsibility possible.

Measures of Evidence for Strategy #4

1. Hiring of TOSAs who are trained in best-practice equity processes and procedures to work with students with behavioral issues and their families in order to; examine the data related to behavior, attendance, and other issues; identify and rectify systemic issues that interfere with the students' academic experience; and, provide support and appropriate recommendations and referrals.
2. Data collection and analysis by TOSAs
3. Collaboration activities with PBIS, RTI, PD teams and other leadership
4. Development and ongoing review and refinement of processes and systems
5. Behavior and academic data of students

Activity 4.1 – **Hire Five TOSAs**

Activity 4.2 – **Design framework for collaboration between teams and leadership**

Activity 4.3 – **Determine data collection and analysis process**

Activity 4.4 – **Train teams in collaboration expectations and outcomes**

Activity 4.5 – **Develop system for ongoing review with clear rubric for evaluating program**

Activity 4.5 – **Ongoing Professional Development**

ODE Outcome #2 (Cont.)

LCSD Strategy #5: Two District-Wide Mental Health Specialists

Theory of Action:

If we have mental health specialists that can address more serious issues with students, counselors, Special Education Staff, and other building-level personnel can provide services and effective systems for the general population of the school and create stability.

Measures of Evidence for Strategy #5

1. Hiring of Specialists
2. Referral information
3. Data related to students served

Activity 5.1 – **Hire Two Mental Health Specialists**

Activity 5.2 – **Provide training and PD related to district programs and systems**

Activity 5.3 – **Develop a referral process**

Activity 5.4 – **Collect and analyze data related to the program**

ODE Outcome #2 (Cont.)

LCSD Strategy #6: Alternative Education Program for Drop-Out Prevention at the Secondary Level

Theory of Action:

If we provide a program that meets the needs of at-risk students by providing appropriate supports and resources, students will be able to complete formal secondary education with a Diploma or GED.

Measures of Evidence for Strategy #6

1. Development of process and system
2. Handbooks and other related documents
3. Student behavioral and academic data
4. Completion data (Diploma acquisition or GED)

Activity 6.1 – **Alternative Ed. /Drop-Out Prevention Administrator**

Activity 6.2 – **Alternative Ed. /Drop-Out Prevention Counselor**

Activity 6.3 – **Review data on at-risk students & Determine need**

Activity 6.4 – **Develop comprehensive program w/ system for data collection and analysis**

Activity 6.5 – **Create documents (handbooks etc.) for communication**

Activity 6.6 – **Determine systems for coordination for student to enter and exit program**

ODE Outcome #2 (Cont.)

LCSD Strategy #7: Well-Rounded Educational System

Theory of Action:

If we provide a variety of programs and activities that enhance the experiences of students, the following will occur: attendance and behavior will improve; engagement in academic learning will increase; graduation rates will increase; and overall positivity towards school, relationships, and self-image will result.

Measures of Evidence for Strategy #7

1. Behavioral and academic data
2. Climate/Engagement surveys
3. Graduation rate

Activity 7.1 – **CTE Teacher**

Activity 7.2 – **PE Classroom**

Activity 7.3 – **Playground Area**

Activity 7.4 – **Instruments for the Music Program**

ODE Outcome #3: Ongoing Community Engagement

LCSD Strategy #8: Culturally Responsive Resources

Theory of Action:

If all programs, systems, and processes are communicated and developed with input from all focal groups and other stakeholders in a manner that respects cultural, ethnic, racial, and other social or individually determined identifiers, our schools will be welcoming and engaging for students and families. Attendance and engagement will increase, which will positively impact behavior, academic investment and achievement, and completion of secondary formal education.

Measures of Evidence for Strategy #8

1. Hiring of a bilingual Community Liaison to act as a communicator and resource for families and students
2. Contract a translator to produce documents in Spanish and act as a communicator in coordination with the needs of the District
3. Contracting an Engagement Coordinator
4. Climate/Engagement surveys
5. Communication documents
6. Systems created for ongoing reflection and input
7. Bilingual resources
8. Building and District websites

Activity 8.1 – Bilingual Liaison**Activity 8.2 – Contracted Translator****Activity 8.3 – Develop a comprehensive scope of work for Bilingual Liaison****Activity 8.4 – Translate relevant documents and plan for ongoing updates****Activity 8.5 – Update building and district websites and plan for updates****ODE Outcome #3 (Cont.)****LCSD Strategy #9: Stakeholder and Focal Group Engagement****Theory of Action:**

If we have a coordinator of all engagement activities who can develop and implement an annual climate/engagement survey and then analyze and report out the findings to stakeholders in a comprehensive and informative manner, we will create a climate of communication and respect for all stakeholders.

Measures of Evidence for Strategy #9

1. Contract an engagement coordinator to develop, implement and maintain an annual survey and other ongoing engagement activities
2. Climate/Engagement surveys
3. Communication documents
4. Systems created for ongoing reflection and input

5. Data analysis and reports from survey input.

Activity 9.1 – **Contracted Engagement Coordinator**

Activity 9.2 – **Development of annual survey, process, and implementation plan**

Activity 9.3 – **Survey implementation**

Activity 9.4 – **Analysis of surveys and recommendations to leadership**

Activity 9.5 – **Development of communication plan for disseminating information**

Artifact 1 – Parent/Guardian Survey & Community Survey, Responses, and Summaries of Quantitative Responses

Parent/Guardian Survey-Fall 2019 / Encuesta de Padre/Guardian - Otoño 2019

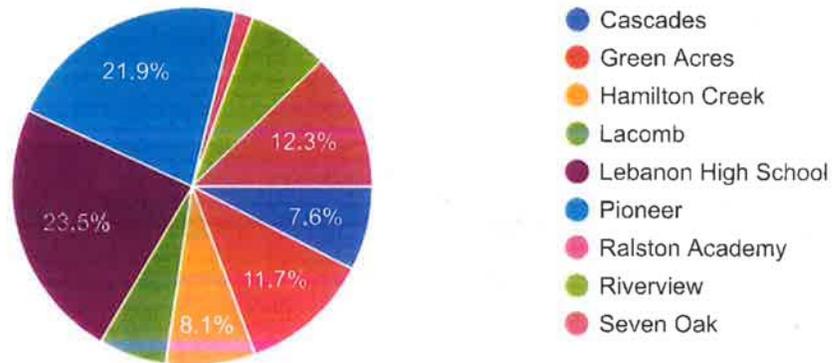
608 responses

[Publish analytics](#)

Untitled Section

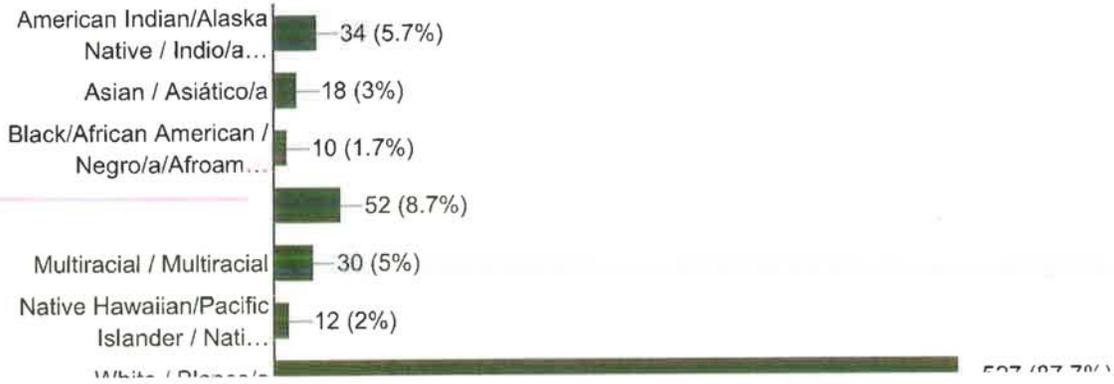
What school does your child attend? / ¿A qué escuela asiste su hijo/a?

608 responses



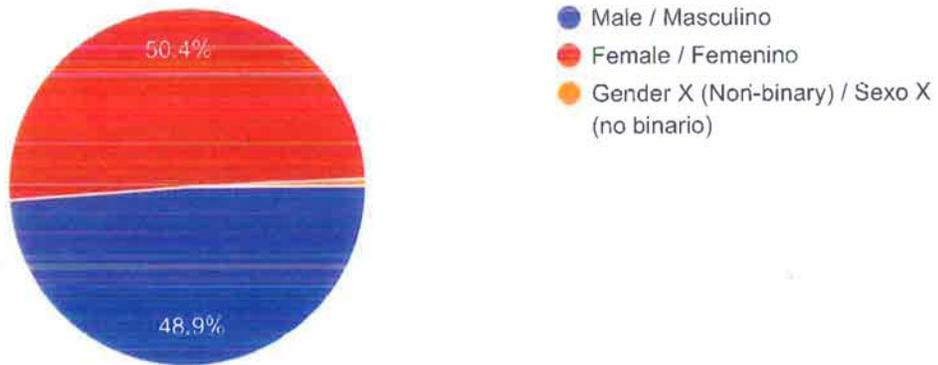
Please check all that apply. My child is: / Por favor marque todos los que apliquen. Mi hijo/a es:

601 responses



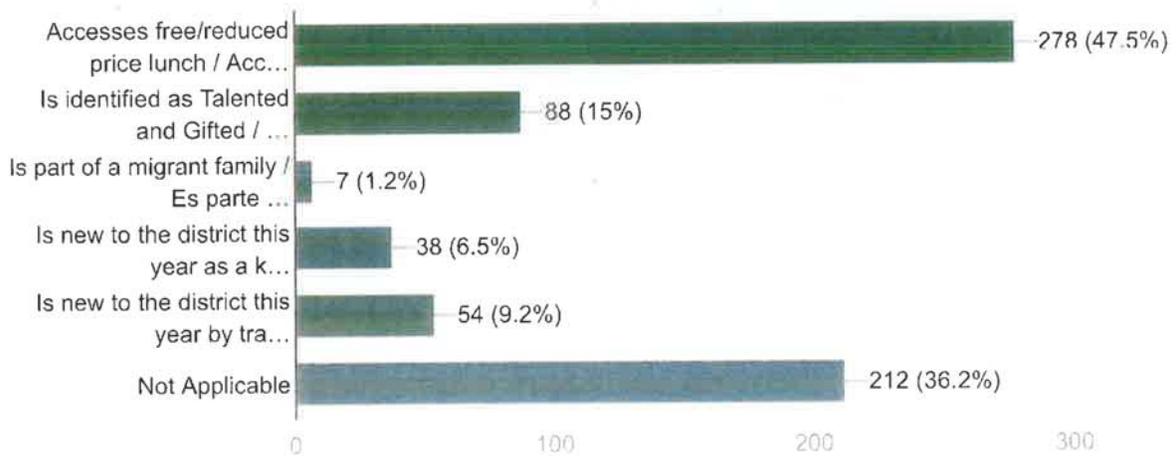
What is your child's gender: / ¿Cuál es el género de su hijo/a?

603 responses



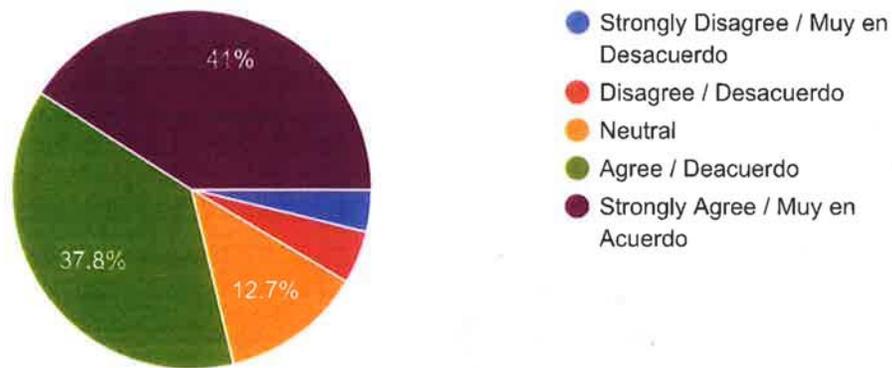
Please check all that apply. My child: / Por favor marque todos los que apliquen. Mi niño/a:

585 responses



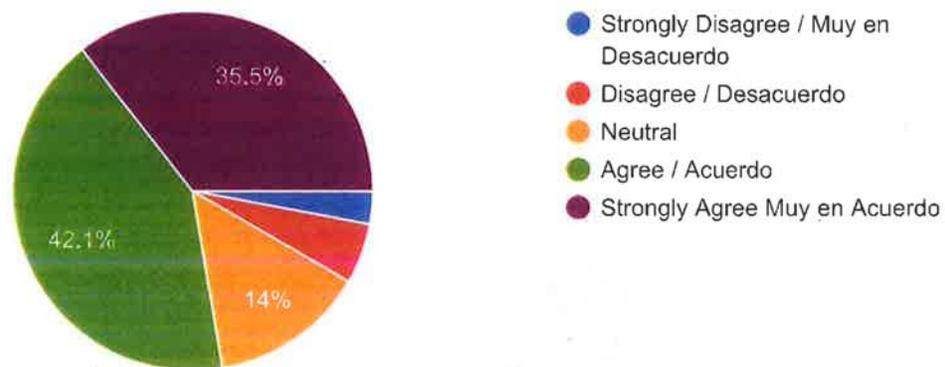
I feel informed about my child's education (through ClassDojo, e-mail, planners, phone, Pinnacle, etc.). / Me siento informado sobre la educación de mi hijo/a (a través de ClassDojo, correo electrónico, planificadores, teléfono, Pinnacle, etc.).

608 responses



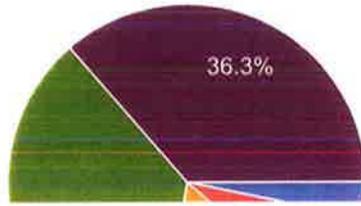
The information I receive about my child's education is useful and timely./ La información que recibo sobre la educación de mi hijo/a es útil y oportuna.

608 responses



My child's teacher(s) keeps me up-to-date on the progress my child is making in school. / Los/Las maestros/as de mi hijo/a me mantienen actualizado sobre el progreso que mi hijo/a está haciendo en la escuela.

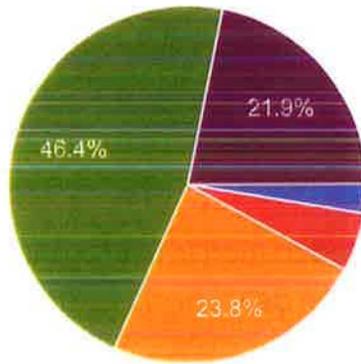
608 responses



- Strongly Disagree / Muy en Desacuerdo
- Disagree / Desacuerdo
- Neutral
- Agree / Acuerdo
- Strongly Agree / Muy en Acuerdo

The school's website is easy to navigate, updated, and helpful. / El sitio web de la escuela es fácil de navegar, actualizado y útil.

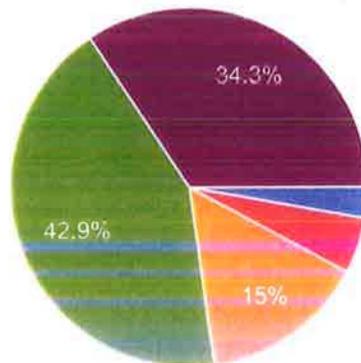
608 responses



- Strongly Disagree / Muy en Desacuerdo
- Disagree / Desacuerdo
- Neutral
- Agree / Acuerdo
- Strongly Agree / Muy en Acuerdo

At school, my child feels he/she/they belong. / En la escuela, mi hijo/a siente que él / ella / ellos pertenecen.

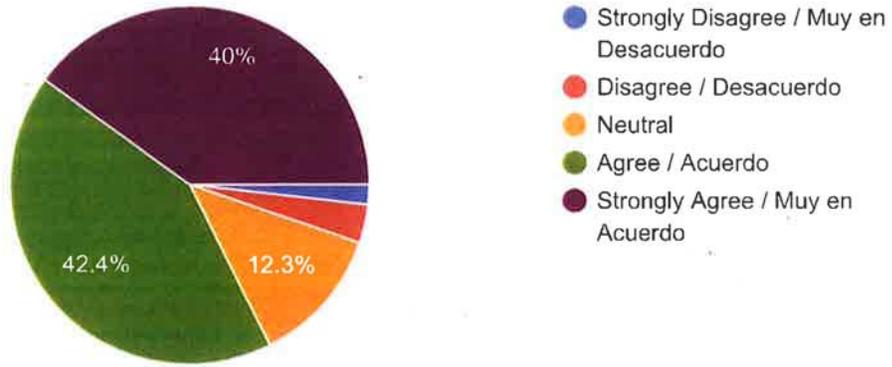
539 responses



- Strongly Disagree / Muy en Desacuerdo
- Disagree / Desacuerdo
- Neutral
- Agree / Acuerdo
- Strongly Agree / Muy en Acuerdo

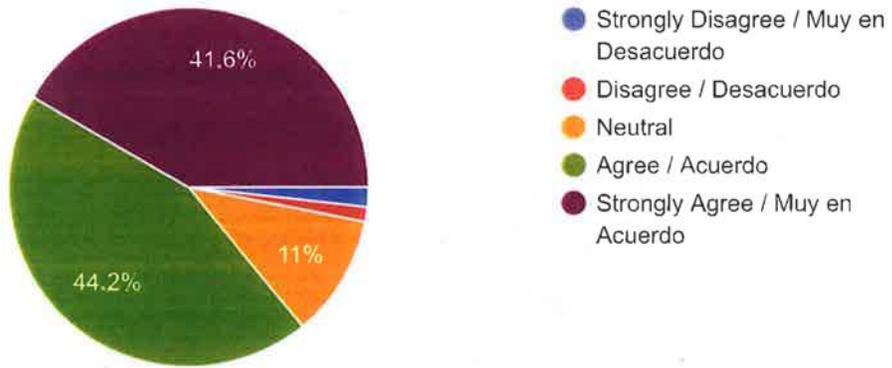
My child has at least one adult in the school building with whom they feel connected. / Mi hijo/a tiene al menos un adulto en el edificio de la escuela con quien se sienten conectados.

608 responses



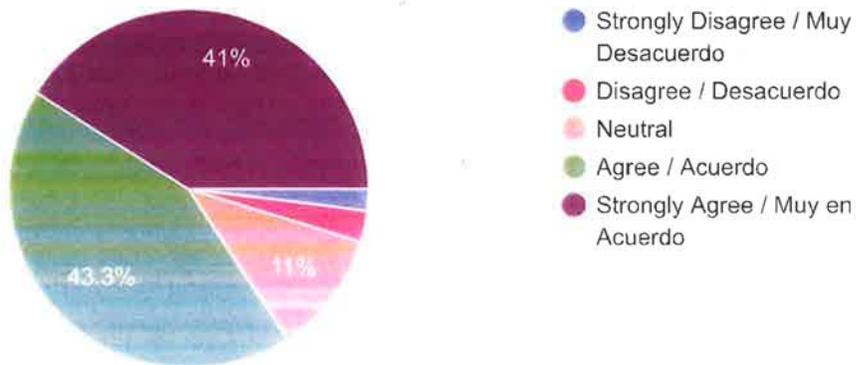
I feel welcome and safe at school. / Me siento bienvenido/a y seguro/a en la escuela

608 responses



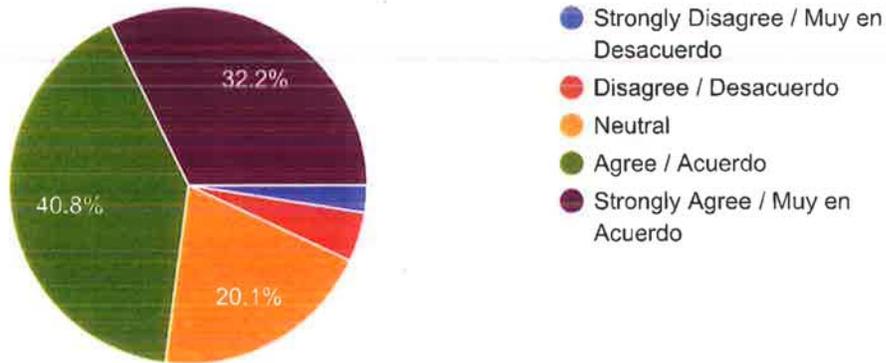
My child feels welcome and safe at school. / Mi hijo/a se siente bienvenido/a y seguro/a en la escuela.

608 responses



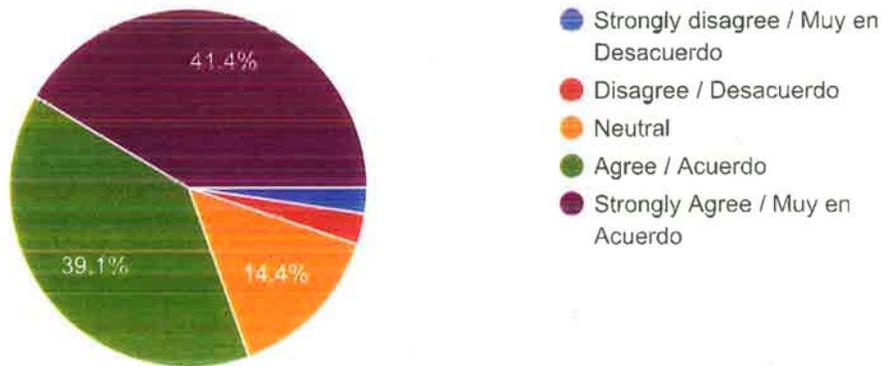
My child's teachers and principal value my opinion. / Los/Las maestros/as y el/la director/a de mi hijo/a valorán mi opinión.

606 responses



At this school, the staff really cares about my child. / En esta escuela, el personal realmente se preocupa por mi hijo/a.

604 responses



The staff at my child's school make decisions that are in the best interest of my child. / El personal de la escuela de mi hijo/a toma decisiones que son en el mejor interés de mi hijo/a.

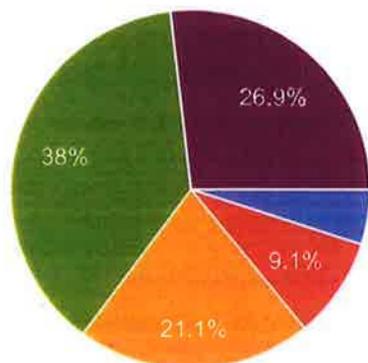
608 responses



Strongly Disagree / Muy en Desacuerdo

School rules are applied equally to all students. / Las reglas escolares se aplican por igual a todos los/las estudiantes.

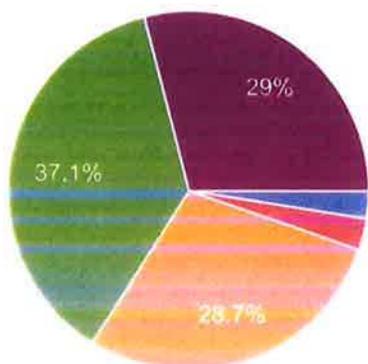
606 responses



Strongly Disagree / Muy en Desacuerdo
 Disagree / Desacuerdo
 Neutral
 Agree / Acuerdo
 Strongly Agree / Muy en Acuerdo

This school encourages students to take challenging classes no matter the race, ethnicity, nationality and/or cultural background (honors level courses, / Advanced Placement, gifted courses). / Esta escuela anima a los/las estudiantes a tomar clases desafiantes sin importar la raza, el origen étnico, la nacionalidad y/o los antecedentes culturales (cursos de nivel de honor, colocación avanzada, cursos de superdotados).

607 responses

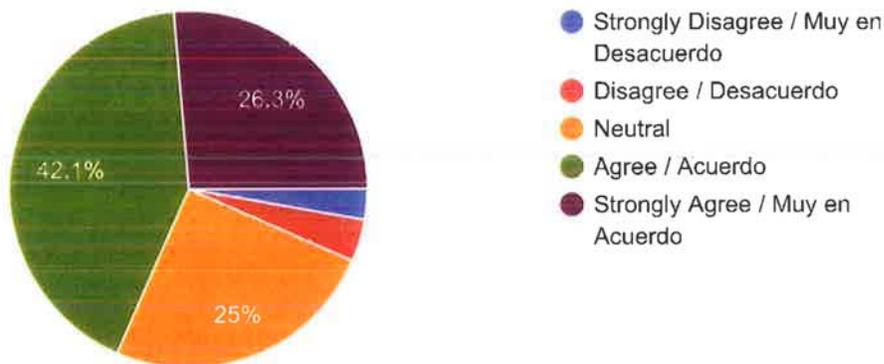


Strongly Disagree / Muy en Desacuerdo
 Disagree / Desacuerdo
 Neutral
 Agree / Acuerdo
 Strongly Agree / Muy en Acuerdo

The culture of my student's school is engaging and inclusive of students from diverse backgrounds. / La cultura de la escuela de mi estudiante es

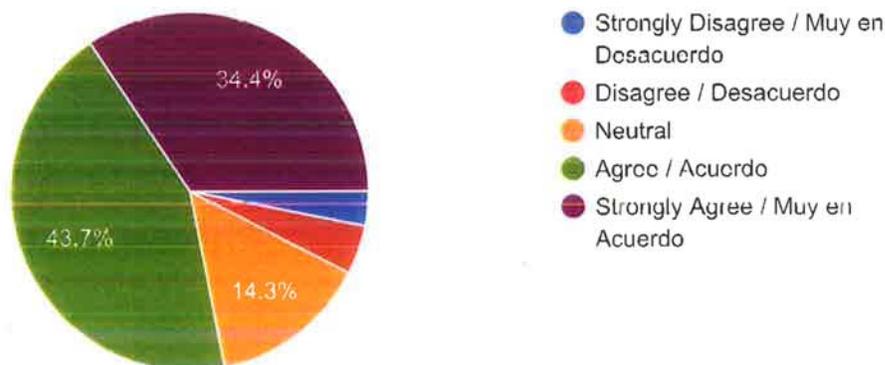
atractiva e inclusiva de estudiantes de diversos orígenes.

608 responses



All students and families are respected and included in my school community, no matter their ability, race, religion, gender identity or economic/background. / Todos los estudiantes y sus familias son respetados e incluidos en la comunidad de mi escuela, sin importar su habilidad, raza, religión, identidad de género o antecedentes económicos.

607 responses



Every student can excel academically in my school. / Cada estudiante puede sobresalir académicamente en mi escuela.

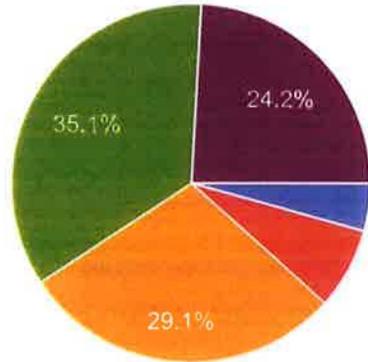
606 responses



- Strongly Disagree / Muy en Desacuerdo
- Disagree / Desacuerdo

The school provides high quality services to help students with social and emotional needs. / La escuela ofrece servicios de alta calidad para ayudar a los/las estudiantes con necesidades sociales y emocionales.

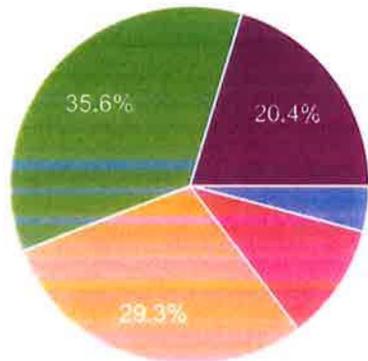
604 responses



- Strongly Disagree / Muy en Desacuerdo
- Disagree / Desacuerdo
- Neutral
- Agree / Acuerdo
- Strongly Agree / Muy en Acuerdo

The school has enough programs that develop students' social and emotional skills (e.g., self-control, problem solving or getting along with others). / La escuela tiene suficientes programas que desarrollan las habilidades sociales y emocionales de los/las estudiantes (por ejemplo, autocontrol, resolución de problemas o llevarse bien con los demás).

604 responses

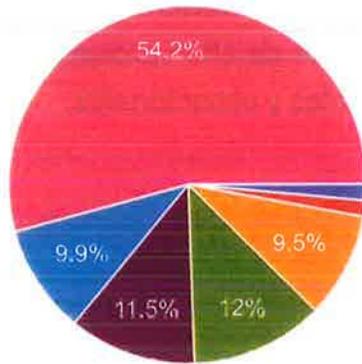


- Strongly Disagree / Muy en Desacuerdo
- Disagree / Desacuerdo
- Neutral
- Agree / Acuerdo
- Strongly Agree / Muy Acuerdo

For AVID students only...AVID strategies (binder, planner, note-taking, goal setting, etc.) help support my child's growth academically and behaviorally.

/ Solo para estudiantes AVID ... Las estrategias AVID (portafolio, planificador, toma de notas, fijación de objetivos, etc.) ayudan a apoyar el crecimiento académico y conductual de mi hijo/a.

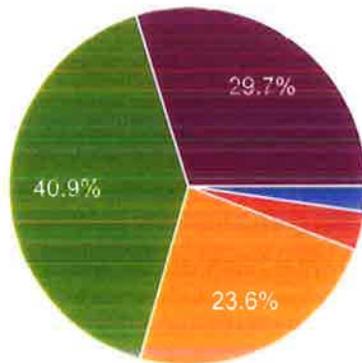
548 responses



- Strongly Disagree / Muy en Desacuerdo
- Disagree / Desacuerdo
- Neutral
- Agree / Acuerdo
- Strongly Agree / Muy en Acuerdo
- I don't know what AVID is / No se que es AVID
- NA

The principal at my child's school is helpful and approachable. / El/La director/a de la escuela de mi hijo/a es servicial y accesible.

602 responses



- Strongly Disagree / Muy en Desacuerdo
- Disagree / Desacuerdo
- Neutral
- Agree / Acuerdo
- Strongly Agree / Muy en Acuerdo

The front office staff at my child's school are helpful and approachable. / El personal de recepción en la escuela de mi hijo/a es servicial y accesible.

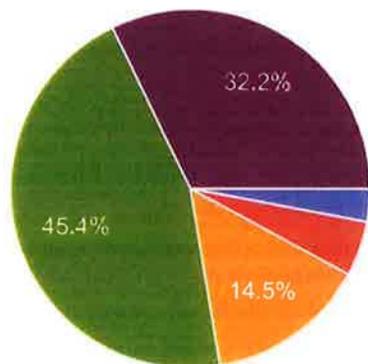
602 responses



Strongly Disagree / Muy en Desacuerdo

I am optimistic that my child's school is moving in a positive direction. / Soy optimista de que la escuela de mi hijo/a se está moviendo en una dirección positiva.

608 responses



Strongly Disagree / Muy en Desacuerdo
 Disagree / Desacuerdo
 Neutral
 Agree / Acuerdo
 Strongly Agree / Muy en Acuerdo

I know my child is getting an excellent education because / Sé que mi hijo/a está recibiendo una excelente educación porque

402 responses

yes

Yes

NA

agree

He is learning.

They are excited to go to school to learn

Grades

N/a

What are some strengths of my child's school? What is working well? / ¿Cuáles son algunas de las fortalezas de la escuela de mi hijo/a? ¿Qué está funcionando bien?

363 responses

communication

Communication

math

na

NA

N/a

The staff is welcoming, it feels like a warm/loving place when we walk in.

I think they always strive to better themselves

What are some areas in which your child's school could improve? / ¿Cuáles son algunas áreas en las que la escuela de su hijo/a podría mejorar?

339 responses

n/a

N/A

na

reading

unsure

Communication

Unsure

Not sure

Thinking about the answers you have previously given, what suggestions do you have that could potentially improve your student's experience at school? / Pensando en las respuestas que ha dado anteriormente, ¿qué sugerencias tiene que podrían mejorar la experiencia de su hijo/a en la escuela?

253 responses

None

n/a

na

N/A

nothing

I'm not sure how things can be fixed.

Listening to students more and calling parents when needed.

None at this time.

If you have other feedback to give us, please use the space below. / Si tiene otros comentarios para darnos, utilice el espacio a continuación.

91 responses

n/a

N/A

na

No

n

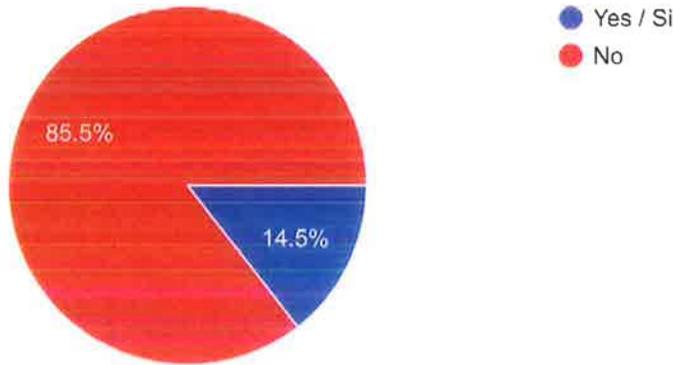
Strongly Agree should be the first response.

cascades rocks

My kid's direct quote, "They don't care."

Are you interested in participating in a Community Focus group? / ¿Está interesado en participar en un grupo de enfoque comunitario?

546 responses



If you are willing to participate in a Community Focus group, please provide your name and preferred contact information. / Si está dispuesto a participar en un grupo de Foro Comunitario, proporcione su nombre e información de contacto preferida.

92 responses

no

N/A

n

Waste of time

Suzanne Smallen 503-840-4100

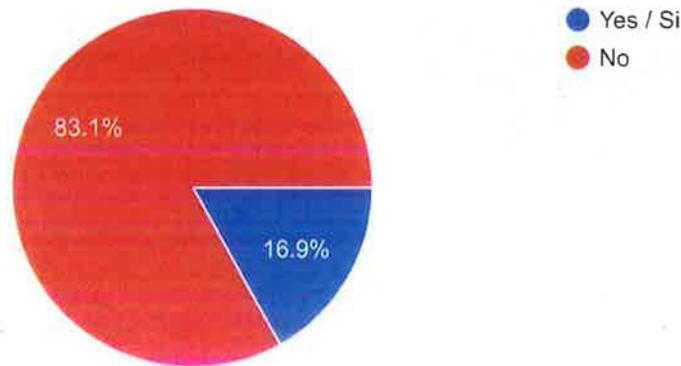
daniel mitchell #541-409-8771

N/a

No

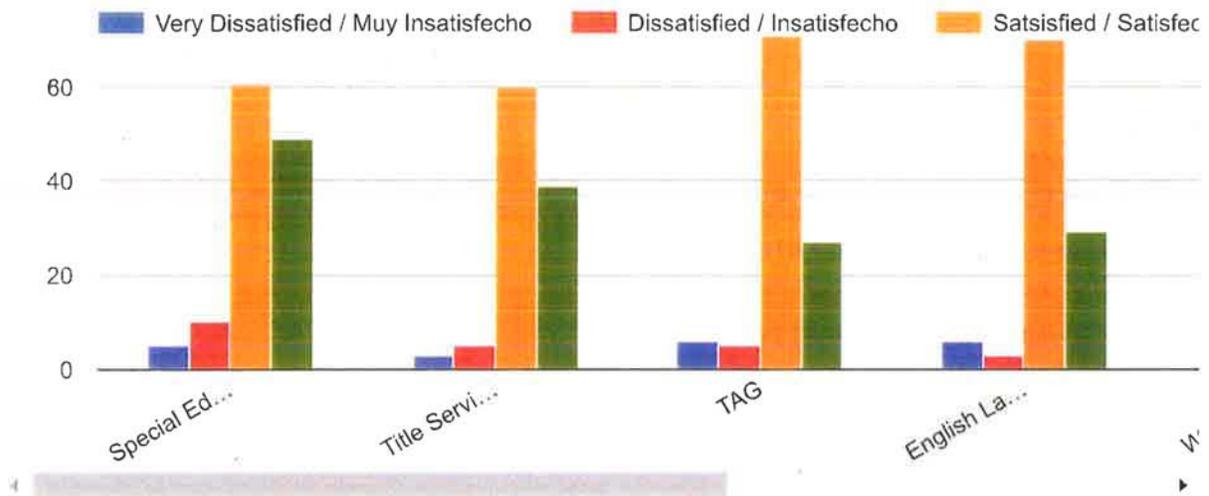
Is your child or family receiving any special services provided by the district? Please select YES if any of the following apply: IEP, medical support, behavior support, family support, translation or reading support.
¿Su hijo/a o familia recibe algún servicio especial provisto por el distrito?
Seleccione SÍ si se aplica alguno de los siguientes: IEP, apoyo médico, apoyo conductual, apoyo familiar, apoyo de traducción o lectura.

574 responses



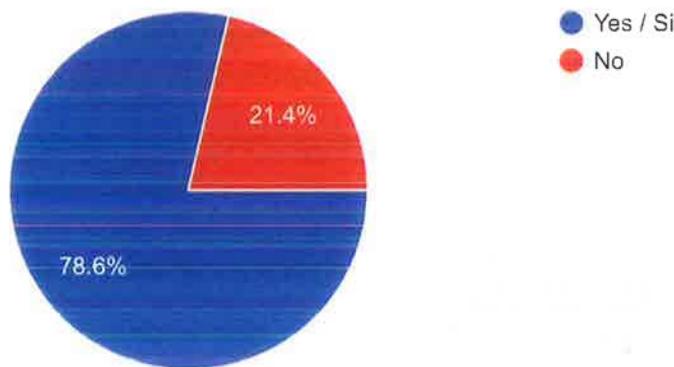
Special Services Feedback / Comentarios de Servicios Especiales

Please rate your satisfaction with the services your child receives. Select all that apply. My child receives the following service(s): / Califiquen su satisfacción con los servicios que recibe su hijo/a. Seleccione todas las que correspondan. Mi hijo/a recibe los siguientes servicios



Do you feel that your student is meeting their academic goals with these services? / ¿Siente que su estudiante cumple con sus objetivos académicos con estos servicios?

131 responses



If you do not, please provide feedback regarding the service: / Si no lo hace, envíe sus comentarios sobre el servicio:

24 responses

not at this time

The IEP teacher does not help the children in his class with their homework

Behaviors and emotional setbacks have taken us a few steps back resulting in an academic setback.

NA

I have asked many times for information on the HS LBCC classes and get no answer

They don't access these services.

my son just learns at a different pace more hands on ... think it works great for 80 % of students! my son is just in that other 20%! untill we all work as a team, and get on the same page to teach my don a different way that works better for him, we eill continue to have these issues!

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Google Forms

Lebanon Community School District Community Survey 2019-20 / Encuesta de la Comunidad del Distrito Escolar de la Comunidad de Lebanon

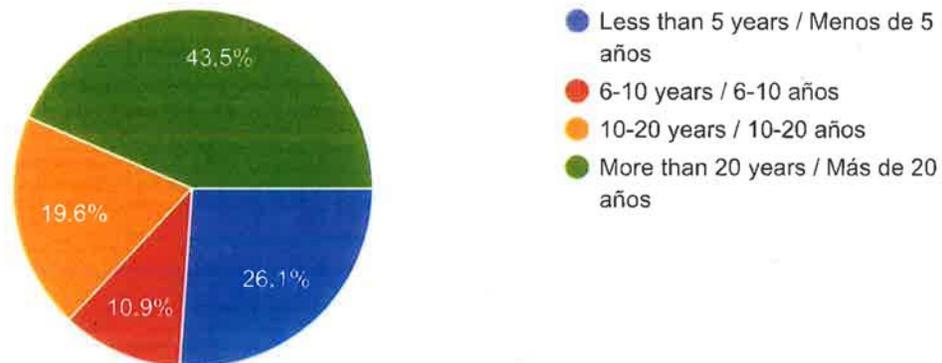
47 responses

[Publish analytics](#)

How long have you lived in the Lebanon Community School District? /

¿Cuánto tiempo ha vivido en el Distrito Escolar de la Comunidad de
Lebanon?

46 responses

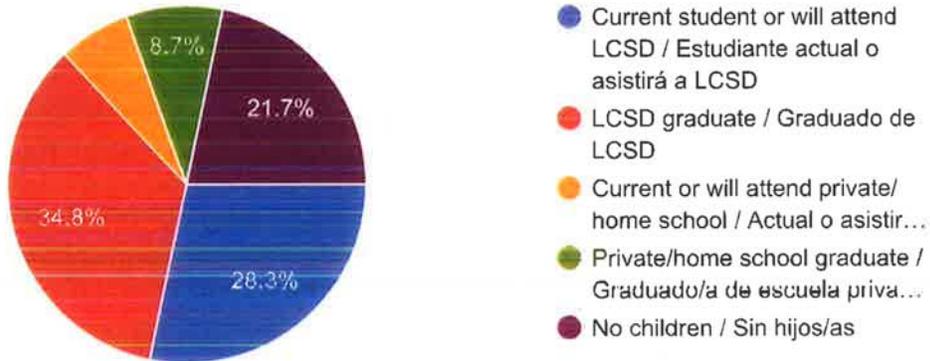


How satisfied are you with the quality of public schools in Lebanon? / ¿Qué
tan satisfecho está con la calidad de las escuelas públicas en Lebanon?

46 responses

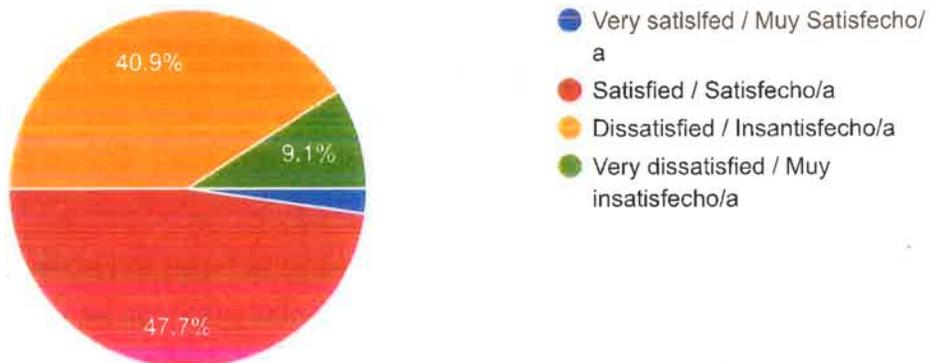
Do you have any children who currently attend Lebanon Schools, have graduated, attend private school or are home schooled? / ¿Tiene algún niño/a que actualmente asista a las Escuelas de Lebanon, se haya graduado, asista a una escuela privada o esté en casa?

46 responses



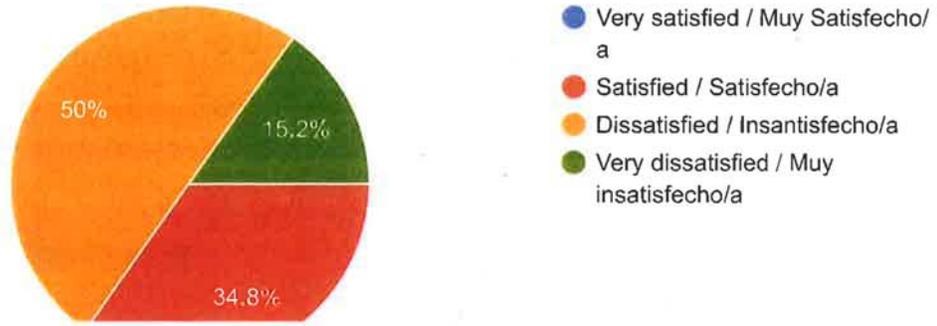
How satisfied are you with how the District plans for the future? / ¿Qué tan satisfecho/a está con cómo el Distrito planea para el futuro?

44 responses



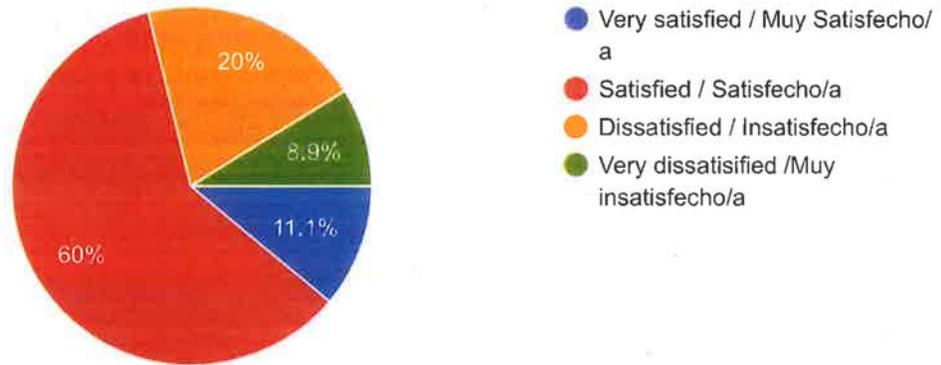
How satisfied are you with how the District prepares students for success? / ¿Qué tan satisfecho está con cómo el Distrito prepara a los/as estudiantes para el éxito?

46 responses



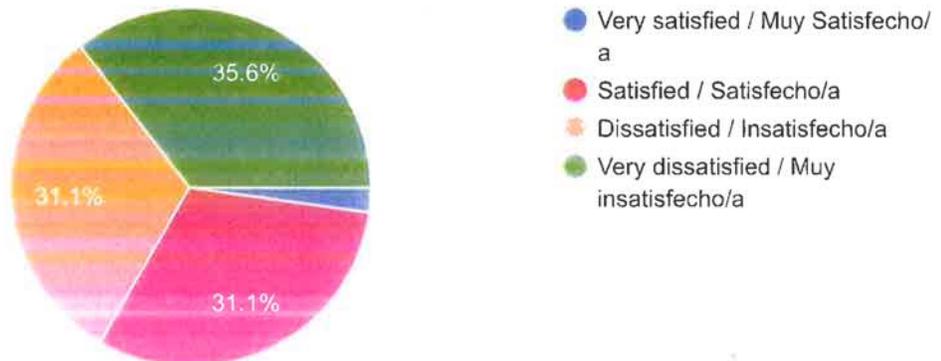
How satisfied are you with how the District maintains facilities? / ¿Qué tan satisfecho está con cómo el Distrito mantiene las instalaciones?

45 responses



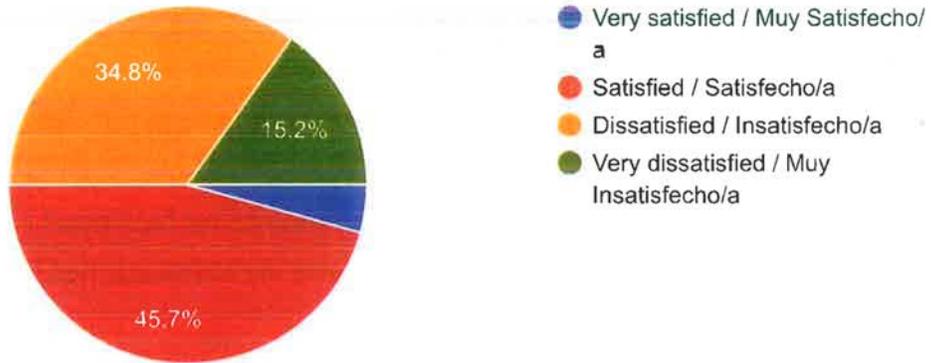
How satisfied are you with how the District addresses students' mental and behavioral health needs? / ¿Qué tan satisfecho está con cómo el Distrito aborda las necesidades de salud mental y conductual de los/las estudiantes?

45 responses



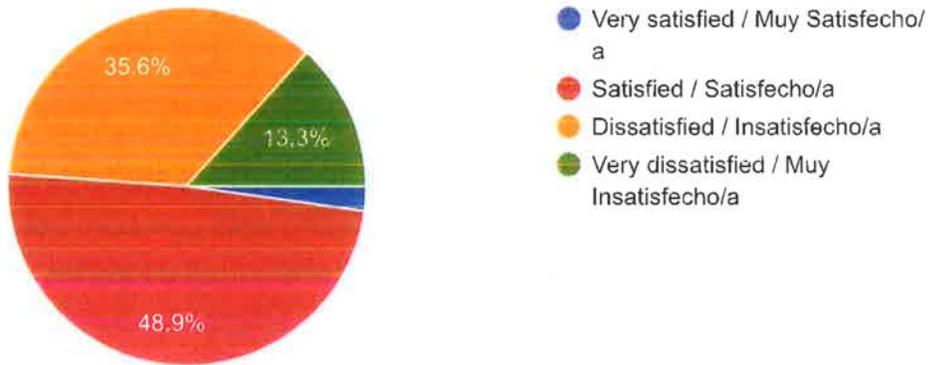
How satisfied are you with how the District communicates with community members? / ¿Qué tan satisfecho/a está con la forma en que el Distrito se comunica con los/las miembros/as de la comunidad?

46 responses



How satisfied are you with how the District reflects the values of our community? / ¿Qué tan satisfecho/a está con cómo el Distrito refleja los valores de nuestra comunidad?

45 responses



What is your age? / ¿Cuál es su edad?

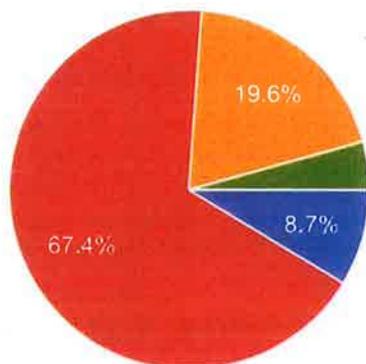
45 responses



- Less than 25 years old / Menos de 25 años

I feel our schools are headed in the right direction. / Siento que nuestras escuelas van en la dirección correcta.

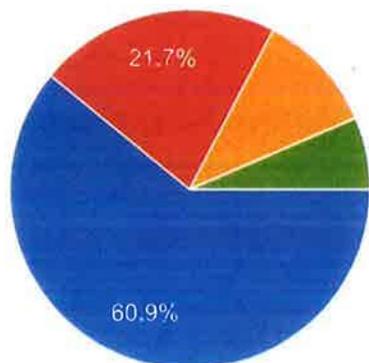
46 responses



- Never / Nunca
- Sometimes / A veces
- Often / A menudo
- Always / Siempre

I volunteer at my nearby school. / Soy voluntario/a en mi escuela cercana.

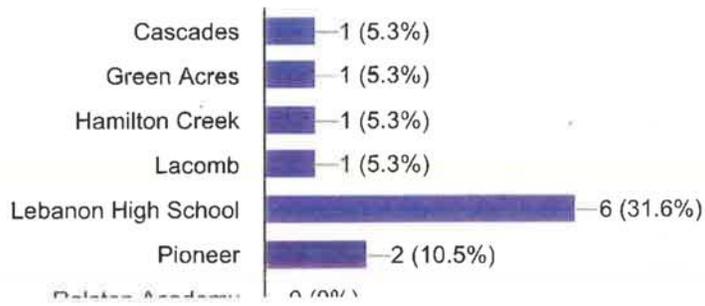
46 responses



- Never / Nunca
- Sometimes / A veces
- Often / A menudo
- Always / Siempre

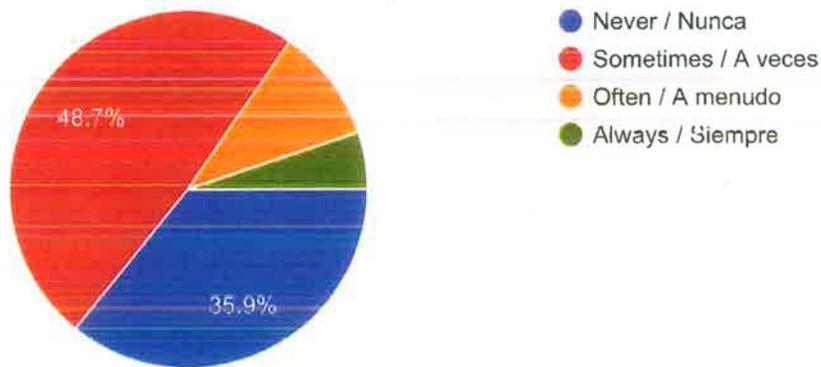
The name of the school(s) at which I volunteer is: / El nombre de la(s) escuela(s) en las que soy voluntario/a es:

19 responses



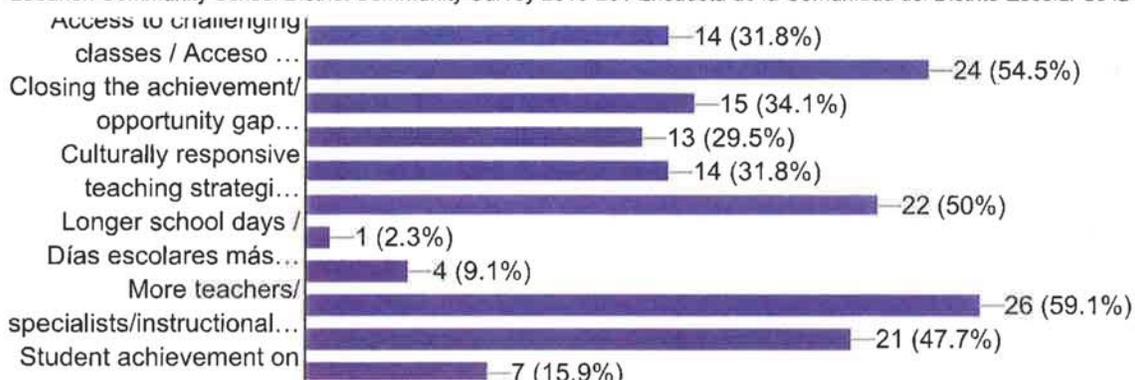
I would like to be more engaged in my nearby school. / Me gustaría estar más involucrado/a en mi escuela cercana.

39 responses



Review the following list. Please choose the top FIVE items that you would rate as having the highest priority for our school district. / Revise la siguiente lista. Elija los CINCO artículos principales que calificaría como de mayor prioridad para nuestro distrito escolar.

44 responses



I think my nearby school could benefit from partnering with this organization: /
 Creo que mi escuela cercana podría beneficiarse al asociarse con esta
 organización:

12 responses

Lebanon has many strong businesses in our area that have offered in the past to work
 with our schools

CARDV

?

Nearby businesses - specifically, those with internship or apprenticeship programs.

???

Churches

College

The Buzz in Lebanon, Oregon

None.

What is one thing our schools are doing well? / ¿Qué es lo que nuestras escuelas
 están haciendo bien?

21 responses

None.

Beginning to change leadership

Keeping the buildings and grounds in working order.

Having great staff members

Transporting children

Soliciting feedback.

Supporting homeless families and those in need.

???

Helping kids in need.

What skills and qualities should a Lebanon Community School District graduate possess? / ¿Qué habilidades y cualidades debe poseer un/a graduado/a del Distrito Escolar Comunitario de Lebanon?

26 responses

Foreign language skills.

Strong reading/language/research skills so they can talk, communicate, and know how to find reliable information. This also helps all other skill areas.

Punctuality, hard work, teachable, can work with others well

Seriously???

Critical thinking skills, basic math and reading skills, a curious and inquisitive mind.

Motivation- self-generated initiative

Ability to read, write, and do math at a minimum of an 8th grade level. Have appropriate social skills necessary for a minimum wage entry position, the ability to advocate for themselves and be willing to ask for help, respectful, responsible and safe.

What is one thing our schools could improve upon? / ¿Qué es lo que nuestras escuelas podrían mejorar?

29 responses

Better ie kinder teachers.

Teach our students manners and how to communicate effectively.

Leadership

Making sure everyone working directly with students show kindness.

Better facilities - Seven Oak needs classrooms and updates

Dealing with bullying

All of the 5 suggestions of priority above.

Transparency to the broader community. Outreach and presence with local governance.

Teaching personal responsibility

What would you like to do to help improve our schools? / ¿Qué le gustaría hacer para ayudar a mejorar nuestras escuelas?

15 responses

Nothing.

Serve on hiring committees of future principals.

Continue to support through taxes and community events.

I would be willing to volunteer.

Community involvement with tutoring and social emotional support.

Get rid of the superintendent

Hire someone to organize the volunteers.

More physical education opportunities and more electives at the middle school level.

inform you where you are letting the students down



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Google Forms

Artifact 2 – Student Survey, Responses, and Summaries of Quantitative Responses

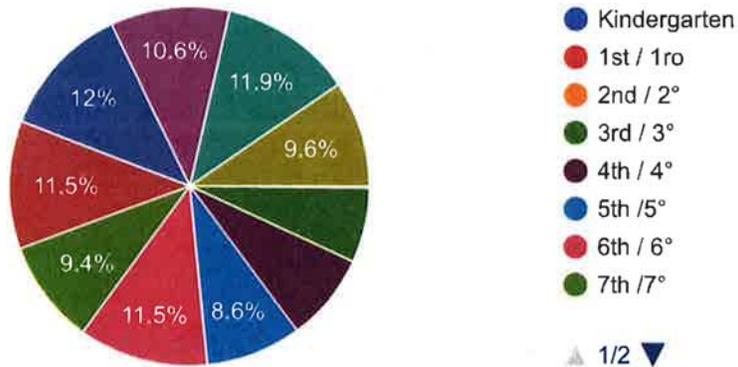
Student Climate Survey / Encuesta de Clima Estudiantil

1,614 responses

[Publish analytics](#)

My grade level is: / Mi nivel de grado es:

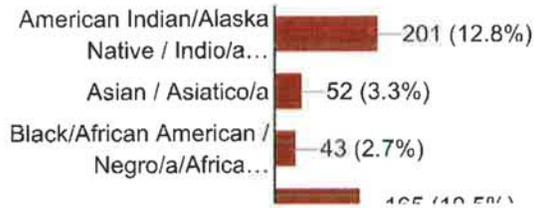
1,614 responses



Please check all that apply. I am: / Por favor marque todos los que apliquen.

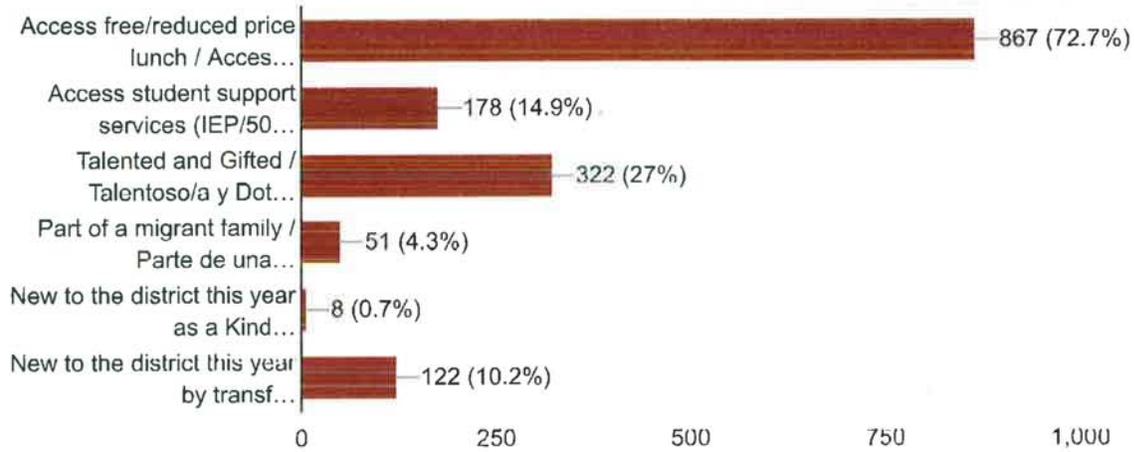
Soy:

1,569 responses



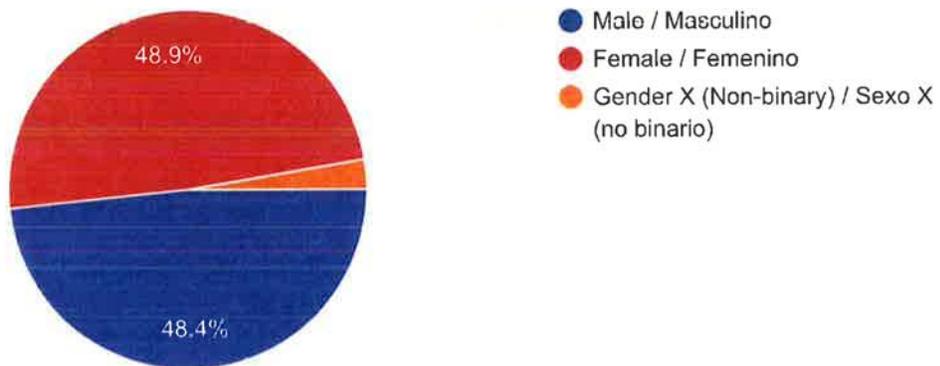
Please check all that apply to you: / Por favor marque todo lo que corresponda a usted:

1,193 responses



What is your gender? / ¿Cuál es su género?

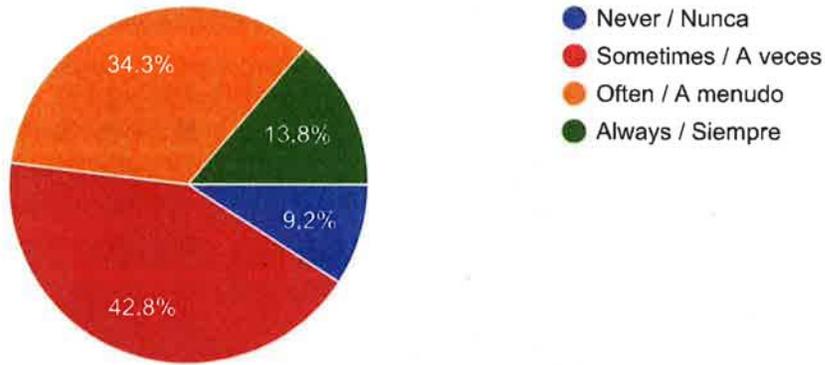
1,600 responses



I like school. / Me gusta la escuela.

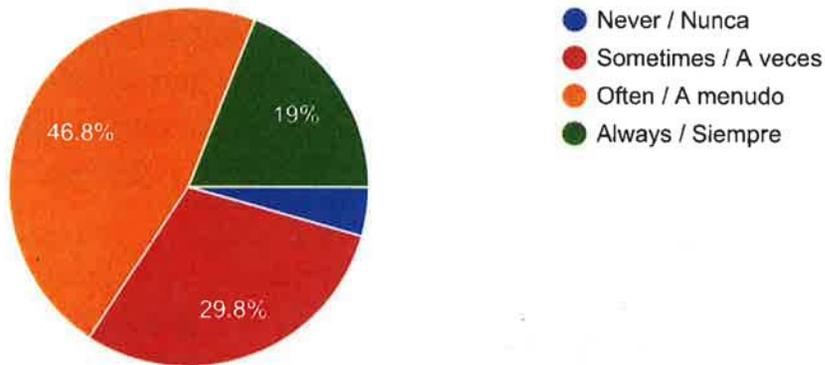
1,614 responses





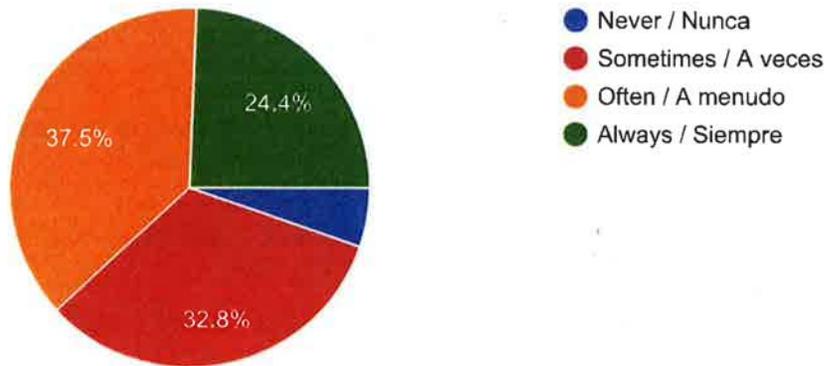
I feel like I do well in school. / Siento que me va bien en la escuela.

1,614 responses



I feel like my classes make me think. / Siento que mis clases me hacen pensar.

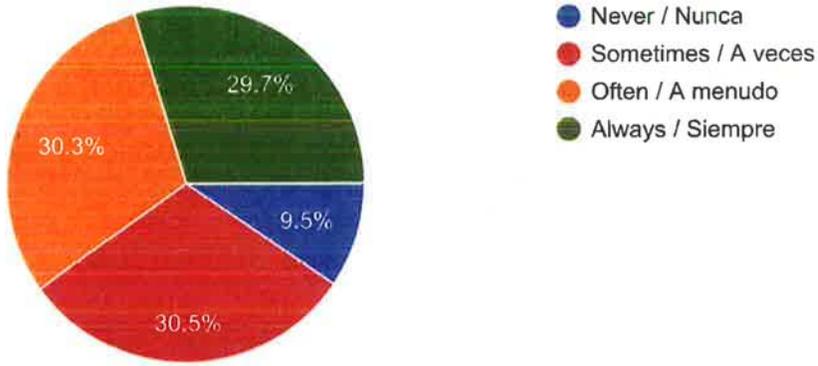
1,602 responses



I feel like I belong here at this school. / Siento que pertenezco aquí en esta

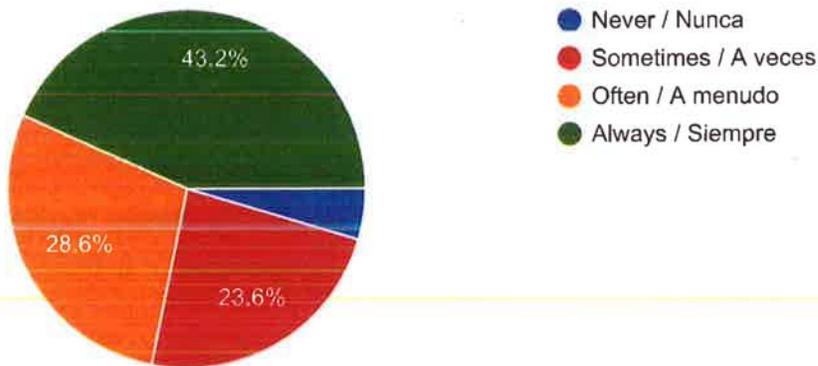


escuela.
1,611 responses



All students and families are respected and included in my school community, no matter their ability, race, religion, gender identify or economic background. / Todos los/las estudiantes y familias son respetados e incluidos en mi comunidad escolar, sin importar su habilidad, raza, religión, identidad de género o antecedentes económicos.

1,603 responses



Adults at my school want me to do well. / Los adultos en mi escuela quieren que me vaya bien.

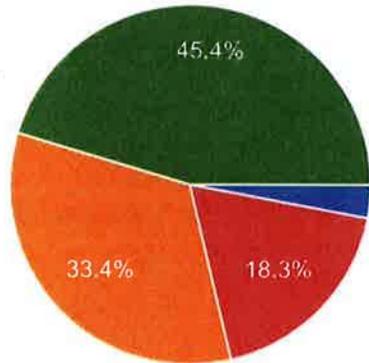
1,614 responses



- Never / Nunca
- Sometimes / A veces
- Often / A menudo

My school has clear rules for behavior. / Mi escuela tiene reglas claras de comportamiento

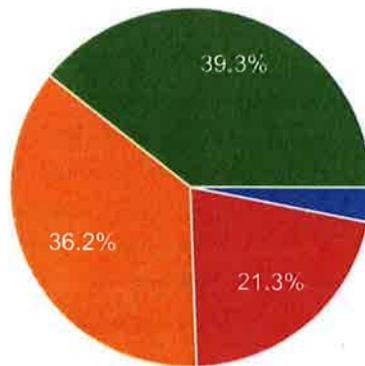
1,614 responses



- Never / Nunca
- Sometimes / A veces
- Often / A menudo
- Always / Siempre

School staff treat me with respect. / El personal de la escuela me trata con respeto.

1,614 responses

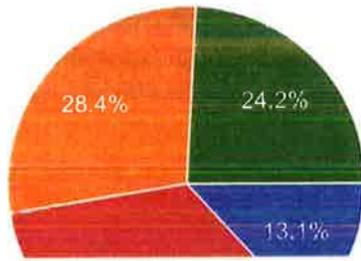


- Never / Nunca
- Sometimes / A veces
- Often / A menudo
- Always / Siempre

Good behavior and attendance is celebrated at my school. / El buen comportamiento y la asistencia se celebra en mi escuela.

1,614 responses

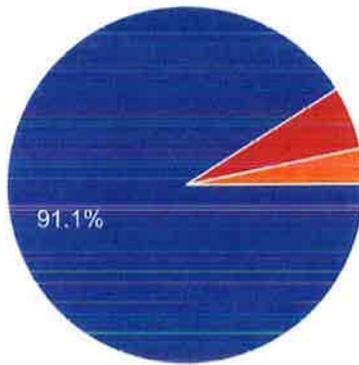




- Never / Nunca
- Sometimes / A veces
- Often / A menudo
- Always / Siempre

I have at least one friend at my school. / Tengo al menos un amigo/a en mi escuela.

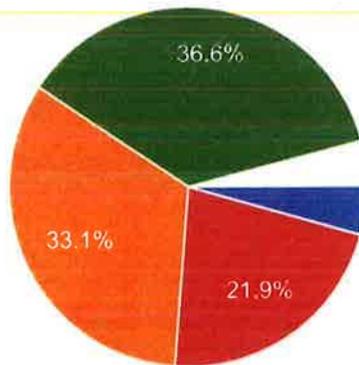
1,614 responses



- Yes / Si
- Sometimes / A veces
- No

I feel safe at my school. / Me siento seguro/a en mi escuela.

1,614 responses



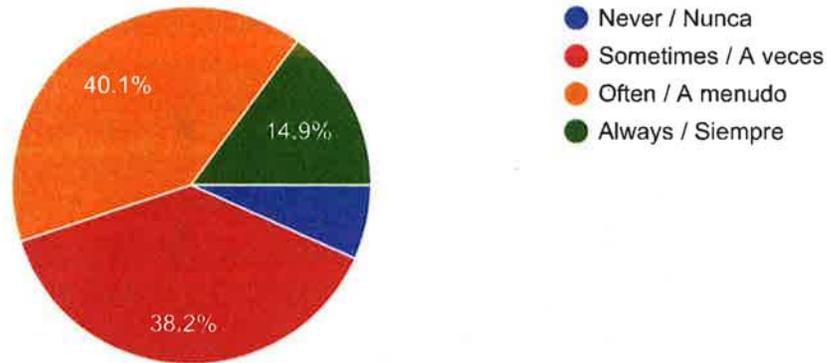
- Never / Nunca
- Sometimes / A veces
- Often / A menudo
- Always / Siempre
- yes
- not really
- often
- most of the time

1/9 ▼

Students at school treat me with respect. / Los/Las estudiantes en la escuela me tratan con respeto.

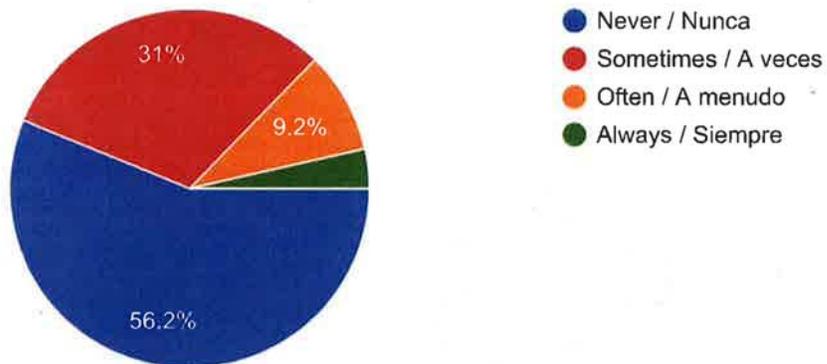
1,614 responses





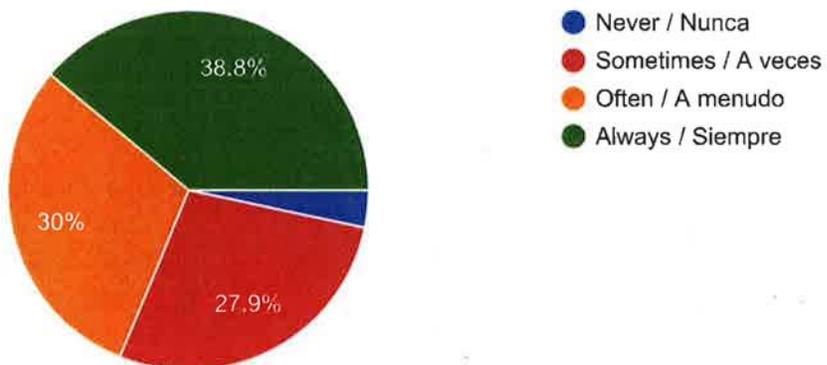
I have been bullied at school. / He sido intimidado/a en la escuela.

1,602 responses



My teachers know me and care about me. / Mis maestros/as me conocen y se preocupan por mí.

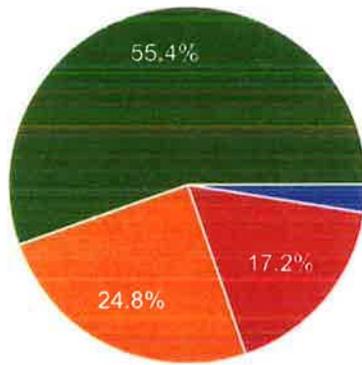
1,602 responses



There is an adult at school that will help me if I need it. / Hay un adulto en la

escuela que me ayudará si lo necesito.

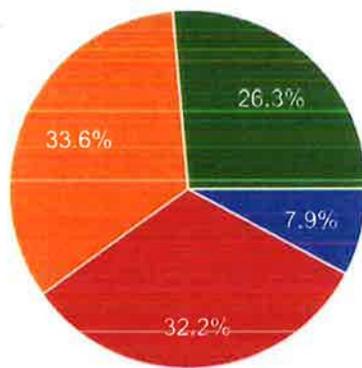
1,614 responses



- Never / Nunca
- Sometimes / A veces
- Often / A menudo
- Always / Siempre

I set goals at my school and have a plan to achieve them. / Establezco metas en mi escuela y tengo un plan para alcanzarlas

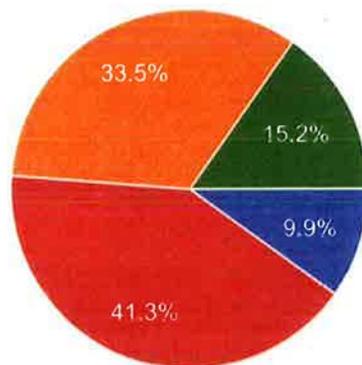
1,614 responses



- Never / Nunca
- Sometimes / A veces
- Often / A menudo
- Always / Siempre

If feel academically challenged at school. / Si se siente retado académicamente en la escuela.

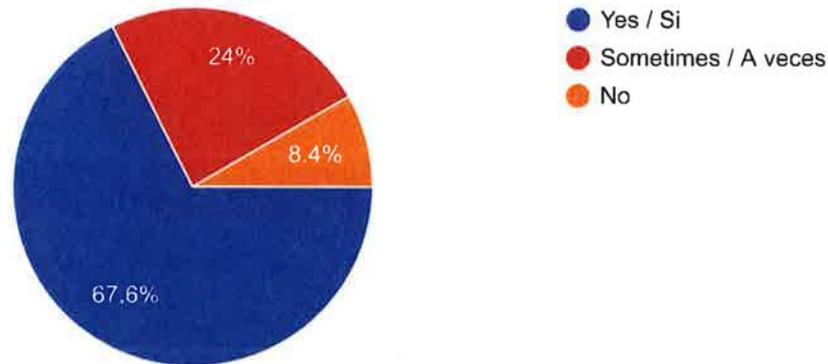
1,598 responses



- Never / Nunca
- Sometimes / A veces
- Often / A menudo
- Always / Siempre

I know what it means to be a successful student (AVID). / Sé lo que significa ser un/a estudiante exitoso/a (AVID).

1,597 responses



What is one thing that you appreciate about your school? / ¿Qué es algo que aprecias de tu escuela?

1,614 responses

nothing

my friends

the teachers

The teachers

lunch

friends

My friends

Sports

idk

What advice would you give your principal to make our school better? / ¿Qué

consejo le daría a su director/a para mejorar nuestra escuela?

1,440 responses

nothing

none

idk

i dont know

I don't know

N/A

None

Nothing

i don't know

Are there any barriers to you taking harder and more challenging classes? If yes, what are they? / ¿Hay alguna barrera para tomar clases más difíciles y desafiantes? Si es así, ¿qué son?

1,298 responses

no

No

No.

idk

N/A

nope

No

yes

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Artifact 3 – Staff Survey, Responses, and Summaries of Quantitative Responses

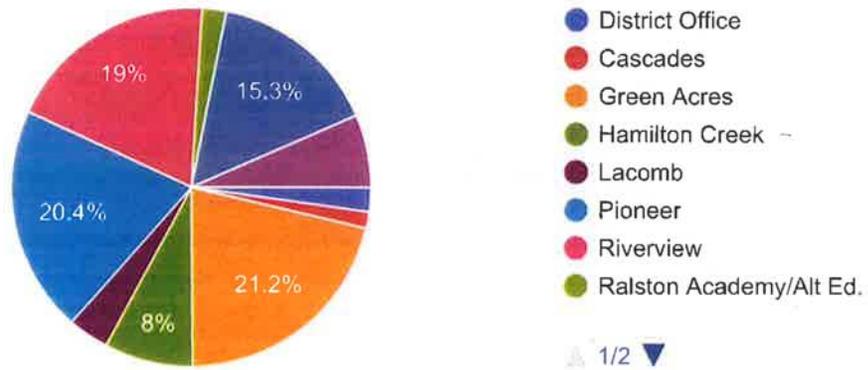
2019-20 Staff Climate Survey

137 responses

[Publish analytics](#)

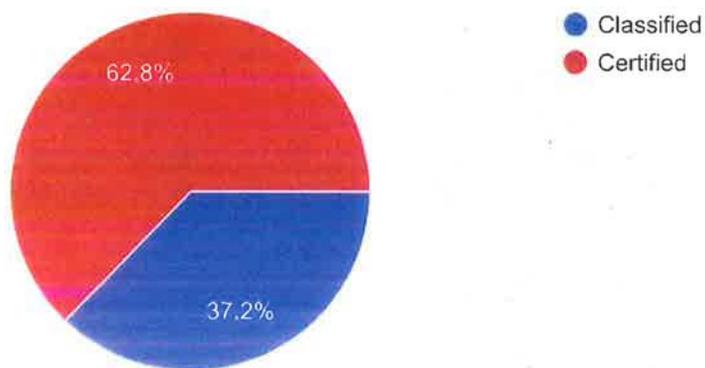
Site

137 responses



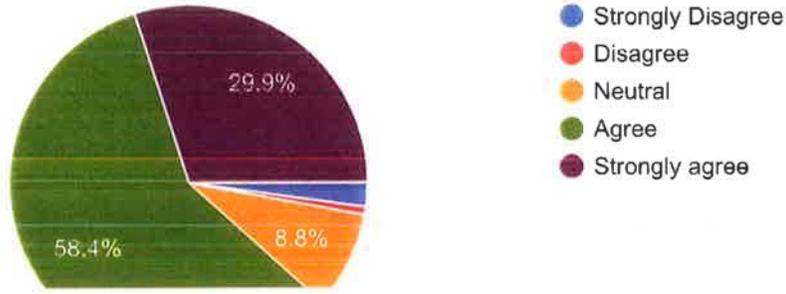
Position

137 responses



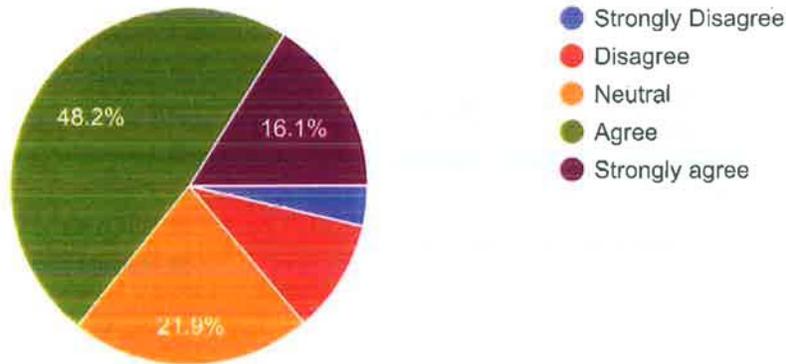
I feel like my colleagues care about me.

137 responses



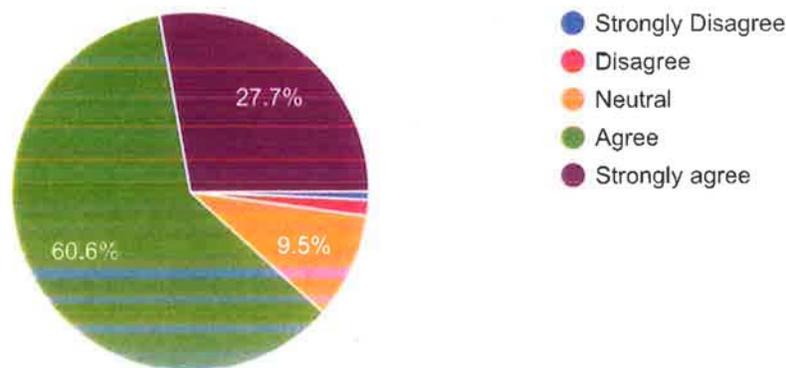
I feel recognized for the work I do.

137 responses



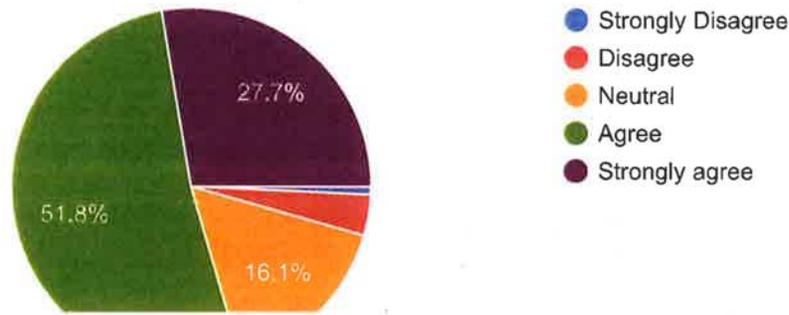
I feel clear about what my responsibilities are.

137 responses



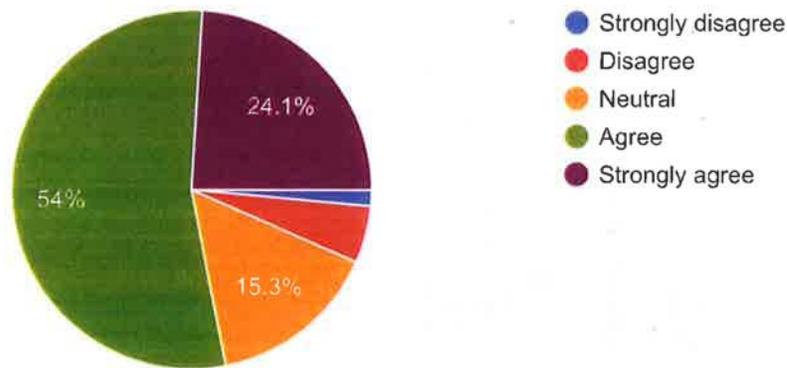
I enjoy coming to work each day.

137 responses



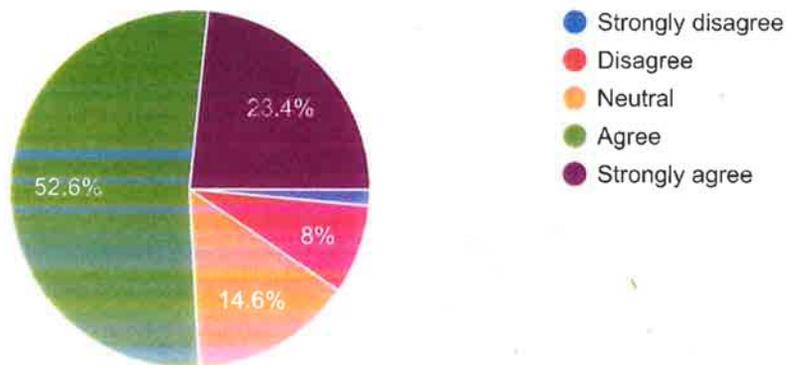
The culture of this school is engaging and inclusive of students from diverse backgrounds.

137 responses



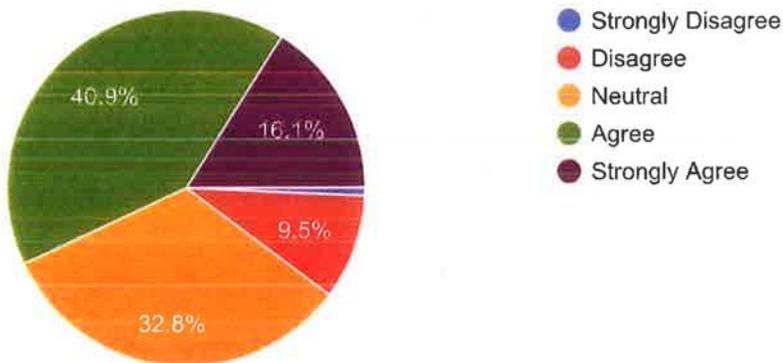
The culture of this school is inclusive and affirming of students and families from diverse cultural backgrounds.

137 responses



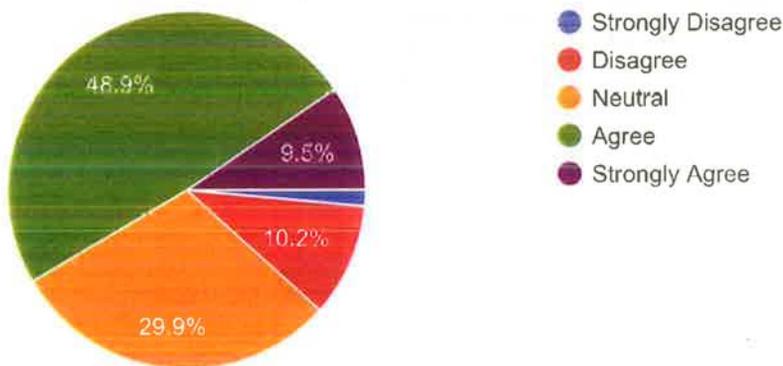
The content and curriculum that I teach is multicultural and inclusive of students and families from diverse backgrounds.

137 responses



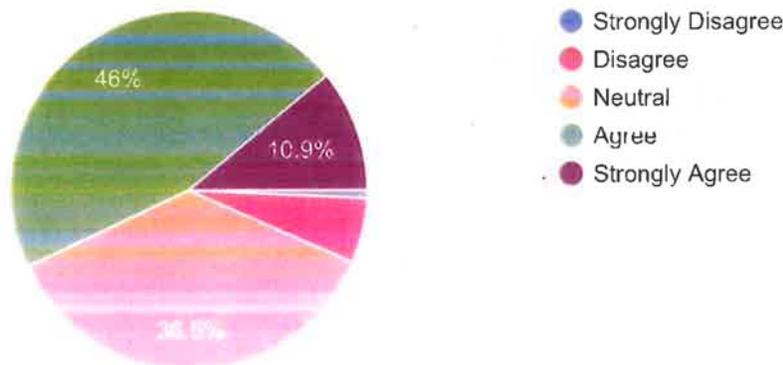
I am knowledgeable about opportunity and achievement gaps and inequities at LCSD.

137 responses



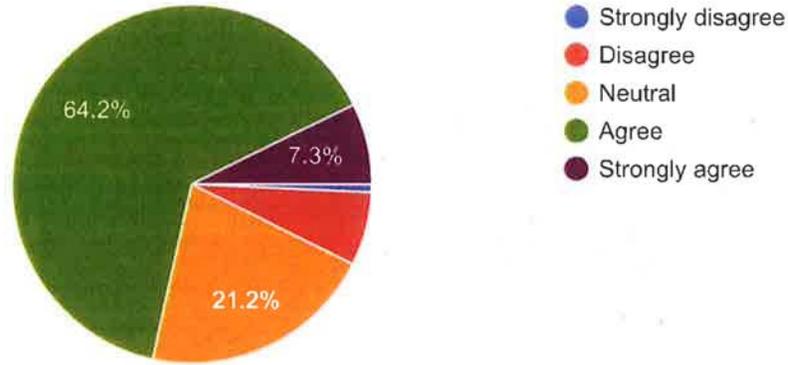
I am knowledgeable and skilled in culturally responsive teaching.

137 responses



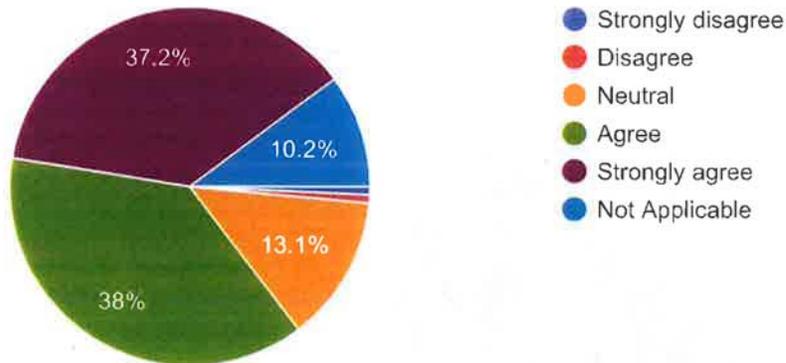
I believe that students at LCSD feel connected to the school, the staff and the programs.

137 responses



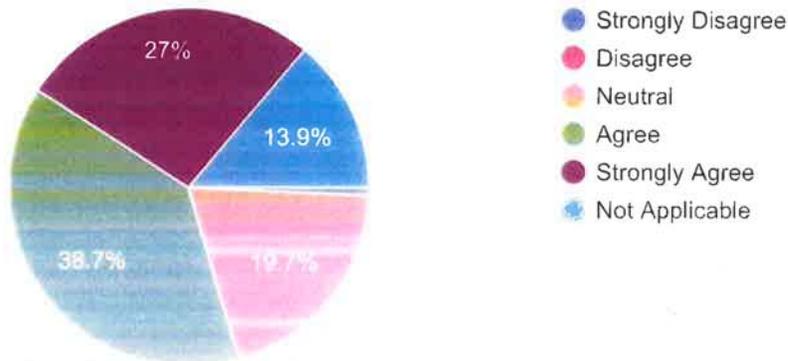
I maintain effective communication with families of my students.

137 responses



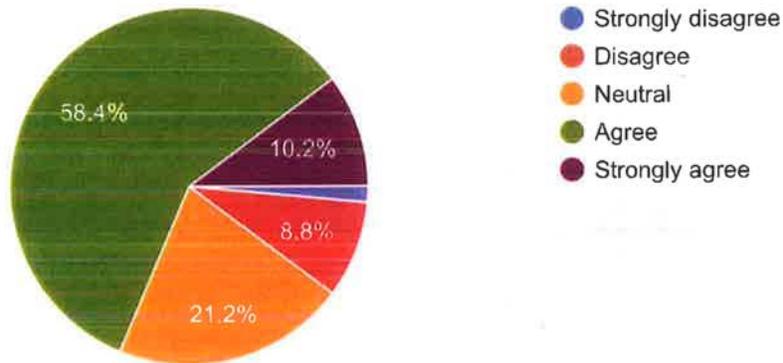
I maintain effective communication with families of diverse students.

137 responses



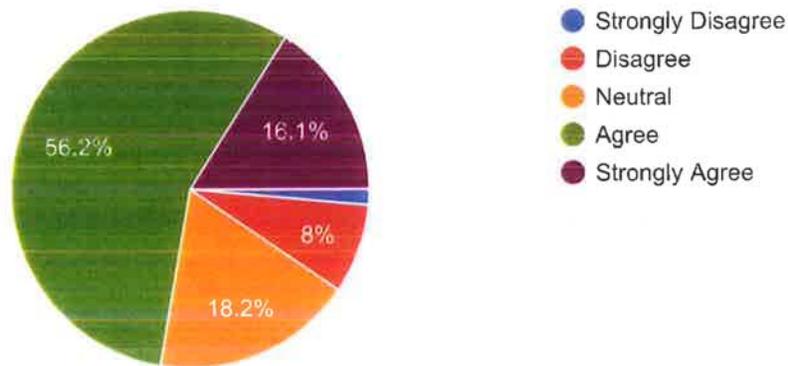
I have sufficient knowledge, skills and support to effectively partner and communicate with diverse families.

137 responses



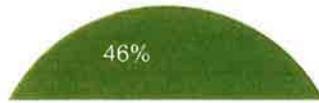
I actively and effectively connect students to services and supports necessary for their success.

137 responses



I have received meaningful professional development at my building and through the district regarding equity, diversity and inclusion.

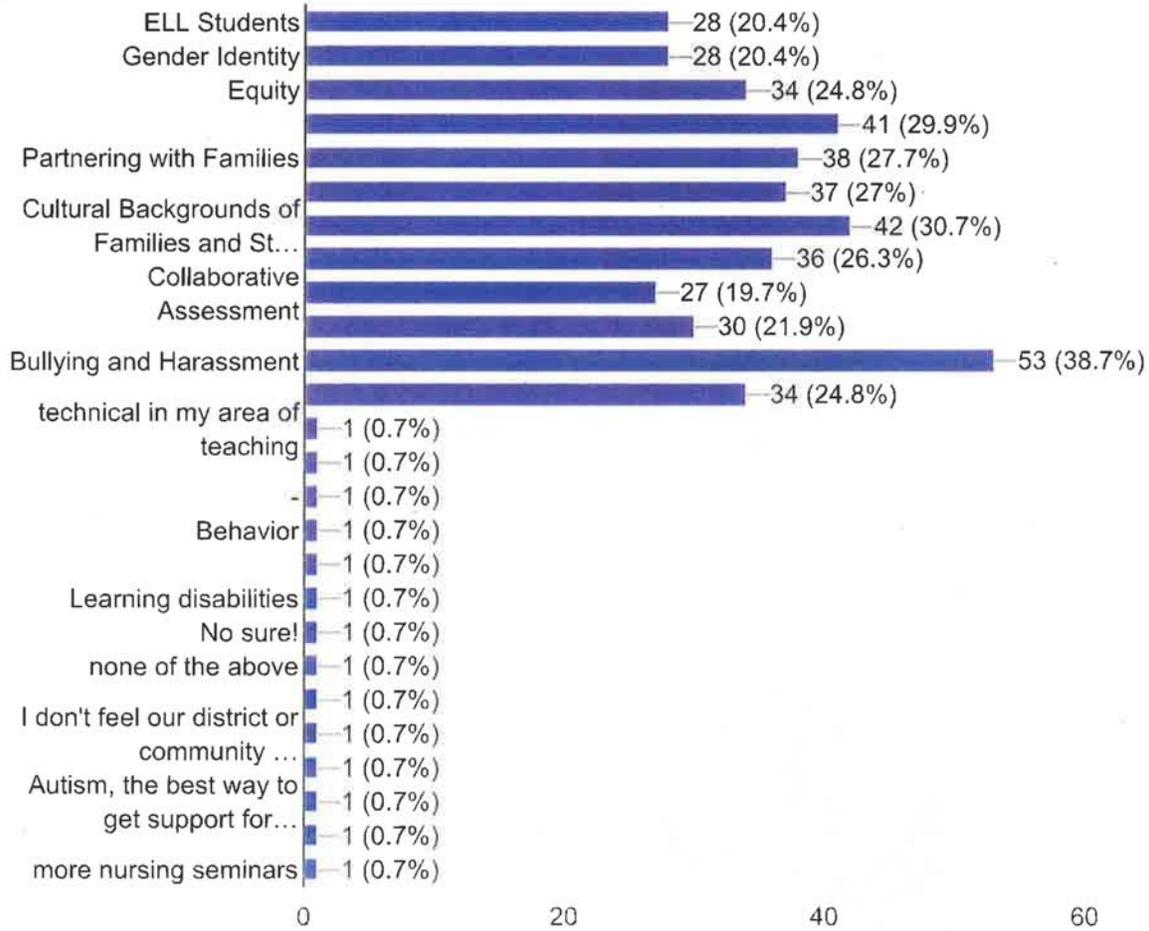
137 responses



- Strongly Disagree
- Disagree
- Neutral

I am interested in future professional development on the following:

137 responses



Discipline in this school is fair.

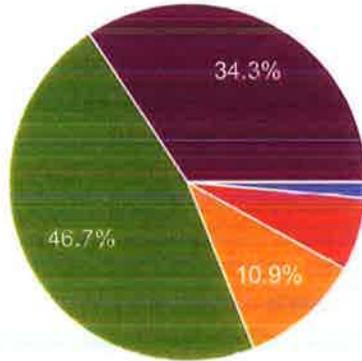
137 responses



- Strongly disagree
- Disagree
- Neutral

My supervisor encourages/supports me.

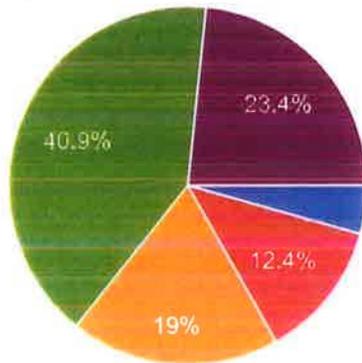
137 responses



- Strongly Disagree
- Disagree
- Neutral
- Agree
- Strongly agree

My supervisor communicates effectively.

137 responses



- Strongly Disagree
- Disagree
- Neutral
- Agree
- Strongly agree

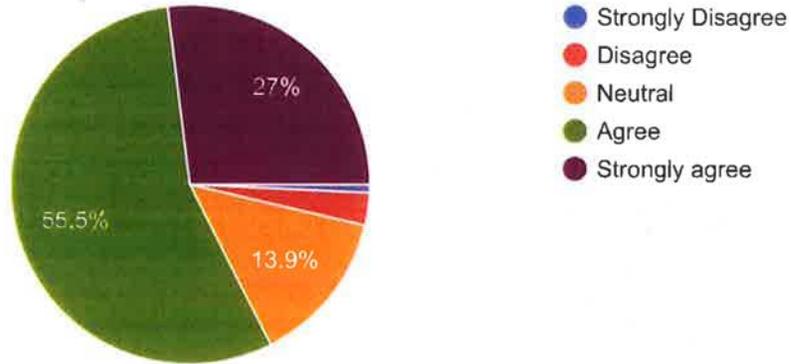
My supervisor supports me in my work with students and families.

137 responses



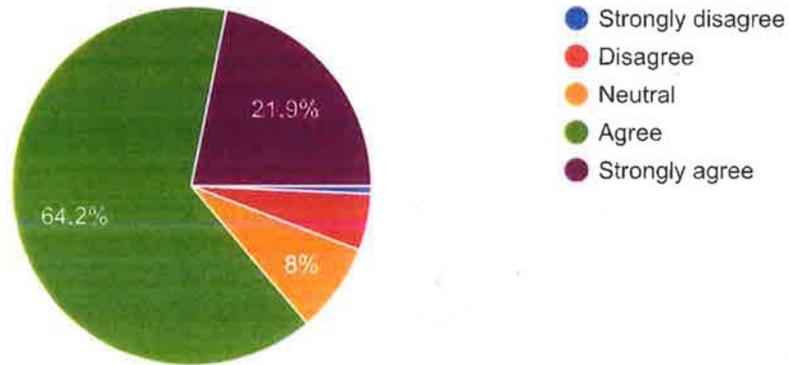
I am proud of the work we provide the community. .

137 responses



I have opportunities to learn at work.

137 responses



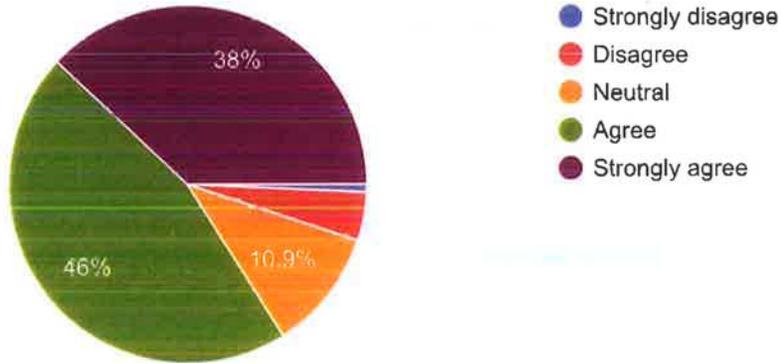
I have the necessary resources to do my job well.

137 responses



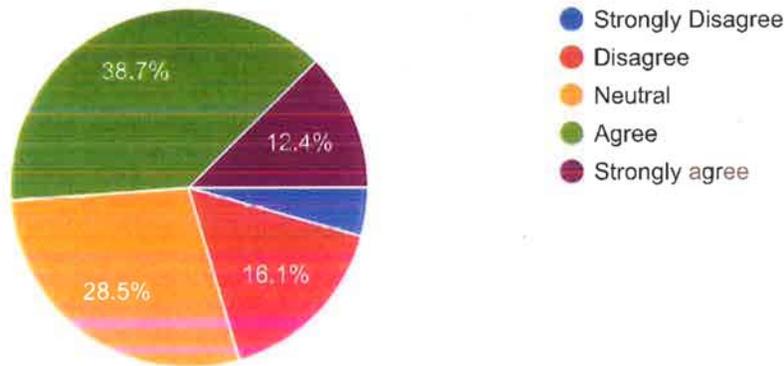
My school is respectful of different races, ethnicities, genders and backgrounds.

137 responses



I feel that we have an effective professional development plan for our school.

137 responses



How can the district improve?

137 responses

Adopt a new math curriculum.

Continue with opportunities to grow with understanding of the changes in our community.

Continue to offer more trainings that directly relate to our job classification.

More diversity in staff

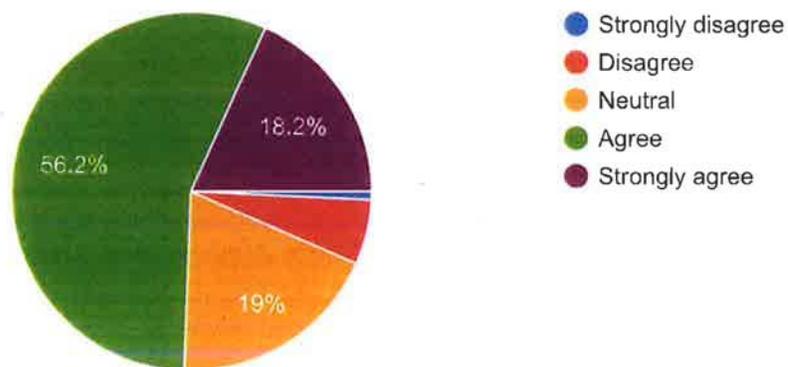
Smaller class sizes, more culturally relevant curriculum, less wasteful curriculum purchases that are only implemented for a year (PAX, handwriting w/o tears, etc.)

Keeping teaching teams consistent

We need an Alternative school for the middle school level. There is a small percent of students who can not function well in this setting for various reasons. The middle school needs more electives to allow for more flexibility in the schedule. Electives that

I am optimistic the school is moving in a positive direction.

137 responses



What are the strengths of the school?

137 responses

The best principal in the state of Oregon, ongoing AVID PD, staff and student culture for caring and support, organized processes, great balance between work and celebrations, staff who truly care for their students.

Our building staff works really well together to make improvements for students and families.

Staff teamwork, positive work environment and people who generally care for students and one another.

Close knit community

We have amazing students, we just don't have all that we need to meet all of their needs.

Loving, friendly atmosphere

Please provide any additional information or feedback you would like to share.

41 responses

n/a

The PD Sessions where we can choose where to go has been helpful as it caters to our own individual needs/professional learning desire.

Please make Wednesdays more meaningful and realistic to a teacher's time. We would love to be learning innovative, ground breaking new teaching and learning topics on Wednesdays. On the other hand, "filler" professional developments are not helpful. Prep time is not wasted time, it is vital to our success as teachers. This first quarter, it felt like our time wasn't valued. It seemed like our hand was forced to do work on our own time to keep up. Every Wednesday was full and being prepared for conferences was impossible unless we worked hours from home. AVID Pathways training the day before conferences was not our best use of time. Just some food for thought.

Better security / locked doors with cameras before anyone enters building. Keys for all staff

We have had many positive things happen at Green Acres. We work hard to improve academics and behavior. Once we have plans in place that are working for students

Enter name (optional) if you would like the district to follow up on any of the above responses.

12 responses

Annette Roberts

Darlene Calahan

Martha Moore, SpEd teacher at Hamilton Creek. You may contact me if you wish, but I am not specifically asking for followup.

Eric J. Frazier

Will Bower

Madeline Tait

Summer Crawford

Bruce Little

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Artifact 4 – Qualitative Data Analysis and Summary

Survey Comments - Qualitative Data Analysis

Group	Total Made Viable Comments	Total Comments	General Positive	% Pos	Primary Positives	Improve/Change	% Imp	Primary area	Secondary area	Tertiary area	Barriers - Yes	% Barr
TOTALS	2964	7354	3220	44%	3145	43%					987	13%
Focal Groups												
Students	545	1636	632	39%	Friends/ Teachers/ Staff	626	38%	Climate/ Inclusion/ Safety/ Bullying issues	Support Academic	Specific Classes	378	23%
Parents	1614	3729	1746	47%	Friends/ Teachers/ Specific class	1385	37%	Climate/Inclusion/Safety /Bullying issues	Rules	Specific Classes	598	16%
Community	608	1137	751	66%	Teachers/ Staff	375	33%	Communication	Climate/ Inclusion/ Safety/ Bullying issues	Content Specific	11	1%
Staff	47	335	25	7%	Teachers/ Staff	310	93%	College/Career prep	Communication	Teacher quality	0	0%
	150	517	66	13%	Colleagues/ Collaboration	449	87%	Work Load - Prep/Plan Time	PD - Decrease, change	Incease instructional time, address behaviors	0	0%

Select your institution from the drop down list to the right

District / Charter

Estimated Allocation

Estimated Allocation	
Maximum Administrative Costs	

Maximum Administrative Costs

Please provide contact information for the person completing this budget

Name
Phone
Email

Additional Resources

- [SIA Engagement Toolkit](#)
- [SIA Comprehensive Guidance](#)
- [SIA Webpage](#)

The "INFO" tab provides brief descriptions of the activities described in the "allowable use" categories.

The "Expenditures" tab is an activities-based budget tool to list and categorize budgeted activities.

The "Summary" tab provides a summary of categorized expenditures.

Below are brief descriptions of some of the allowed activities pertaining to the categories listed in the Student Investment Account.

OCG *Ongoing Community Engagement*

Activities aimed to continue engaging focal student groups, communities and staff for input and feedback on planned activities and priorities.

IIT *Increased Instructional Time*

More hours and/or days.
Summer programs; before or after school programs.
Technological investments that minimize class time used for assessments administered to students.

H&S *Improving Student Health & Safety*

Social and emotional learning, trauma-informed practices; student mental and behavioral health.

RCS *Reducing Class Size*

Use evidence-based criteria to ensure appropriate student-teacher ratios or staff caseloads;
Increasing the use of instructional assistants.

WRE *Well-Rounded Education*

Developmentally appropriate and culturally responsive early literacy practices and programs in pre-K through third grade.
Culturally responsive programs and practices in grades 6-8, including learning, counseling and student support that is connected to colleges and careers.
Broadened curricular options at all grade levels including: Art, Music, PE, STEM, CTE, engaging electives, accelerated college credit programs, including dual credit, IB, AP, Life Skills, TAG, dropout and prevention programs, and transition supports.
Access to licensed educators with a library media endorsement.

ADMIN *Administrative Indirect Costs*

- Briefly describe the proposed activity (Column "E").
- Select the appropriate "Allowable Use Category" that best fits the activity from the drop down list (Column "C").
- Select the appropriate "Object Code" that best fits the activity from the dropdown list (Column "D").

If the desired object code is not listed, select "OTHER" and include a note in the justification narrative.

- Enter FTE, if any is associated with the activity item (Column "B").
- Enter budgeted amount (Column "F").
- Provide a brief narrative justification for the activity and budgeted amount (Column "H"). The sheet will auto sum the budgeted amounts as long as an OBJECT code is selected.

Budget Justification Narrative

\$ 3,400,000.00

\$ 3,396,030.00

\$ 3,970.00

Total Expenditures:

Allowable Administrative Costs:

Unbudgeted Funds:

Proposed Activity

Activity #	FTE	Allowable Use Category	Object Code	Proposed Activity	
1.1		IIT	31x	Pre-K to Kindergarten Transition Program	\$ 90,000.00
2.1a	24	RCS	112	K-3 rd Grade IAs (one in each Kindergarten, and one per grade level)	\$ 648,000.00
2.1b	4	RCS	112	6 th -8 th Grade IAs	\$ 108,000.00
2.1c	4	RCS	112	Special Education trained IAs	\$ 108,000.00
2.1d	1	RCS	111	EB/ELA Teacher	\$ 27,500.00
2.1e	2	RCS	111	Special Education Teacher trained in EB, Equity and Culturally Responsive Teaching practices	\$ 55,000.00
2.2a	1	RCS	112	One bilingual IA	\$ 27,500.00
2.3a	11	IIT	111	K-6 summer school and extended day certified instructors	\$ 27,500.00
2.3b	11	IIT	112	K-6 summer school and extended day IAs	\$ 27,500.00
2.4	0.5	IIT	111	Assessment Coordinator to develop a program and calendar that streamlines assessment and minimizes the use of instructional time for testing.	\$ 27,500.00
2.5	5	H&S	111	Hiring of TOSAs who are trained in best-practice equity processes and procedures to work with students with behavioral issues and their families	\$ 247,500.00

LCSd has the lowest Kindergarten readiness scores in the county, and Linn County is one the lowest in the state.
We need Instructional Assistants (IAs) in each Kindergarten class to decrease ratio of student to teacher to support readiness deficiencies and provide additional literacy supports. Also, one dedicated IA for grades 1 st through 3 rd to ensure the fidelity of interventions.
Middle school instructional assistants will support those students who arrive at 6th grade underperforming and utilize intervention as well as decrease the ratios of student to teacher, decreasing overall class size.
Sped IAs are vital to ensuring that all IEP requirements are met and students receive services.
There is a small outlying school that will need a 0.5 FTE ELA specialist who can address the needs of Emerging Bilingual (EB) students to help with language acquisition and support general instructional goals in the regular education classrooms.
Among Sped students there are also EB students and students of color or other historically underserved populations who need support, so we need to add a Sped certified teacher who is trained in issues of EB students and equity issues as well.
A bilingual IA will significantly increase support for EB students in terms of general learning and language acquisition
We need to decrease the amount of time students who struggle, go-between school years, which supports the retention of learning
We need IAs to provide increased support in the form of interventions and small-group or individual instruction.
We need to develop a program and calendar that streamlines assessment and minimizes the use of instructional time for testing.
We need behavior and academic support leaders who are trained in best-practice equity and EB processes and procedures to work with students with behavioral or social/emotional issues and their families

Mental Health professionals are needed to deal with non-academic mental health student issues that are currently bogging down our behavioral staff, academic counselors, teachers, and administrators.
Preventing drop-outs and supporting at-risk students is necessary due to the particular needs of students who have reached the secondary level, and the supports of the primary level were not able to bring the students in line academically, behaviorally or in both areas.
Adding a counselor to address the behavioral and social-emotional needs of students will provide much needed one-on-one support and guidance.
Additional course offerings at the middle school level and opportunities for exploration of career-related programs at the younger grades will help to provide knowledge of post-secondary options and potentially encourage completion through high-school. Providing more electives and activities will increase student buy-in and help to impact attendance and behavior positively.
PE classes have instructional needs that cannot be met in an outdoor or gymnasium setting. A classroom will allow for accommodation of academic needs and provide alternative options during inclement weather.
A playground to encourage physical activity and relieve stress supports the facility needs of a base for a well-rounded education
Our instruments are very old and have been used to the point they are unavailable often due to consistent need of repairs.
Our largest sub-group that is not related to Sped is our Hispanic and Latinx group. Communication with families and transmitting information back and forth between the schools, students and families requires a single-point of contact to coordinate events, activities and school-related information in an effective manner.
A translator who is proficient at writing and communicating in Spanish is important to ensure all documents are as accurate as possible.
work with the district leadership and involve the Bilingual Liaison in creating a plan for communication to involve all stakeholders. This person will design a survey that will be used annually to provide a continuous flow of input and communication of results between stakeholders.

5.1	2	H&S	111	Mental Health Specialists	\$	100,000.00
6.1	0.5	H&S	113	Alternative Ed./Drop-Out Prevention Administrator	\$	41,500.00
6.2	0.5	H&S	111	Alternative Ed./Drop-Out Prevention Counselor	\$	27,500.00
7.1	1	WRE	111	CTE Teacher 6th-8th	\$	55,000.00
7.3		WRE	5xx	PE Classroom	\$	45,000.00
7.4		WRE	5xx	Playground Area	\$	15,000.00
7.5		WRE	5xx	Instruments for the Music Program	\$	30,000.00
8.1	1	OCE	112	Bilingual Liaison	\$	27,500.00
8.2		OCE	31x	Translator	\$	25,000.00
9.1		OCE	31x	Engagement Coordinator: Develop an engagement program, an annual survey, collect results and analyze the data.	\$	25,000.00
		8xx		PERS Pick-Up	\$	139,995.00
		8xx		Charter School Allotment	\$	220,000.00
		8xx		Insurance Costs	\$	675,000.00
					\$	575,535.00

"Benefits" from next page

<u>CODE</u>	<u>Description</u>	<u>Total Line Items</u>	<u>Total Budgeted</u>
111	Licensed Salaries	8	\$ 567,500.00
112	Classified Salaries	6	\$ 946,500.00
113	Administrative Salaries	1	\$ 41,500.00
12x	Substitute Salaries	0	\$ -
13x	Additional Salaries	0	\$ -
2xx	Benefits	0	\$ 575,535.00
31x	Instructional, Professional and Technical Services	3	\$ 140,000.00
33x	Transportation	0	\$ -
34x	Travel	0	\$ -
35x	Communications	0	\$ -
4xx	Supplies and Materials	0	\$ -
5xx	Capital Outlay	3	\$ 90,000.00
640	Dues and Fees	0	\$ -
8xx	Miscellaneous	3	\$ 1,034,995.00
ADMIN	Administrative Indirect Costs	0	\$ -
OTHER	Other codes not listed		

TOTAL \$ 3,396,030.00

Total FTE 66.5

<u>CODE</u>	<u>Description</u>	<u>Total Line Items</u>	<u>Total Budgeted</u>
111	Licensed Salaries	8	\$ 567,500.00
112	Classified Salaries	6	\$ 946,500.00
113	Administrative Salaries	1	\$ 41,500.00
12x	Substitute Salaries	0	\$ -
13x	Additional Salaries	0	\$ -
2xx	Benefits	0	\$ 575,535.00
31x	Instructional, Professional and Technical Services	3	\$ 140,000.00
33x	Transportation	0	\$ -
34x	Travel	0	\$ -
35x	Communications	0	\$ -
4xx	Supplies and Materials	0	\$ -
5xx	Capital Outlay	3	\$ 90,000.00
640	Dues and Fees	0	\$ -
8xx	Miscellaneous	3	\$ 1,034,995.00
ADMIN	Administrative Indirect Costs	0	\$ -
OTHER	Other codes not listed		

TOTAL \$ 1,656,125.00

<u>Allowable Use Category</u>	<u>Total Line Items</u>	<u>Total Budgeted</u>
Administrative	0	\$ -
(Ongoing Community Engagement	3	\$ 77,500.00
Increased Instructional Time	4	\$ 43,125.00
Improving Student Health & Safety	4	\$ 416,500.00
Reducing Class Size	6	\$ 974,000.00
Well Rounded Education	4	\$ 145,000.00



Planning Application AR-20-05
Public Comment



Jennifer M. Bragar
Attorney
Admitted in Oregon, Washington,
and California
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Portland, Oregon 97204
Tel 503-894-9900
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www.tomasilegal.com

July 16, 2020

BY EMAIL: khart@ci.lebanon.or.us

Kelly Hart
City of Lebanon
925 Main Street
Lebanon, OR 97355

RE: City's Determination regarding Traffic Impact Analysis – File AR 20-05

Dear Kelly,

As you know this office represents the applicant, Farmworker Housing Development Corporation ("Applicant" or "FHDC"), in the above-referenced file. This letter is a request for the City to supplement its staff report with additional support for its determination that a traffic impact analysis is not required for this application for a 24-unit multi-family development under Lebanon Development Code ("LDC") 16.20.110.B.3. Please include this letter in the record for File AR 20-05.

Under LDC 16.20.110.B.3, the City may require a traffic impact study when a land use application involves an increase in traffic volume generation by 300 average daily trips. The June 10, 2020 staff report states, "City staff have reviewed the criteria and determined the current proposal does not meet the criteria to require a traffic impact analysis." The Applicant agrees with the City's determination that no traffic impact study is required for this project, however, requests that the City include additional support for this determination to support its conclusions. Please include responsive information from the City's traffic engineer to support this conclusion that approval of this application will not increase traffic by 300 average daily trips and include in the record during the open record period, if possible, or the response period to open record submittals. Please do not include a traffic impact analysis related to another proposal not currently incorporated in this application because no traffic impact analysis is required here and its inclusion would confuse the proceedings.

Thank you for you attention to this matter.

Sincerely,

A handwritten signature in blue ink that reads 'Jennifer Bragar'. The signature is fluid and cursive, with the first name 'Jennifer' written in a larger, more prominent script than the last name 'Bragar'.

Jennifer Bragar

JMB/jr
cc: client (by email)



Engineering Department
925 S. Main Street
Lebanon, Oregon 97355

TEL: 541.258.4269
www.ci.lebanon.or.us

July 22, 2020

Jennifer Bragar
Tomasi Salyer Martin
121 SW Morrison Street, Suite 1850
Portland, OR 97204
Sent via email

RE: City's Determination regarding Traffic Impact Analysis – File AR-20-05

Dear Ms. Bragar,

On July 16, 2020, the City received your letter for the Farmworker Housing Development Corporation project for the above-referenced file. This letter requested that the City provide support to the conclusion that the 24-unit apartment complex project proposed would not exceed 300 daily vehicle trips, and is therefore not subject to a traffic impact study as identified under Lebanon Development Code Section 16.20.110.B.3.

The City uses the Institute of Transportation Engineers (ITE) Trip Generation Manual 10th Edition, Volume 2: Data Part 1 (Land Uses 000-399) to identify the expected daily trips for residential uses. Per Land Use 221, the proposed development being three stories in height is considered "Mid-Rise Multifamily Housing." Per the ITE, the average daily weekday trip rate for a Mid-Rise Multifamily project is 5.44 trips per unit. The proposed development is 24-units. Therefore, the anticipated daily trips for the project would be 130.56. As such, the project does not generate 300 daily trips, and would not trigger the requirement for a traffic impact study.

Sincerely,

Ron Whitlatch
City Engineer

Land Use: 221

Multifamily Housing (Mid-Rise)

Description

Mid-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and that have between three and 10 levels (floors). Multifamily housing (low-rise) (Land Use 220), multifamily housing (high-rise) (Land Use 222), off-campus student apartment (Land Use 225), and mid-rise residential with 1st-floor commercial (Land Use 231) are related land uses.

Additional Data

In prior editions of *Trip Generation Manual*, the mid-rise multifamily housing sites were further divided into rental and condominium categories. An investigation of vehicle trip data found no clear differences in trip making patterns between the rental and condominium sites within the ITE database. As more data are compiled for future editions, this land use classification can be reinvestigated.

For the six sites for which both the number of residents and the number of occupied dwelling units were available, there were an average of 2.46 residents per occupied dwelling unit.

For the five sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 95.7 percent of the total dwelling units were occupied.

Time-of-day distribution data for this land use are presented in Appendix A. For the eight general urban/suburban sites with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 7:00 and 8:00 a.m. and 4:45 and 5:45 p.m., respectively.

For the four dense multi-use urban sites with 24-hour count data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 7:15 and 8:15 a.m. and 4:15 and 5:15 p.m., respectively. For the three center city core sites with 24-hour count data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 6:45 and 7:45 a.m. and 5:00 and 6:00 p.m., respectively.

For the six sites for which data were provided for both occupied dwelling units and residents, there was an average of 2.46 residents per occupied dwelling unit.

For the five sites for which data were provided for both occupied dwelling units and total dwelling units, an average of 95.7 percent of the units were occupied.

The average numbers of person trips per vehicle trip at the five center city core sites at which both person trip and vehicle trip data were collected were as follows:

- 1.84 during Weekday, Peak Hour of Adjacent Street Traffic, one hour between 7 and 9 a.m.
- 1.94 during Weekday, AM Peak Hour of Generator
- 2.07 during Weekday, Peak Hour of Adjacent Street Traffic, one hour between 4 and 6 p.m.
- 2.59 during Weekday, PM Peak Hour of Generator

The average numbers of person trips per vehicle trip at the 32 dense multi-use urban sites at which both person trip and vehicle trip data were collected were as follows:

- 1.90 during Weekday, Peak Hour of Adjacent Street Traffic, one hour between 7 and 9 a.m.
- 1.90 during Weekday, AM Peak Hour of Generator
- 2.00 during Weekday, Peak Hour of Adjacent Street Traffic, one hour between 4 and 6 p.m.
- 2.08 during Weekday, PM Peak Hour of Generator

The average numbers of person trips per vehicle trip at the 13 general urban/suburban sites at which both person trip and vehicle trip data were collected were as follows:

- 1.56 during Weekday, Peak Hour of Adjacent Street Traffic, one hour between 7 and 9 a.m.
- 1.88 during Weekday, AM Peak Hour of Generator
- 1.70 during Weekday, Peak Hour of Adjacent Street Traffic, one hour between 4 and 6 p.m.
- 2.07 during Weekday, PM Peak Hour of Generator

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alberta (CAN), British Columbia (CAN), California, Delaware, District of Columbia, Florida, Georgia, Illinois, Maryland, Massachusetts, Minnesota, New Hampshire, New Jersey, Ontario, Oregon, Pennsylvania, South Carolina, South Dakota, Tennessee, Utah, Virginia, and Wisconsin.

Source Numbers

168, 188, 204, 305, 306, 321, 357, 390, 436, 525, 530, 579, 638, 818, 857, 866, 901, 904, 910, 912, 918, 934, 936, 939, 944, 947, 948, 949, 959, 963, 964, 966, 967, 969, 970

Multifamily Housing (Mid-Rise) (221)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 27
Avg. Num. of Dwelling Units: 205
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate

5.44

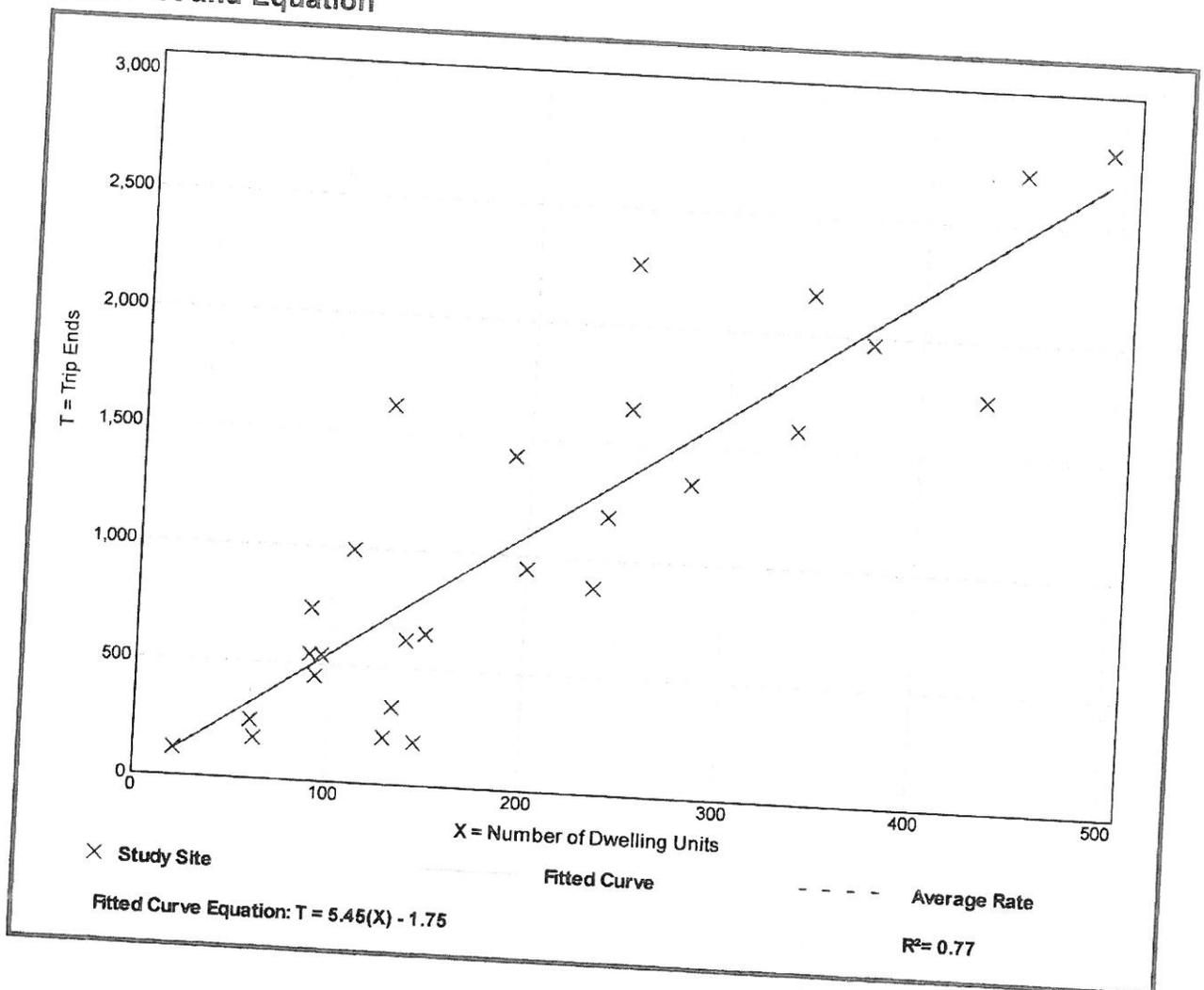
Range of Rates

1.27 - 12.50

Standard Deviation

2.03

Data Plot and Equation





Planning Application AR-20-05
Public Rebuttal Comments



Jennifer M. Bragar
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and California
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July 29, 2020

BY EMAIL

Chair Salvage and Planning Commissioners
c/o Kelly Hart
925 Main Street
Lebanon, OR 97355

Re: Applicant's Rebuttal Submittal
File No. AR 20-05

Dear Chair Salvage and Commissioners:

As you know, this office represents the applicant, Farmworker Housing Development Corporation ("Applicant" or "FHDC"), in the above-referenced file. The proposed development of 24-units of affordable housing is located at the western terminus of Weldwood Drive ("subject property" or "site"). FHDC has named the development Colonia Paz I. After considering comments made during the open record period from July 15 – July 22, 2020, the Applicant provides this additional response in rebuttal. Please accept these comments and additional information that further supports approval of this application and include this letter and the attachments in the record.

The only adverse comment raised by opponents that could be connected to an approval criteria is an issue related to noise from air conditioning units. The City regulates noise under Lebanon City Code Ch. 8.10. All construction associated with Colonia Paz I will comply with building permit rules and the City's noise regulations. No design review criteria requires the Applicant to assess noise impacts from air conditioning units. Rather, the City's design standards regarding landscaping aim to mitigate noise effects (and this application is subject to those clear and objective standards as set forth in Applicant's July 22, 2020 submittal, Attachment 5). In addition, as the Applicant has stated in prior submittals, the only application before the City is the proposal for 24-units at the subject property. No cumulative impact analysis is required. Further, the Applicant's architects have reviewed the surrounding conditions and conclude that the proposed building will block noise from the nearby WalMart, and that the minimal extra traffic noise will be absorbed by the proposed landscape plan, as the City's code intends.

///

TOMASI SALYER MARTIN
Lebanon Planning Commission
Page 2

Based on the foregoing information, the Applicant's previous submittals, and the established need for farmworker housing in Lebanon, the Applicant respectfully requests approval of this application.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jennifer M. Bragar". The signature is fluid and cursive, with the first name "Jennifer" written in a more stylized, looped manner.

Jennifer M. Bragar

JMB/jr
cc: client



Planning Application AR-20-05
Final Applicant Rebuttal



Jennifer M. Bragar
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and California
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www.tomasilegal.com

August 5, 2020

BY EMAIL

Chair Salvage and Planning Commissioners
c/o Kelly Hart
925 Main Street
Lebanon, OR 97355

Re: Applicant's Final Written Argument
File No. AR 20-05

Dear Chair Salvage and Commissioners:

As you know this office represents the applicant, Farmworker Housing Development Corporation ("Applicant" or "FHDC"), in the above-referenced file. The proposed development of 24-units of affordable housing is located at the western terminus of Weldwood Drive. Please accept this letter as Applicant's final written argument in support of approval of this application and include this letter and the attachments in the record.

FHDC has reviewed and responded to all relevant clear and objective criteria that apply to the proposed needed housing development, and supported its application with materials to show that all of the criteria have been met, or as conditioned can be met. In addition, the Applicant reviewed all relevant testimony and provided responsive information confirming that the proposal will not detrimentally impact nearby wells, wetlands, it is feasible to design the development to control stormwater, and confirming that access, traffic impacts, and onsite parking comply with Lebanon Development Code provisions. Further, the Applicant confirmed that landscaping would be designed and installed in the manner provided by the City Code, and as anticipated by the Code, the landscaping is an acceptable method for addressing potential noise impacts from the development.

The Applicant also provided non-code relevant information to confirm that fears of reduction in neighboring property values as a result of this application are unsupported by comparison to data from other FHDC properties and their surrounding neighbors' property values, and that the school district is taking steps to address student/teacher ratios. Last, the Applicant clarified the applicable laws relevant to this application including, but not limited to, that only clear and objective standards can be applied to needed housing applications, and the framework for land use decision making when the federal Fair Housing Act is implicated. Based on the application materials and the additional responses from FHDC during the public review process, there is ample evidence in the record to show that all clear and objective criteria are met, as conditioned, and the Planning Commission should approve the proposed development.

During the review process, FHDC also included responses to particular conditions of approval. In particular, FHDC requested revisions to condition of approval 1.a, and condition of approval 3 Engineering Department e. In addition, FHDC requested the removal of a few inapplicable conditions of approval related to a traffic impact analysis that is referred to in the staff report as being required if further development is proposed by the Applicant. FHDC requested removal of conditions of approval 3, Transportation, c and d because no traffic impact analysis is required for this proposal. Attached hereto is a revised version of the conditions of approval, reflecting these modifications and making other minor typographical corrections. Attachment 1. The Applicant requests that the Planning Commission approve the application and adopt the conditions of approval as set forth in Attachment 1.

Based on the Applicant's submittals to date, and the established need for farmworker housing in Lebanon, FHDC respectfully requests approval of this application as conditioned in Attachment 1.

Sincerely,



Jennifer M. Bragar

JMB/jr
Attachment
cc: client

V. CONCLUSION AND RECOMMENDED CONDITIONS FOR DEVELOPMENT

The Planning Commission approves the application subject to the adoption of the following Conditions of Development:

1. The Planning Department conditions include, but may not be limited to:
 - a. A landscape plan shall be submitted in compliance with Chapter 16.15 and approved prior to the issuance of a building permit, without application of subjective standards. The landscape plan shall include a six-foot tall site obscuring fence of chain link with vinyl slats along the south and east property lines as delineated in the Minor Land Partition in condition 1.d, with a minimum five foot landscape buffer.
 - b. A Children's play area shall be provided in compliance with Section 16.05.170.F. Any and all playground equipment shall comply with the International Play Equipment Manufacturers Association standards. The children's play area shall be included for review as part of the landscape plan.
 - c. A minimum of 46 vehicle parking spaces shall be maintained on-site at all times. A minimum of 44 bicycle spaces (24 open and 20 covered) shall be permanently maintained.
 - d. An application for a Minor Land Partition shall be filed and approved prior to issuance of building permits for the dedication of the public right-of-way, and the separation of the project site from the remainder of the land area of the existing tax lot.
2. All requirements of the Lebanon Fire District shall be met, including but not limited to:
 - a. Plans shall be submitted for review and approval by the Lebanon Fire Marshal that demonstrates full compliance with the Oregon Fire Code and local amendments. Lebanon Fire Marshal approval shall be obtained prior to issuance of building permits.
3. The Engineering Department conditions include, but may not be limited to:

General

 - a. All public improvements shall:
 - i. conform to the latest "City of Lebanon Standards for Public Improvements."
 - ii. require completion of a Drawing Review Application and a Public Improvements Permit prior to beginning construction.
 - iii. be designed by a professional engineer registered in the State of Oregon.
 - iv. Prior to final plat approval, a bond or other approved form of assurance is required for all incomplete public improvements.
 - b. An engineered site plan shall be submitted for review and approval for the site. The site plan must be submitted with an Application for Site Plan Review and associated fee.

The site plan shall detail all site improvements necessary for the proposed development together with a grading and drainage plan.

- c. All elevations shown on plans submitted to the City must be on the NAVD 88 vertical datum to provide compatibility with the City computer aided mapping system.
- d. All private, onsite utilities must be reviewed and approved by the City Building Official.
- e. Provide a landscape and illuminate plan as part of the engineering site plan review plan set.

Transportation

- a. Provide a Geotech report including minimum street section for wet and dry weather construction conditions.
- b. Cul-de-sacs and dead-end roads must have sufficient turning radius to allow the operations of emergency vehicles and Albany-Lebanon Sanitation vehicles. Fire Marshall approval of turnaround and emergency access. Minimum cul-de-sac radius and turn arounds must comply with the City's transportation plan.
- c. Proposed public street should be minimum 60-foot right-of-way with 5-foot sidewalk on both sides.
- d. Sidewalks, paths and driveway approaches must comply with ADA requirements.
- e. Provide City standard sidewalks and ADA access ramps access along proposed public street.
- f. Provide City standard street trees in compliance with the City of Lebanon street tree policy. See the policy and approved street tree list at (<http://www.ci.lebanon.or.us/index.aspx?page=117>)
- g. With engineering drawings, indicate the location of street and path lights, mailboxes, utility pedestals, signs.
- h. Mailbox locations must be also be reviewed and approved by the Postmaster.
- i. Provide City standard streetlights at all intersections and along proposed public street.
- j. Site lighting shall not glare or shine onto adjacent public streets or neighboring properties.
- k. Provide verification of Republic Services approval of location and access to garbage and recycling containers shown on site plans prior to approval of detailed engineering site plans.
- l. Provide one bus shelter to provide access to City transportation system and the Lebanon Community School District.

Water

- a. Identify any on-site wells on the engineered drawings. Back flow prevention devices will be required on any lot that is also served by the city water system.
- b. Fire suppression will be under the Fire Marshal review and approval. The number and location of fire hydrants shall be approved by the Lebanon Fire Marshal. All new hydrants must be operational and accepted by the City prior to storage of combustible materials on site.

c. Water main improvement should be extended through the development site to the edges of the property frontage to complete the loop from the south-east property line to the north-west property line.

Sewer System

- a. Identify any on-site septic systems on the engineering drawings. Provide Linn County approval for all septic systems.
- b. Extend the sewer main system as needed to service the development.

Storm Drainage

- a. Storm drainage facilities must be designed and constructed to ensure historical rates of discharge are not exceeded. Storm drain capacity shall be determined by the Rational Method for a 10-year event with a 15-minute minimum durations time using the curve (fig 5.3) in the master plan. A detailed design including engineering calculations shall be submitted as part of site plan review.
- b. With the engineering drawings, provide a grading plan for the site that indicates existing and proposed elevations. Drainage improvements (ditches and or piping) may be required at the site boundaries to prevent adverse impacts. The engineering drawings must provide a detailed design (including calculations) of the drainage improvements and mitigation of any impacts to adjacent properties.
- c. Provide verification of Oregon DEQ NPDES 1200C permit issuance and all condition of permit issuance prior to construction
- d. Provide correspondence from the appropriate state and federal regulatory agencies regarding wetland identification and required fill-removal permits, if any. Any wetlands identified as being impacted by public improvements shall be mitigated prior to the final acceptance of public improvements.
- e. With engineering drawings provide a construction erosion prevention plan.

Landscaping

- a. Submit a landscape and irrigation plan for any proposed landscape improvements to the City Engineer for review. Any landscaping proposed in the public right of way shall have a maximum mature height of no more than 24 inches above the street grade and at least 3 feet from any fire hydrant. All landscaping proposed in the yard setback areas adjacent to public streets shall have a maximum mature height of no more than 36 inches above the street grade.
- b. Vision clearance areas shall be provided at intersections of all streets and at intersections of driveways and alleys with streets to promote pedestrian, bicycle, and vehicular safety per Subsection 16.12.030.H of the Lebanon Development Code. A clear-vision area shall contain no plantings, fences, walls, structures, utility pedestals, or temporary or permanent obstruction exceeding 2-1/2 feet in height, measured from the top of the curb.

AGENDA ITEM

4.b.





925 S. Main Street
Lebanon, Oregon 97355

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MEMORANDUM

Community Development

To: Charmain Salvage and Planning Commissioners Date: July 7, 2020
From: Kelly Hart, Community Development Director
Subject: Development proposal for a 78-unit apartment complex on the south side of the intersection of Russell Drive and Franklin Street (AR-20-09)

I. BACKGROUND

The subject property is located on the south side of the intersection of Russell Drive and Franklin Street. The Applicant, McKinney Land Apartments II, LLC, is proposing to develop the currently vacant property with a 78-unit apartment complex. Under consideration is an application for an Administrative Review (AR-20-09) for the development of the apartment complex.

II. CURRENT REPORT

Project Location and Zoning Designation – The subject parcel is 7.42 acres and located on the south side of the intersection of Russell Drive and Franklin Street. The property is zoned Residential Mixed-Density (Z-RM). Surrounding the property to the north are vacant properties zoned or designated as residential mixed density (Z-RM and C-RM). At the June Planning Commission meeting, an application for a 48-unit apartment complex at the northwest corner of Russell Drive and Franklin Street was approved. To the south are vacant properties zoned Industrial. To the West is the developed first phase of the McKinney Lane apartment complexes, as well as single-family homes in the County. To the east are single-family homes in the County unincorporated are designated for residential low-density (C-RL).

Development Proposal – The Applicant is proposing to develop a 78-unit apartment complex. As indicated on the site plan, there would be a total of six 2-story apartment buildings, and a clubhouse. The clubhouse and one apartment building would be located along the Russell Drive, with the other apartment buildings located to the south, along the internal driveway and parking lot.

In terms of setbacks, per Section 16.05.090 of the Lebanon Development Code (LCD), the minimum observed setbacks shall be a 10-foot front setback, 5-foot side setbacks, and a 20-foot rear setback. As indicated on the site plan, the front setback (on Russell Drive) would be over 12-feet. The side setbacks would be over 13-feet on the western property line, and over 12-feet on the eastern property line. The rear setback would far exceed 20-feet. The subject property contains wetlands, and Buildings 4, 5, and 6 would be located adjacent to the wetland area. A delineation report has been provided and concurred by Department of State Lands (DSL) to verify the wetland boundary. The development proposal would be located beyond the boundary of the delineated wetlands.

For Density, the minimum lot size for a multifamily use in the RM zone is 9,000 square feet. The total site area is 7.42 acres. With the removal of the wetland area and portions of the property not included in the development, the total project area is 175,413 square feet (4.02 acres), exceeding the minimum standard. Section 16.05.160 of the LDC indicates the minimum site area for different unit sizes: 1,100 square feet for a studio; 1,550 square feet for a one-bedroom unit; and 2,000 square feet for a two-bedroom unit.

Unit Type	Number of Units	Total Square Footage
Studio Unit	40	44,000 sq. ft. required
One-Bedroom	26	40,300 sq. ft. required
Two-Bedroom	12	24,000 sq. ft. required
TOTAL		108,300 sq. ft. or 2.48 acres

Open space requirements identified in Section 16.05.170 of the LDC include 25% of the project development area to be designated for open space/landscaping. Of this open space area, at least 50% shall be usable open space (i.e., not designated for storm drain facilities, etc.), and at least 25% of this usable open space shall be in one area. In addition, a children’s play area shall be provided. The remainder of the open space area may be distributed throughout the site. As proposed, the applicant is providing 29% (50,974 sq. ft.) of the site as landscaping, 41% (21,000 sq. ft.) of the landscaping would be designated for usable open space. Credits, as authorized in Section 16.05.170 of the LDC at a rate of 1:4 ratio are provided for amenities, such as the clubhouse and pool area. With the credits applied, the project exceeds the 50% of the landscape area to be usable. Over 25% of the usable open space is in the northwest portion of the site and would include the area with the clubhouse and the pool. The required children’s play area would also be located centrally to the site, adjacent to Building 3 as identified on the site plan. Private patios and balconies will also be provided for each unit. Based on the provided site plan, the development proposal meets and exceeds the minimum requirements for open space.

For parking, Section 16.14.070 of the LDC requires 2.25 vehicle parking spaces per unit, and 0.5 bicycle parking spaces per unit. In addition, Section 16.14.030 identifies authorized parking reduction of up to 15% when additional covered and uncovered bicycle parking is provided. The applicant is only proposing a 10% reduction. With the code authorized reduction, the minimum required vehicle parking would be 158 spaces, and the minimum required bicycle parking would be 112 spaces, 92 covered, and 20 uncovered. The development has proposed to meet the minimum vehicle parking with 158 open parking spaces along the internal drive aisle. Bicycle racks would also be provided throughout the site to meet the 20 uncovered bicycle parking requirements, and a total of 92 covered bicycle parking spaces would be provided including covered racks, and storage in each unit, exceeding the minimum requirements.

Project Access and Transportation – The site would be accessed from a single driveway on Russell Drive. This driveway would provide access to the internal drive aisle and parking lot, as well as providing appropriate internal circulation to meet fire code.

Regarding traffic considerations, Section 16.20.110 identifies the criteria of a project would automatically trigger the requirement of a traffic impact analysis. These criteria include triggering over 300 average daily trips per day, if the project is located near a major intersection on the highway and there are safety concerns, whether there is a change in zoning proposed or if the

driveways proposed do not meet the vision clearance requirements. This project would exceed 300 trips per day. As such, a Traffic Impact Analysis was prepared as part of the planning process and has been included as part of the Agenda. The results of this TIA determined the increased traffic associated in this development can be accommodated within the current transportation system, and no additional off-site improvements would be required. This TIA also took into consideration the anticipated added traffic associated with the recently approved development at the northwest corner of Franklin Street and Russell Drive.

Utilities – Sanitary Sewer, Water, and Storm Drain facilities are all currently available in Russell Drive. There is sufficient capacity available to service the site for all city utilities. A fire hydrant is currently located adjacent to the proposed development driveway to service the site. Additional hydrants may be required within the project area to service the development.

III. REVIEW CRITERIA AND RECOMMENDED FINDINGS

The Applicant is requesting consideration of an Administrative Review for the development of a 78-unit apartment complex. Below is an analysis of the review criteria (Section 16.20.040.D of the LDC) and recommended findings:

1. The proposal shall conform to use, height limits, setbacks and similar development requirements of the underlying zone.

RECOMMENDED FINDING: The underlying zone of the property is Residential Mixed Density. Minimum setbacks include 10-foot front, 20-foot rear, and 5-foot side setbacks; the maximum height permissible in the zone is 40-feet; and the maximum lot coverage is 60%. For multi-family development, a minimum 25% of the development site shall be open space, including a children’s play area and common open space. The development proposal conforms with all these standards, observing setbacks that meet or exceed the minimum standard with a front setback (on Russell Drive) over 12-feet; side setbacks over 13-feet on the western property line, and over 12-feet on the eastern property line; and rear setback well exceeding 20-feet. The lot coverage for the project is 22% which is well below the maximum coverage. The maximum proposed building height within the development is 37-feet, below the maximum permissible. Finally, the development provides 41% of the site as open space.

2. The proposal shall comply with applicable access and street improvement requirements in Chapters 16.12 and 16.13, respectively.

RECOMMENDED FINDING: The site is accessed from a single driveway on Russell Drive. The driveway would provide access to the internal drive aisle and parking lot. The Fire District has reviewed the development proposal and determined the development meets Fire District requirements for access, circulation and fire suppression.

3. The proposal shall comply with applicable parking requirements in Chapter 16.14.

RECOMMENDED FINDING: Section 16.14.070 of the LDC requires 2.25 vehicle parking spaces per unit, and 0.5 bicycle parking spaces per unit. In addition, Section 16.14.030

identifies authorized parking reduction of up to 15% when additional covered and uncovered bicycle parking is provided. With the code authorized reduction, a 10% reduction is identified, with the minimum required vehicle parking would be 158 spaces, and the minimum required bicycle parking would be 112 spaces, 92 covered, and 20 uncovered. The development has proposed to meet the minimum vehicle parking with 158 open parking spaces along the internal drive aisle. Bicycle racks would also be provided throughout the site to meet the 20 uncovered bicycle parking requirements, and a total of 92 covered bicycle parking spaces would be provided with covered racks as well as storage spaces within each unit.

4. The proposal shall comply with applicable screening and landscaping provisions in Chapter 16.15.

RECOMMENDED FINDING: Open space requirements identified in Section 16.05.170 of the LDC include 25% of the project development area to be designated for open space/landscaping. Of this open space area, at least 50% shall be usable open space (i.e., not designated for storm drain facilities, etc.), and at least 25% of this usable open space shall be in one area. In addition, a children's play area shall be provided. The remainder of the open space area may be distributed throughout the site. As identified on the site plan, the applicant is providing 29% (50,974 sq. ft.) of the site as landscaping, 41% (21,000 sq. ft.) of the landscaping would be designated for usable open space. Credits, as authorized in Section 16.05.170 of the LDC at a rate of 1:4 ratio are provided for amenities, such as the clubhouse and pool area. With the credits applied, the project exceeds the 50% of the landscape area to be usable. Over 25% of the usable open space is in the northwest portion of the site and would include the area with the clubhouse and the pool. The required children's play area would also be located centrally to the site, adjacent to Building 3 as identified on the site plan. Private patios and balconies will also be provided for each unit. A landscape plan has been required as a condition of development to ensure the appropriate number of trees, shrub and ground cover is provided to meet the minimum requirements of Chapter 16.15.

5. Any required public facility improvements shall comply with provisions in Chapter 16.16.

RECOMMENDED FINDING: There are existing public facilities for utility service within Russell Drive. No additional public facility improvements are required to service the development.

6. Where applicable, the proposal shall comply with development requirements within identified hazard areas and/or overlay zones.

RECOMMENDED FINDING: There are no identified hazard areas and/or overlay zones within or near the subject site. As such, the development proposal complies with this decision criteria.

7. The proposal shall comply with the supplementary zone regulations contained in Chapter 16.19 or elsewhere in the Development Code.

RECOMMENDED FINDING: All accessory structures, uses, and building projects fully comply within the minimum setback standards identified in Chapter 16.05 and Chapter 16.19.

IV. PUBLIC NOTIFICATION AND COMMENTS

A public notification for this project was originally issued on May 28, 2020. Due to the Covid-19 pandemic, the Planning Commission will be hosting a two-phased public hearing process. The public record for this project will remain open until 5:00pm Monday, June 22, 2020. All public comment received on this application will be presented to the Planning Commission at the June 24, 2020 meeting.

V. CONCLUSION AND RECOMMENDED CONDITIONS FOR DEVELOPMENT

Staff finds the proposal complies with the decision criteria for an Administrative Review, and recommends approval of the application subject to the adoption of the following Conditions of Development:

1. The Planning Department conditions include, but may not be limited to:
 - a. Sight obscuring fencing shall be constructed to a minimum of six feet in height along the western and eastern property lines, with the exception of designated vision clearance areas.
 - b. A landscape plan shall be submitted and approved prior to the issuance of building permits. The landscape plan shall comply with all the requirements of Chapter 16.15, including identification of landscape design options as identified in Section 16.15.030.
 - c. A Children's play area shall be provided in compliance with Section 16.05.170.F. Any and all playground equipment shall comply with the International Play Equipment Manufacturers Association standards. The children's play area shall be included for review as part of the landscape plan.
 - d. A minimum of 158 vehicle parking spaces shall be maintained on-site at all times. A minimum of 20 uncovered bicycle spaces and 92 covered bicycle spaces shall be permanently maintained.
 - e. All lighting provided on-site shall be oriented internally and directed away from adjacent properties.
2. All requirements of the Lebanon Fire District shall be met, including but not limited to:
 - a. Plans shall be submitted for review and approval by the Lebanon Fire Marshal that demonstrates full compliance with the Oregon Fire Code and local amendments. Lebanon Fire Marshal approval shall be obtained prior to issuance of building permits.
3. The Engineering Department conditions include, but may not be limited to:

General

 - a. An engineered site plan shall be submitted for review and approval for the site. The site plan must be submitted with an Application for Site Plan Review and associated fee. The

site plan shall detail all site improvements necessary for the proposed development together with a grading and drainage plan.

- b. All elevations shown on plans submitted to the City must be on the NAVD 88 vertical datum to provide compatibility with the City computer aided mapping system.
- c. All private, onsite utilities must be reviewed and approved by the City Building Official.
- d. Provide verification of approval by the Lebanon Fire District.
- e. Provide approval from ODOT Rail for any improvements adjacent to the rail rights-of-way including fencing and landscaping.

Transportation

- a. Site lighting shall not glare or shine onto adjacent public streets or neighboring properties.
- b. Provide verification of Republic Services approval.
- c. Provide verification of United States Postal Service for community mailbox location.

Water

- a. Identify any on-site wells on the engineered drawings.
- b. Contact the Lebanon Fire Marshal for additional requirements.
- c. Public improvement drawings shall be submitted for review and approval for the extension of water main and public hydrants. The drawing must be submitted with an Application for Public Improvements and associated fee.

Sewer System

- a. Identify any on-site septic systems on the engineering drawings.

Storm Drainage

- a. The drainage system and grading plan shall be designed so as not to adversely impact drainage to or from adjacent properties. Storm drainage facilities must be designed and constructed to ensure historical rates of site discharge are not exceeded. A detailed design including engineering calculations shall be submitted as part of site plan review. With the engineering drawings, provide a grading plan for the sites that indicates existing and proposed elevations. Drainage improvements (ditches and or piping) may be required at the site boundaries to prevent adverse impacts. The engineering drawings must provide a detailed design (including calculations) of the drainage improvements and mitigation of any impacts to adjacent properties.

Landscaping

- a. Vision clearance areas shall be provided at intersections of all streets and at intersections of driveways and alleys with streets to promote pedestrian, bicycle, and vehicular safety per Subsection 16.12.030.H of the Lebanon Development Code. A clear-vision area shall contain no plantings, fences, walls, structures, utility pedestals, or temporary or permanent obstruction exceeding 2-1/2 feet in height, measured from the top of the curb.

V. RECOMMENDED ACTIONS

1. Evaluate the public testimony and the record established before the Planning Commission
2. Commission options:
 1. Approve the proposed Administrative Review (AR-20-09) for the development of a 78-unit apartment complex adopting the written findings for the decision criteria contained in the staff report with the conditions of development; or
 2. Approve the proposed Administrative Review (AR-20-09) for the development of a 78-unit apartment complex, adopting modified findings for the decision criteria and conditions of development; or
 3. Deny the proposed Administrative Review (AR-20-09) for the development of a 78-unit apartment complex, specifying reasons why the proposal fails to comply with the decision criteria; and
 4. Direct staff to prepare an Order of Recommendation for the Chair or Vice Chair's signature incorporating the adopted findings as approved by the Planning Commission.

EXHIBIT A – ADMINISTRATIVE REVIEW APPLICATION NARRATIVE

**MCKINNEY APARTMENTS PHASE II MULTI-FAMILY DEVELOPMENT -
LEBANON, OREGON**

GENERAL INFORMATION

NATURE OF REQUEST: Application for a 78-unit Multi-Family Development on Russell Drive in Lebanon, Oregon

The request is to establish:

- ❖ (6) apartment buildings
- ❖ Total of 78 units
 - 40 Studio Apartments
 - 26 One Bedroom Apartments
 - 12 Two Bedroom Apartments
- ❖ Associated parking
- ❖ Common Open space
- ❖ Children’s play area (sport court)
- ❖ Clubhouse building

APPLICANT: Marathon Acquisition and Development, Inc.
30050 SW Town Center Loop
Wilsonville, OR 97070

OWNER: Sally J Kirklie Living Trust c/o Ken Marshall
2697 Broadway Street NW
Albany, OR 97321

PROPERTY LOCATION: On the south side of Russell Drive, at the intersection of Franklin Street (DN 2017-00365, TL 0700, 12S-2W-14CA & 12S-2W-14CA TL 06500).
12S-2W-15CD Tax Lot 1900

ZONING: Residential Mixed Density (Z-RM)

CURRENT LAND USE: Vacant

BACKGROUND

The subject property is approximately 7.42 acres. The property is currently vacant and located on the south side of Russell Drive, at Franklin Street. The zoning designation for the property is residential mixed density (RM). The intent of the residential mixed density zone is “to accommodate a wider variety of housing types and more intensive land use than the RL zone”.

The applicant is proposing to develop a multi-family project in one phase. The proposed onsite infrastructure improvements include the following:

- ❖ Seven buildings (six apartment buildings and one clubhouse building)
- ❖ Driveway and parking lot construction as necessary to serve the complex
- ❖ Utility construction as necessary to serve each building
- ❖ Landscape improvements as necessary to meet City standards and code requirements including yards, common open space and sport court
- ❖ Sight obscuring privacy fence as necessary to meet City standards and code requirements

The subject property is well located for multi-family development. It is within walking distance to Santiam Hwy which has multiple stores, recreational opportunities, fast food restaurants, sit-down restaurants, and other shops to meet daily needs in Lebanon. It is also located approximately a ½ mile from Cheadle Lake Park, the Santiam River, Santiam River Park, and Riverview Elementary School. This location will be very convenient for future tenants.

The existing wetlands take up approximately 1.94 acres of the 7.42 acre site and will be maintained. This will create a nice open area with natural vegetation and wildlife.

After the Administrative Review of the land use application is complete, the applicant’s professional consultant team will prepare permit level construction documents for the City staff to review in order to obtain a construction permit.

This application is for an Administrative Review under the provisions of LDC 16.20.040.

REQUIRED APPLICATION MATERIALS

16.20.040 ADMINISTRATIVE DECISION-MAKING PROCEDURE

D. Administrative Decision Requirements

- 1. The applicable decision authority shall make written decisions addressing all of the relevant decision criteria and standards. Based upon the criteria and standards, and the facts contained within the record, the applicable decision authority shall approve, approve with conditions, or deny the requested land use decision application or action.**

2. Approval Criteria

- a. The proposal shall conform to use, height limits, setbacks, and similar development requirements of the underlying zone.**

The proposed development is on land within the Residential Mixed Density (RM) zone.

LDC 16.05.090 – Residential Zones – Development Standards. The development standards in Tables 16.05-7 through 9 apply to all uses, structures, buildings and development and major remodels in the Residential Mixed Density Zone.

Minimum Lot Area Required: 9,000 sf

Applicants' Statement:

The development area of the subject property is 7.42 acres. This exceeds the minimum lot area requirement for the development.

Minimum Lot Width Required: 60 feet

Applicants' Statement:

The minimum lot width proposed is approximately 374+ feet along Russell Drive. This exceeds the minimum lot width requirement.

Maximum Building Height: 40 feet

Applicants' Statement:

The proposed two-story building will have a peak height of approximately 32 feet and an eave height of approximately 22 feet. This is far less than the maximum allowed in the code.

Fences, Retaining/Garden Walls

Maximum Height – Front Yard: 3 feet

Maximum Height – Interior Side: 8 feet

Maximum Height – Rear Yard: 8 feet

Maximum Height –Street Side: 3 feet

Maximum Height – Reverse Frontage Lot Rear: Not Applicable

Applicants' Statement:

The only proposed fencing is a 6-foot sight obscuring fence along all property lines that have proposed buildings adjacent to them including the areas abutting the railroad tracks and the neighboring residential buildings to the NE. This is less than the maximum 8 foot for an interior side and rear yard.

Lot Coverage and Minimum Setbacks

Maximum Lot Coverage: 60%

Applicant's Statement:

The proposed development includes a lot coverage of approximately 8,110 square feet which

equates to 22.2%. The maximum lot coverage in the applicable RM zone is 60%. The proposed development's lot coverage is less than the maximum permitted by the code.

Minimum Landscape Area: See Chapter 16.15

Applicant's Statement:

The landscaping of required yards and open space will be provided per City standards found in Chapter 16.15 of the Development Code. See the Administrative Review Site Plan for reference of areas to be landscaped. A Final Landscape Plan will be submitted with the Construction Drawings as part of the building permit process or as a deferred submittal for the Planning Official to review. All landscaping will be completed prior to certification of final occupancy of the building units.

Minimum Setbacks

Front Setback: 10 feet.

Side Setback: 10 feet

Rear Setback: Dwellings 10 feet.

Applicants' Statement:

The proposed development maintains the required periphery yards as required in the applicable RM zone as follows:

Front Yard: The front yard is adjacent to the existing Russell Drive. A 10-foot setback is required to the buildings and parking area. The proposal includes a 10 foot setback to the proposed parking area, buildings and recreational areas. Refer to the accompanying Administrative Review Site Plan.

Side Yard: The side yard is required to be 10 feet.

A 10-foot setback is proposed adjacent to the buildings along the west property line. Refer to the accompanying Administrative Review Site Plan.

A 5-foot setback is proposed adjacent to the access drive aisle along the east property line. for landscaping. A 10-foot setback is not required along parking areas. A 10-foot setback is proposed adjacent to the one building along the east property line. Refer to the accompanying Administrative Review Site Plan.

Rear Yard: The rear yard is required to be 10 feet.

The rear yard as defined in the Lebanon Development Code is the yard opposite the street. In this case the rear yard is on the other side of the wetlands. A 10-foot setback is met.

LDC 16.05.160. Site Area Standards for Multi-Family Housing. Where multi-family housing is allowed, it shall conform to all of the following standards, which are intended to promote livability for residents and compatibility with nearby uses.

LDC 16.05.160.a. Minimum Site Areas. The minimum site area per dwelling shall be:

1,100 sf for each studio multi-family dwelling;
1,550 sf for each one bedroom multi-family dwelling;
2,000 sf for each two bedroom multi-family dwelling; and
2,425 sf for each three bedroom multi-family dwelling.

Applicants' Statement:

The proposed development will contain 40 studio units, 26 one-bedroom units and 12 two-bedroom units distributed in 6 buildings. The required minimum lot area for this development is 108,300 square feet. The lot size is 323,215 square feet. The proposed development complies with the minimum site area standard.

LDC 16.05.170. Open Space and Site Design Requirements for Multi-Family Housing.

Applicants' Statement:

The LDC Chapter 16.05.170 addresses required open space. The code separates the required open space into the following categories; General Allocation, Common Open Space, Children's Play Areas and Private Open Space.

General Allocation Open Space: The LDC requires that 25% of the total land development area be of this classification of open space. The developable land is 175,413 square feet not including the wetland area and the property south of the wetland. 25% of the 175,413 square feet of developable land results in 43,853 square feet of required open space. The project includes 50,974 sf of landscaped area and 18,727 sf of sidewalk area, in total these areas exceeds the 43,853 square feet of required open space.

The LDC allows for the reduction of open space when a developed recreation area is provided that includes a fitness center, social hall, pool and associated outdoor decks. The reduction of 4:1 is provided, with 5,514 sf of developed recreation area, a reduction of 22,056 sf is allowed. This reduces the open space from 43,853 minus 22,056 to 21,797 sf.

Common or Useable Open Space: The LDC requires that the common open space be at minimum a total of 1,000 square feet and that no incremental area be less than 500 square feet in size and that no dimension of that area be less than 20 feet. The LDC code also requires that 25% of the required open space be in one area with its length not exceeding its width by more than 2.5 times unless it's minimum dimension is greater than 30 feet. 25% of the required 21,797 square feet of the General Open space equates to 5,449 square feet of common open space. The proposal includes a Common Open Space of 5,491 sf in the dimension of 65'3" x 106'-10". Therefore, the proposal exceeds the required Common Open Space requirement.

Children's Play Area: The LDC requires that 10% of the required overall General Allocated Open Space be in the form of a developed child's play area. The LDC defines the children's play area as: "an area designated for the recreation of children. Such areas may include sand

boxes, bark chip areas, areas containing play structures, hard surface courts, and wading pools. The proposed development is required to have 5,449 square feet of overall General Allocated Open Space. The children's play area then equates to (0.10 x 5,449) 545 square feet. The proposed development includes 1,182 square foot children's play area which exceeds the 545 square foot requirement.

Private Open Space: The LDC includes a provision that private open space such as decks and patios that meet the minimal dimension requirements will count toward the required overall General Allocated Open Space requirement. The applicant has already demonstrated compliance with the overall General Allocated Open Space requirement, but would like to point out that each unit has private open space in the form of a patio. This area is not counted towards the required overall General Allocated Open Space because some of the proposed patio and deck areas do not meet the minimum dimensional requirements. But it is still worth noting that Private Open Space is provided for each unit. The total area of the patios is roughly 6,240 square feet.

2. Approval Criteria

- b. The proposal shall comply with applicable access and street improvement requirements in Chapters 16.12 and 16.13, respectively.**

LDC 16.12 Contains the City's standards for Transportation Access, Access Management and Circulation.

Applicants' Statement:

The property will be accessed from Russell Drive. The proposed plan complies with all City access standards and Fire Department requirements.

LDC 16.13 Contains the City's requirements for Transportation Improvements and Design Standards for Streets, Alleys and Pathways.

Applicants' Statement:

Russell Drive requires no additional improvements.

2. Approval Criteria

- c. The proposal shall comply with applicable parking requirements in**

Chapter 16.14.

LDC 16.14. Off-Street Parking and Loading.

LDC 16.14.040. Location Standards for Parking Lots.

Applicants' Statement:

The proposed parking areas are aligned with the access drive and provide a loop through the development. Parking is not located along the street frontage.

LDC 16.14.050. Landscaping and Visual Buffering Design Standards for Parking Lots.

Applicants' Statement:

Landscaping and visual buffering that complies with the standards in LDC will be provided as shown on the Administrative Review Site Plan.

LDC 16.14.060. Design and Improvement Requirements for Parking Lots.

Applicants' Statements:

The proposal includes 78 units in 6 buildings on one property. As demonstrated later in this document the required number of vehicular parking spaces is 158 with a reduction included for additional covered bike spaces provided on site. The parking is provided on site and in a drive lane loop with a minimum 24-foot wide drive aisle. The parking will be designed to meet the City standards for private parking lots.

LDC16.14.070. Off-Street parking Requirements for Motor Vehicles and Bicycles.

Applicants' Statement:

Each unit is required to have 2.25 onsite parking spaces. There are 78 units proposed for a total of 176 required onsite parking spaces prior to any earned credit vehicular parking reductions. The project is required to provide 39 onsite bicycle parking spaces of which ½ or 20 are required to be covered and 20 uncovered. The proposed project is providing 112 total bicycle parking stalls of which 92 are covered. The following earned vehicular parking reductions are being qualified:

Section 16.14.030 Earned Reductions:

- A. 1 vehicular space reduction for every 4 additional covered parking spaces provided. 20 covered bicycle parking stalls are required. 72 additional covered parking spaces are provided which equates to an 18 vehicular space reduction.
- B. Total reduction to vehicular parking spaces is 18. Therefore, the required number of vehicular parking spaces is 158.
- C. Total bike parking is 20 uncovered spaces and 92 covered spaces (20 required and 72 additional for vehicular reduction).

The parking stall requirement is 176 reduced by 18 for bicycle parking reductions for a total of 158 required parking spaces which is the amount the proposed development provides.

2. Approval Criteria

- d. The proposal shall comply with applicable screening and landscaping provisions in Chapter 16.15.**

LDC 16.15 Contains the City's standards for Landscaping, Street Trees, Fencing and Walls.

Applicants' Statement:

The landscaping of required yards and open space will be provided per City standards found in Chapter 16.15 of the Development Code. See the Administrative Review Site Plan for reference of areas to be landscaped. A Final Landscape Plan will be submitted with the Construction Drawings as part of the building permit process or as a deferred submittal for the Planning Official to review. All landscaping will be completed prior to certification of final occupancy of the building units.

2. Approval Criteria

- e. Any required public facility improvements shall comply with provisions in Chapter 16.16.**

LDC 16.16 Contains the City's standards for Public Facilities.

Applicants' Statement:

Utility Service Availability:

Sanitary Sewer:

There is an existing 8-inch diameter sanitary sewer stubbed into the property from Russell Drive. This 8-inch sewer has capacity to serve the proposed development. The 8-inch pipe will be extended throughout the project as private sewer system with a connection to each building. The private sewer system will be designed and constructed in conformance with the current State of Oregon Plumbing Specialty Code.

Water:

There is an existing 8-inch diameter public water stubbed into the property from Russell Drive. This 8-inch water has capacity to provide domestic water, fire water and landscape irrigation water. The domestic water will be accommodated with a new 4-inch service line, 3-inch meter and 3-inch backflow prevention device. The fire water will be accommodated with a new 8-inch service, 8-inch double check detector assembly and an onsite fire hydrant. The irrigation water will either be accommodated through the 3-inch domestic meter or a designated irrigation meter. This will be determined with the building permit submittal plan set.

Storm Drainage:

There is an existing 18-inch diameter storm pipe stubbed into the property from Russell Drive. This 18-inch storm pipe has capacity to provide drainage for the proposed project. The proposed project will be designed per City of Lebanon standards with flow control to limit storm drainage discharge to at or below the rate generated by the pre-development site conditions during a 10-year storm event. Onsite detention will be provided in the form of two above ground dry detention ponds. The neighboring property to the east sheds storm waters onto the subject property. A swale will be installed along the east boundary that will drain to a catch basin that will direct storm waters into a piped system that passes these flows through to the City storm system. This storm drainage system as described will mitigate for potential adverse impacts on upstream or downstream properties and systems as a result of the proposed development.

Franchised Utilities:

The franchised utilities such as NW Natural Gas, Comcast Cable, CenturyLink Cable and Pacific Power are all available in the adjacent Russell Drive. All franchised utilities necessary for this proposed development will be extended into and through the development underground as required by City standards.

Utility Service Summary:

All utilities required to serve the proposed development are readily available and have the required capacity to accommodate the proposal.

2. Approval Criteria

f. where applicable, the proposal shall comply with development requirements within identified hazard areas and/or overlay zones.

Applicants' Statement:

The proposal is not within any known hazard areas or overlay zones.

2. Approval Criteria

g. The proposal shall comply with the supplemental zone regulations contained in Chapter 16.19 or elsewhere in the Development Code.

Applicants' Statement:

There are not supplemental zone regulations contained in Chapter 16.19 or elsewhere in the Development Code that apply to this proposal.

Applicant's Conclusion:

It has been adequately demonstrated in the application that the proposed 78-unit multi-family development has satisfied the approval criteria identified in the Lebanon Development Code Chapter 16.20.040 for an Administrative Review approval.



Oregon

Kate Brown, Governor

Department of State Lands

775 Summer Street NE, Suite 100

Salem, OR 97301-1279

(503) 986-5200

FAX (503) 378-4844

www.oregon.gov/dsl

State Land Board

October 2, 2018

Sally Kirkelie
PO Box 287
Foster, OR 97345

Kate Brown
Governor

Re: WD #2018-0452 Wetland Delineation Report for Residential
Development; Linn County;
T 12S R 2W S 14CA TL 700; S 14CD TL 6500;

Dennis Richardson
Secretary of State

Tobias Read
State Treasurer

Dear Ms. Kirkelie:

The Department of State Lands has reviewed the wetland delineation report prepared by Geo Resources LLC for the site referenced above. Based upon the information presented in the report, we concur with the wetland boundaries as mapped in Figures 6A and 6B of the report. Please replace all copies of the preliminary wetland map with these final Department-approved maps.

Within the study area, two wetlands (Wetland A-B) were identified. Wetland B is subject to the permit requirements of the state Removal-Fill Law. Under current regulations, a state permit is required for cumulative fill or annual excavation of 50 cubic yards or more in the wetland or below the ordinary high-water line (OHWL) of the waterway (or the 2-year recurrence interval flood elevation if OHWL cannot be determined). Wetland A is exempt per OAR 141-085-0515(6) therefore not subject to current state Removal-Fill requirements.

This concurrence is for purposes of the state Removal-Fill Law only. Federal or local permit requirements may apply as well. The Army Corps of Engineers will determine jurisdiction for purposes of the Clean Water Act. We recommend that you attach a copy of this concurrence letter to both copies of any subsequent joint permit application to speed application review.

Please be advised that state law establishes a preference for avoidance of wetland impacts. Because measures to avoid and minimize wetland impacts may include reconfiguring parcel layout and size or development design, we recommend that you work with Department staff on appropriate site design before completing the city or county land use approval process.

This concurrence is based on information provided to the agency. The jurisdictional determination is valid for five years from the date of this letter unless new information necessitates a revision. Circumstances under which the Department may change a determination are found in OAR 141-090-0045 (available on our web site or upon

request). In addition, laws enacted by the legislature and/or rules adopted by the Department may result in a change in jurisdiction; individuals and applicants are subject to the regulations that are in effect at the time of the removal-fill activity or complete permit application. The applicant, landowner, or agent may submit a request for reconsideration of this determination in writing within six months of the date of this letter.

Thank you for having the site evaluated. Please phone me at 503-986-5218 if you have any questions.

Sincerely,



Lauren Brown
Jurisdiction Coordinator

Approved by



Peter Ryan, PWS
Aquatic Resource Specialist

Enclosures

ec: Allen Martin, Geo Resources LLC
Linn County Planning Department (Maps enclosed for updating LWI)
Andrea Wagner, Corps of Engineers
Carrie Landrum, DSL

WETLAND DELINEATION / DETERMINATION REPORT COVER FORM

Fully completed and signed report cover forms and applicable fees are required before report review timelines are initiated by the Department of State Lands. Make checks payable to the Oregon Department of State Lands. To pay fees by credit card, go online at <https://apps.oregon.gov/DSL/EPS/program?key=4>.

Attach this completed and signed form to the front of an unbound report or include a hard copy with a digital version (single PDF file of the report cover form and report, minimum 300 dpi resolution) and submit to: Oregon Department of State Lands, 775 Summer Street NE, Suite 100, Salem, OR 97301-1279. A single PDF of the completed cover form and report may be e-mailed to Wetland_Delineation@dsl.state.or.us. For submittal of PDF files larger than 10 MB, e-mail DSL instructions on how to access the file from your ftp or other file sharing website.

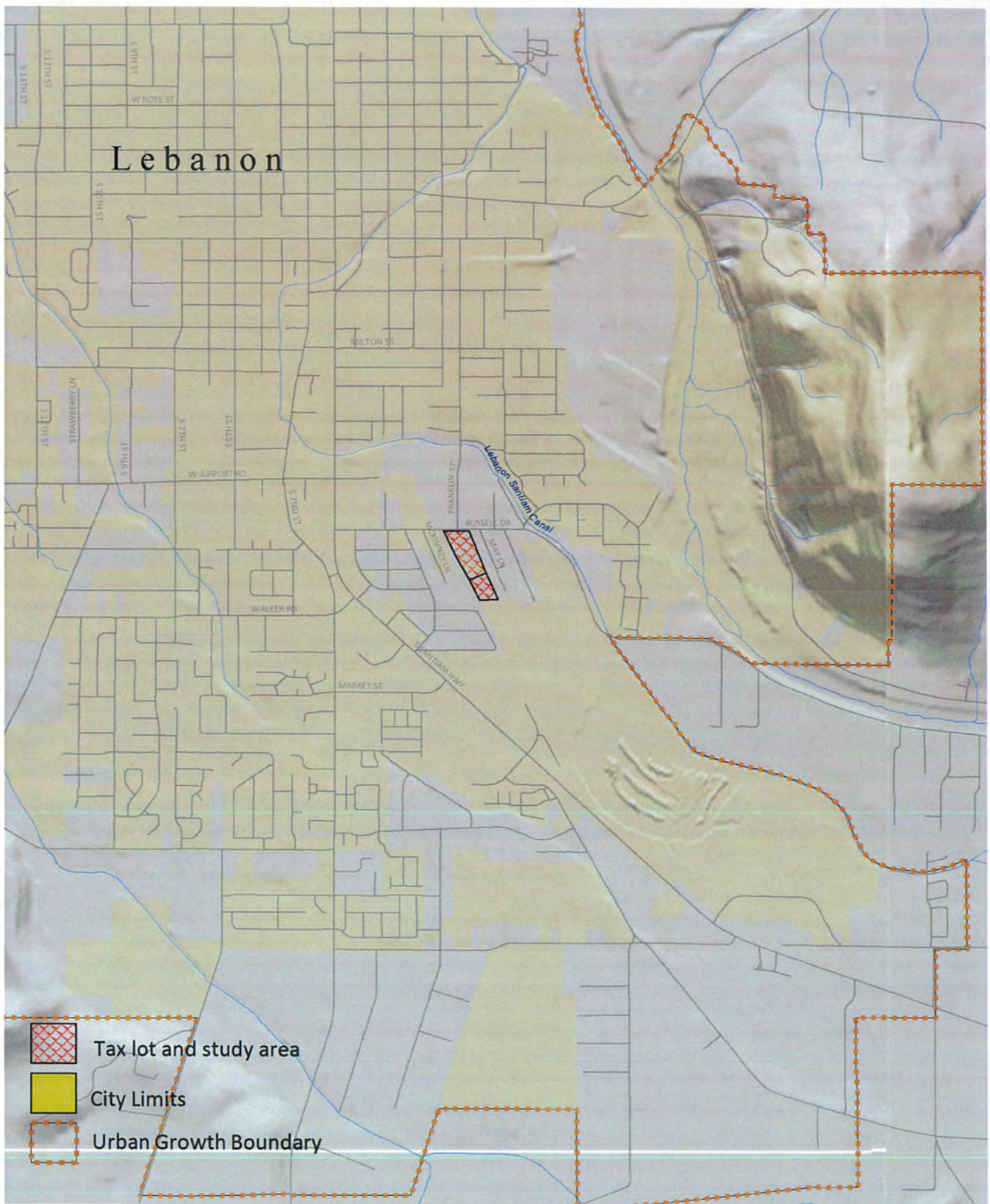
Contact and Authorization Information	
<input checked="" type="checkbox"/> Applicant <input type="checkbox"/> Owner Name, Firm and Address: Sally Kirkelie PO Box 287 Foster, OR 97345	Business phone # (541) 223-1700 Mobile phone # (optional) E-mail: nitehk@gmail.com
<input type="checkbox"/> Authorized Legal Agent, Name and Address (if different):	Business phone # Mobile phone # (optional) E-mail:
<p style="font-size: small;">I either own the property described below or I have legal authority to allow access to the property. I authorize the Department to access the property for the purpose of confirming the information in the report, after prior notification to the primary contact.</p> Typed/Printed Name: <u>Sally J. Kirkelie, Trustee</u> Signature: <u>[Signature]</u> Date: <u>7-27-18</u> Special instructions regarding site access: _____	
Project and Site Information	
Project Name: <u>Kirkelie property</u>	Latitude: <u>44.523359°</u> Longitude: <u>-122.899436°</u> decimal degree - centroid of site or start & end points of linear project
Proposed Use: <u>residential development</u>	Tax Map # <u>12 02W 14CA 700</u> Tax Lot(s)
Project Street Address (or other descriptive location): <u>Southwest of intersection of Russell Drive and May Lane</u>	Tax Map # <u>12 02W 14CD 6500</u> Tax Lot(s)
City: <u>Lebanon</u> County: <u>Linn</u>	Township <u>17S</u> Range <u>02W</u> Section <u>14</u> QQ <u>CA, CD</u> Use separate sheet for additional tax and location information Waterway: <u>na</u> River Mile: <u>na</u>
Wetland Delineation Information	
Wetland Consultant Name, Firm and Address: Allen Martin, Geo Resources LLC PO Box 71852 Springfield, OR 97475	Phone # (541) 946-1013 Mobile phone # (if applicable) E-mail: georesources@comcast.net
The information and conclusions on this form and in the attached report are true and correct to the best of my knowledge.	
Consultant Signature: <u>[Signature]</u>	Date: <u>7/31/18</u>
Primary Contact for report review and site access is <input checked="" type="checkbox"/> Consultant <input type="checkbox"/> Applicant/Owner <input type="checkbox"/> Authorized Agent	
Wetland/Waters Present? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Study Area size: <u>6.98 acres</u> Total Wetland Acreage: <u>1.94</u>	
Check Applicable Boxes Below	
<input type="checkbox"/> R-F permit application submitted	<input checked="" type="checkbox"/> Fee payment submitted \$ <u>\$ 437</u>
<input type="checkbox"/> Mitigation bank site	<input type="checkbox"/> Fee (\$100) for resubmittal of rejected report
<input type="checkbox"/> Industrial Land Certification Program Site	<input type="checkbox"/> Request for Reissuance. See eligibility criteria. (no fee) DSL # _____ Expiration date _____
<input type="checkbox"/> Wetland restoration/enhancement project (not mitigation)	<input type="checkbox"/> LWI shows wetlands or waters on parcel Wetland ID code _____
<input type="checkbox"/> Previous delineation/application on parcel If known, previous DSL # _____	
For Office Use Only	
DSL Reviewer: <u>LB</u> Fee Paid Date: <u>8 / 1 / 18</u>	DSL WD # <u>2018-0452</u>
Date Delineation Received: <u>8 / 14 / 18</u> Scanned: <input type="checkbox"/> Electronic: <input type="checkbox"/>	DSL App.# _____

RECEIVED

AUG 14 2018

RECEIVED \$ 437.00
DEPARTMENT OF STATE LANDS
V# 7994

P# 60506



Kirkelie Parcels
 Linn County Tax Lots
 12S02W14CA00700
 12S02W14CD06500
 Lebanon, OR 97355

Geo Resources LLC

FIGURE 1: LOCATION MAP

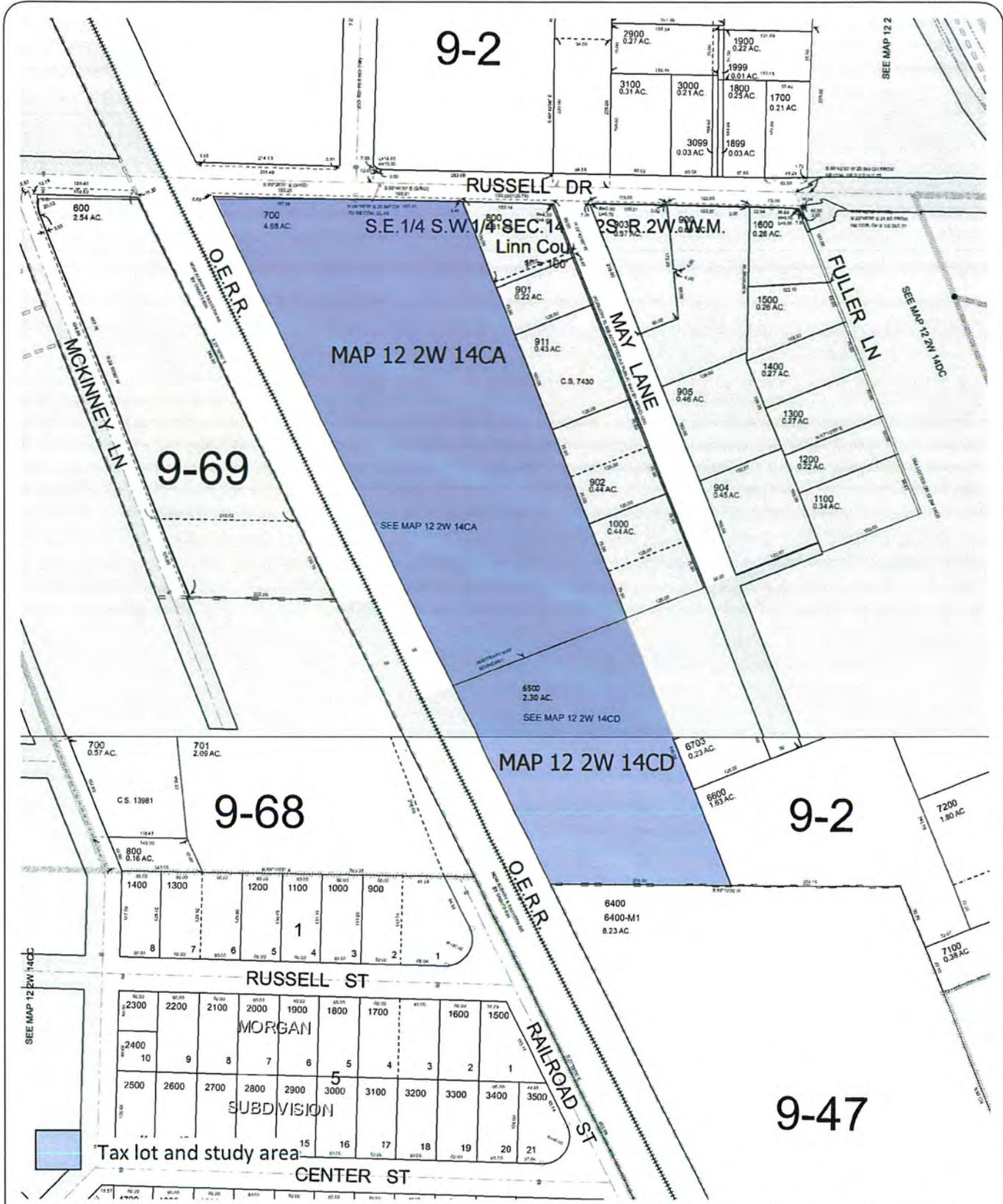
Scale: 1" = 2,000'

Source: MapInfo StreetPro, USGS

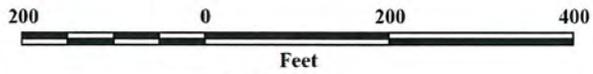
10 meter DEM

Drafted: 3/38/18





Kirkelie Parcels
 Linn County Tax Lots
 12S02W14CA00700
 12S02W14CD06500
 Lebanon, OR 97355



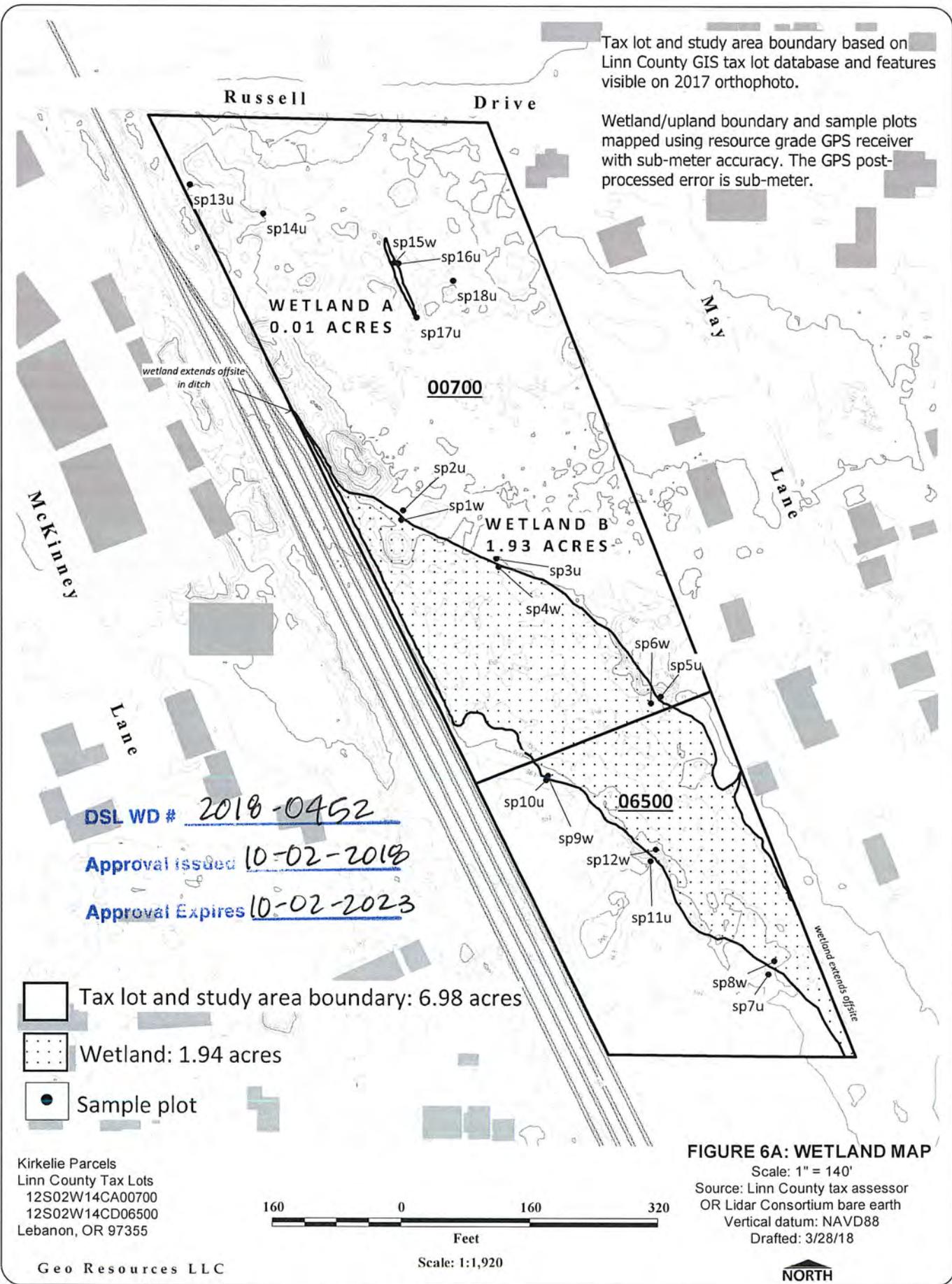
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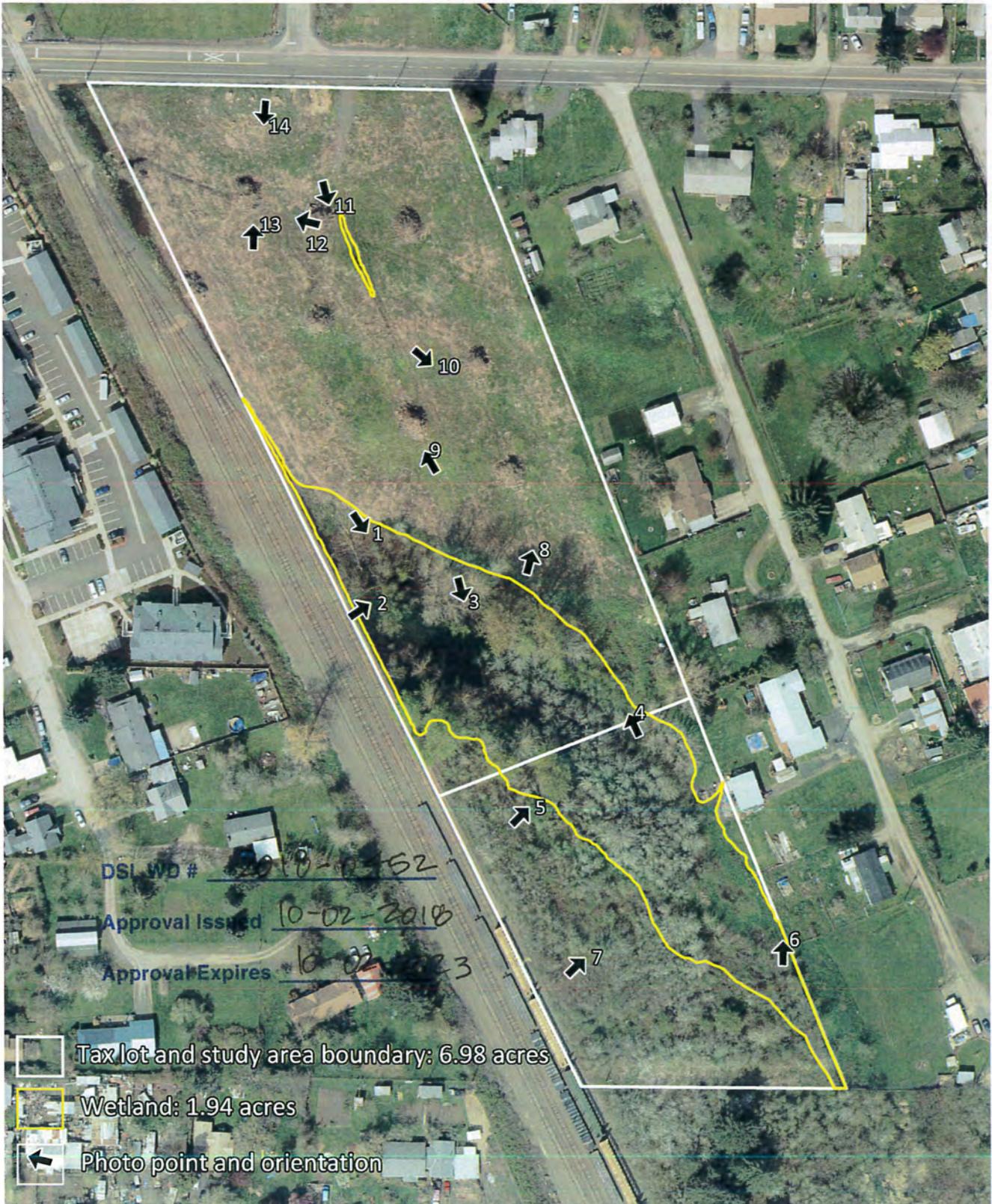
FIGURE 2: TAX LOT MAP
 Scale: 1" = 200'
 Source: Linn County Tax Assessor
 Drafted: 3/38/18



Tax lot and study area boundary based on Linn County GIS tax lot database and features visible on 2017 orthophoto.

Wetland/upland boundary and sample plots mapped using resource grade GPS receiver with sub-meter accuracy. The GPS post-processed error is sub-meter.





Kirkelle Parcels
 Linn County Tax Lots
 12S02W14CA00700
 12S02W14CD06500
 Lebanon, OR 97355

Geo Resources LLC



Scale: 1:1,680

FIGURE 6B: PHOTOGRAPHS

Scale: 1" = 140'

Source: City of Lebanon orthophoto

Flown: April 2, 2017, 3" resolution

Drafted: 3/28/18



GENERAL SITE NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. REFER TO CIVIL DRAWINGS FOR GRADING. SITE IS REQUIRED TO MEET THE LAWS OF FHA AND ADA. ACCESSIBLE ROUTES SHALL NOT EXCEED 5% (1 IN 20) OR CROSS SLOPES SHALL NOT EXCEED 2% (1 IN 50). ALL AT GRADE SIDEWALKS ARE ACCESSIBLE ROUTES.
3. PROVIDE CONSTRUCTION FENCING AS REQUIRED TO SECURE SITE AND BUILDING DURING CONSTRUCTION.
4. JOINTS IN CONCRETE WALKS NOTED AS E.J. ARE TO BE CONSTRUCTED AS EXPANSION JOINTS. ALL OTHER JOINTS SHOWN, TO BE TOOLED CONTROL JOINTS. SEE CIVIL.
5. EXTREME CARE SHOULD BE TAKEN TO PRESERVE EXISTING ROOTS OF TREES TO REMAIN.
6. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE AND IRRIGATION ELEMENTS. LANDSCAPE IRRIGATION DRAWINGS SHOW EXTENT OF IRRIGATION SYSTEM REPLACEMENT.
7. SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING.

ZONING:

ZONING: Z-RM
SETBACKS: F=10, S=10, R=20
MAX HEIGHT: 40'-0"
DEVELOPED SITE AREA: 175,413 SF (INCLUDES AREA TO BE DEVELOPED ONLY)
78 UNITS TOTAL
PARKING 2.25 SPACES PER UNIT = 176 SPACES - 158 SPACES PROVIDED
PARKING REDUCTION: ADDITIONAL COVERED BIKE SPACES (18 VEHICLE SPACE REDUCTION @ 4 BIKE COVERED STALLS PER VEHICLE STALL = 72 ADDITIONAL COVERED BIKE STALLS)
29 COMPACT STALLS 18%
129 FULL SIZE 82%
BIKE 0.5 SPACES PER UNIT = 39 SPACES REQUIRED
PROVIDED: 20 UNCOVERED BIKE STALLS (HALF OF THE REQUIRED 39)
92 COVERED BIKE STALLS (INCLUDES HALF OF THE REQUIRED 39 PLUS ADDITIONAL TO OFFSET VEHICLE PARKING STALL REDUCTIONS)

TOTAL 112 BICYCLE PARKING SPACES

AREA SUMMARY:

TOTAL SITE AREA	323,215 SF 100%
SITE DEVELOPMENT AREA	175,413 SF 100%
BUILDING FOOTPRINT	33,050 SF %
LANDSCAPED AREAS	50,974 SF %
SIDEWALKS	18,727 SF %
PAVEMENT	72,662 SF %

GENERAL OPEN AREA 25% REQUIRED (175,413 * 0.25 = 43,853 SF)
PROVIDED (50,974 + 18,727 / 175,413) = 40%

ON SITE RECREATION AREA PROVIDED CLUBHOUSE, POOL AND DECK, 5,514 SF. EQUATES TO A REDUCTION IN OPEN SPACE BY 22,056 SF, TOTAL OPEN SPACE REQUIRED IS 21,797 SF.

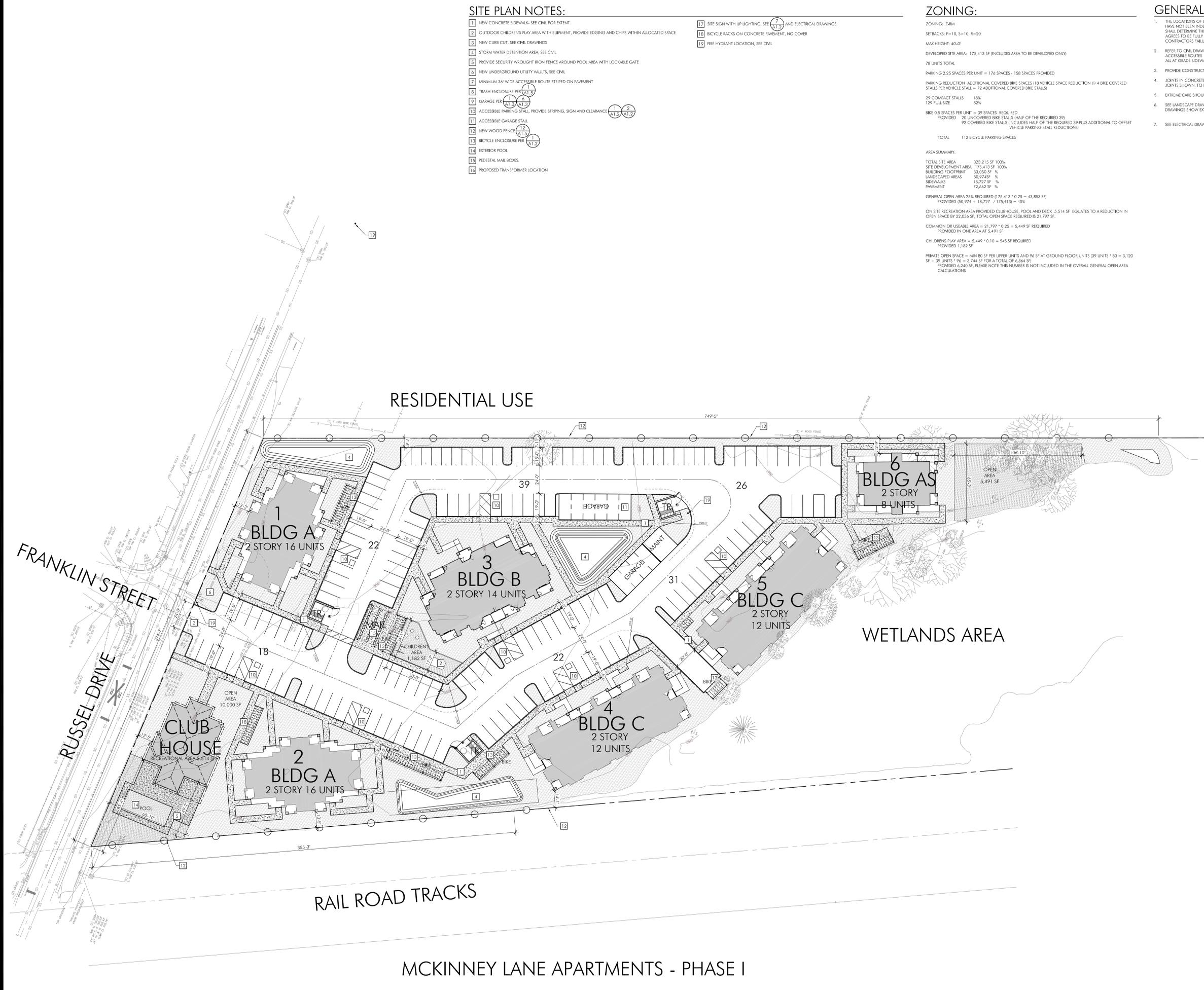
COMMON OR USEABLE AREA = 21,797 * 0.25 = 5,449 SF REQUIRED
PROVIDED IN ONE AREA AT 5,491 SF

CHILDRENS PLAY AREA = 5,449 * 0.10 = 545 SF REQUIRED
PROVIDED 1,182 SF

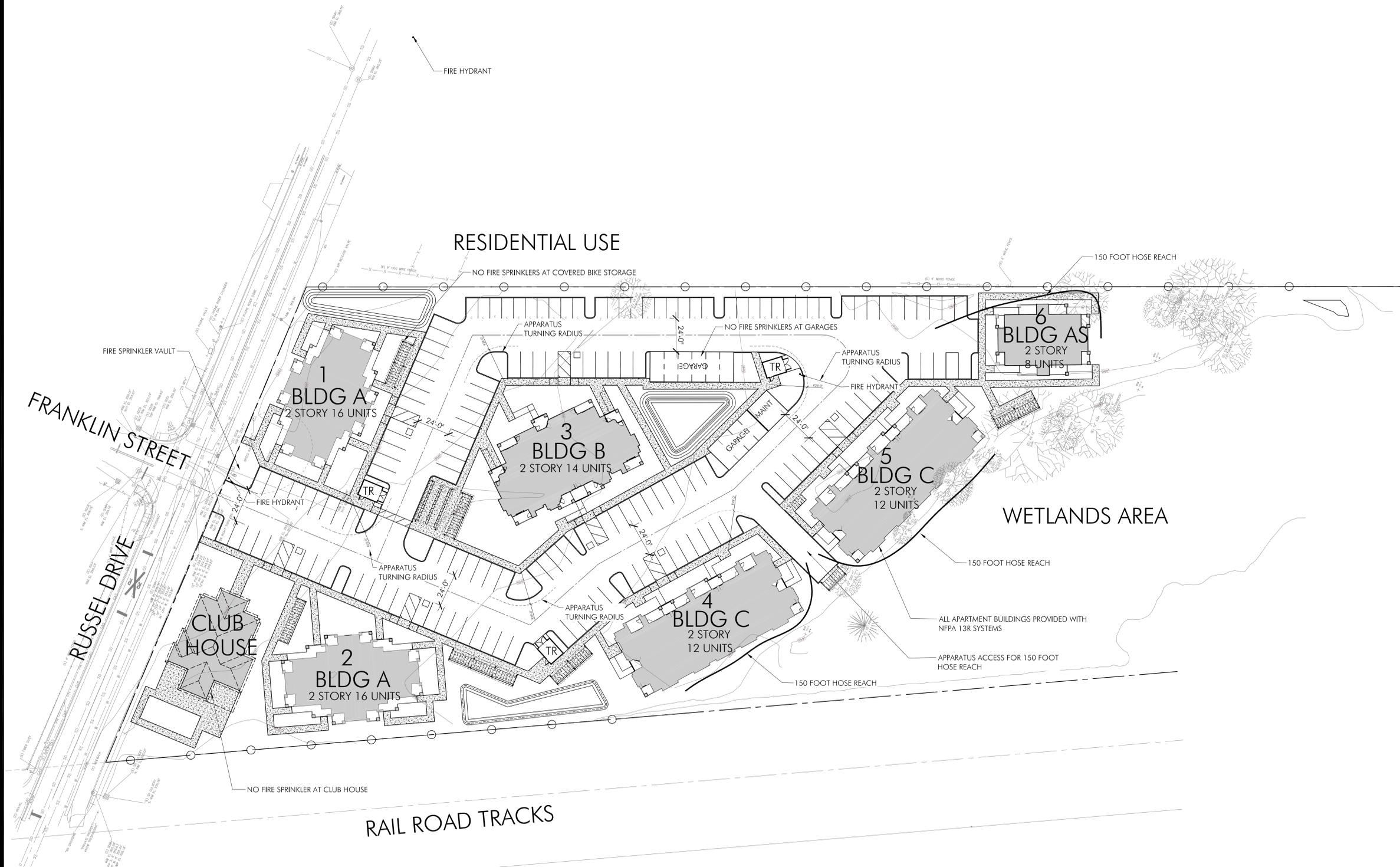
PRIVATE OPEN SPACE = MIN 80 SF PER UPPER UNITS AND 96 SF AT GROUND FLOOR UNITS (39 UNITS * 80 = 3,120 SF + 39 UNITS * 96 = 3,744 SF FOR A TOTAL OF 6,864 SF)
PROVIDED 6,240 SF, PLEASE NOTE THIS NUMBER IS NOT INCLUDED IN THE OVERALL GENERAL OPEN AREA CALCULATIONS

SITE PLAN NOTES:

1. NEW CONCRETE SIDEWALK. SEE CIVIL FOR EXTENT.
2. OUTDOOR CHILDRENS PLAY AREA WITH EQUIPMENT, PROVIDE EDGING AND CHIPS WITHIN ALLOCATED SPACE
3. NEW CURB CUT, SEE CIVIL DRAWINGS
4. STORM WATER DETENTION AREA, SEE CIVIL
5. PROVIDE SECURITY WROUGHT IRON FENCE AROUND POOL AREA WITH LOCKABLE GATE
6. NEW UNDERGROUND UTILITY VAULTS, SEE CIVIL
7. MINIMUM 36" WIDE ACCESSIBLE ROUTE STRIPED ON PAVEMENT
8. TRASH ENCLOSURE PER (A1.5)
9. GARAGE PER (A1.5, A1.7)
10. ACCESSIBLE PARKING STALL, PROVIDE STRIPING, SIGN AND CLEARANCE (A1.7, A1.2)
11. ACCESSIBLE GARAGE STALL
12. NEW WOOD FENCE (A1.5)
13. BICYCLE ENCLOSURE PER (A1.7)
14. EXTERIOR POOL
15. PEDESTAL MAIL BOXES
16. PROPOSED TRANSFORMER LOCATION
17. SITE SIGN WITH UP LIGHTING, SEE (A1.7) AND ELECTRICAL DRAWINGS.
18. BICYCLE RACKS ON CONCRETE PAVEMENT, NO COVER
19. FIRE HYDRANT LOCATION, SEE CIVIL



MCKINNEY LANE APARTMENTS - PHASE I



MCKINNEY LANE APARTMENTS - PHASE I

MCKINNEY LANE APARTMENTS PHASE II
 RUSSELL DRIVE & MCKINNEY LANE
 L E B A N O N , O R E G O N 9 7 3 5 5

IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS AND ANY ELECTRONICALLY TRANSMITTED OR OTHERWISE REPRODUCED COPIES, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL CONTROL.

PROJECT # 2019-179
 DATE: 25 MAY 2020
 REVISIONS

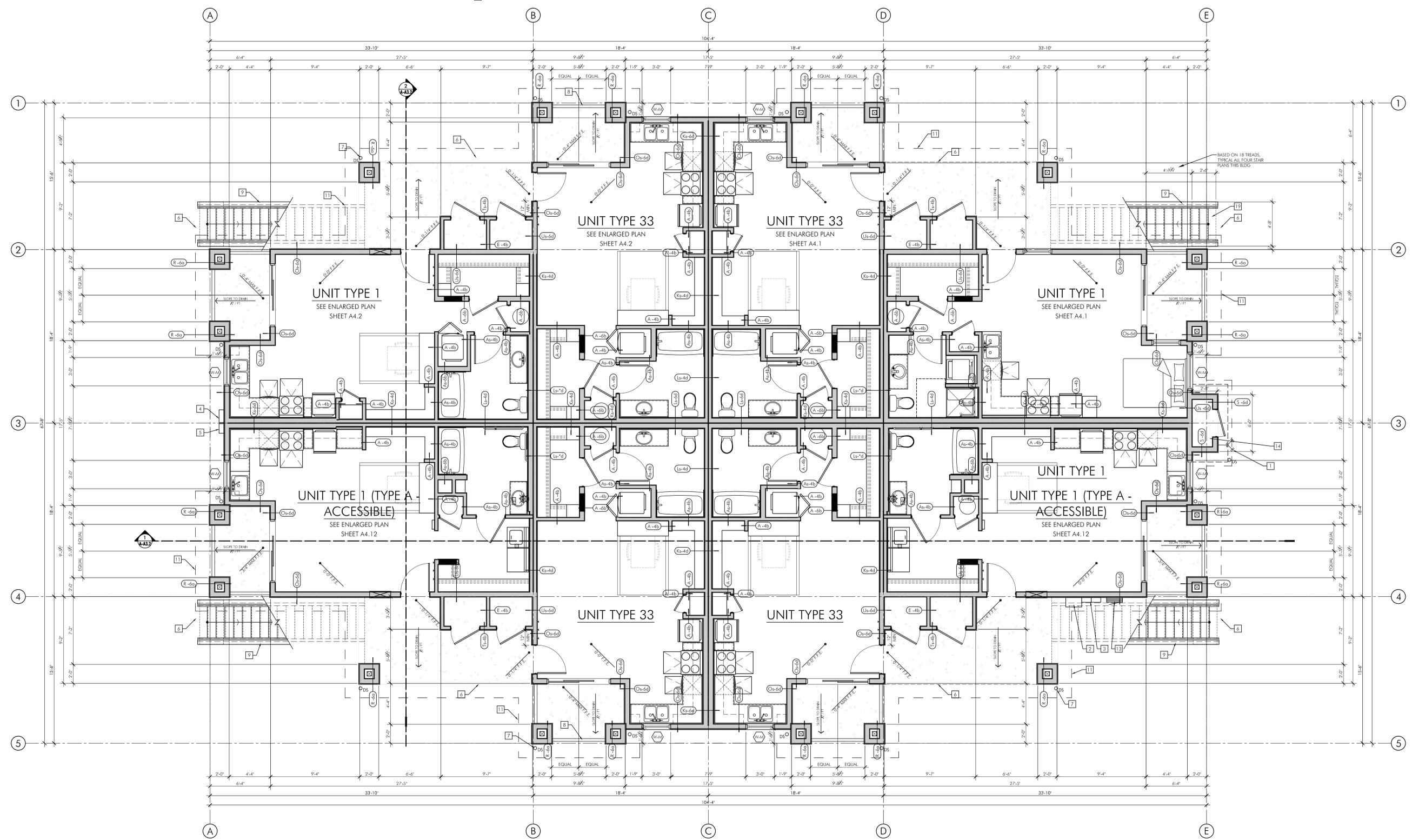
MCKINNEY LANE APARTMENTS PHASE II
RUSSELL DRIVE & MCKINNEY LANE
 L E B A N O N , O R E G O N 9 7 3 3 5 5

PLAN NOTES:

- 1 HOSE BIBB, SEE PLUMBING DRAWINGS.
- 2 SERVICE ENTRANCE PULLBOX & MAIN, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
- 3 ELECTRICAL METERS, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
- 4 TELEPHONE BOX, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
- 5 CABLE BOX, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
- 6 SEE SITE PLAN FOR CONCRETE SIDEWALK CONTINUATION.
- 7 DOWNSPOUT - CONNECT TO STORM DRAIN LINE.
- 8 EXTERIOR RAIL, SEE 20.
- 9 SEE STAIR PLAN, SHEET A7.4 FOR STAIR TYPE.
- 10 ROOF OF RISER ROOM BELOW.
- 11 FOUNDATION DRAINAGE, DIRECT TO STORM DRAIN.
- 12 LINE OF ROOF ABOVE.
- 13 HOUSE PANEL, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
- 14 FIRE RISER ROOM EITHER THIS SIDE OR OPPOSITE SIDE. SEE CIVIL UTILITY PLAN FOR FIRE SERVICE.
- 15 AIR CONDITIONING SLEEVE AND POWER, UNDER WINDOW AT WINDOW LOCATIONS.
- 16 ENTRY PATIO AND ADJACENT PATIOS TO BE POURED SEPARATELY. ENTRY PATIO TO BE COORDINATED WITH SIDEWALKS, PROVIDE JOINT UNDER QUARDRAL.
- 17 INTERMEDIATE SUPPORT, TYP.
- 18 WHERE WALLS ALIGN WITH DEMISING WALLS, PROVIDE GYPSUM BOARD AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND TO PROVIDE UNIFORM SURFACE.
- 19 STAIR FOOTINGS, FOOTINGS SEED ENLARGE TO ACCOMMODATE AS-BUILT CONDITIONS.

GENERAL PLAN NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.M. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
3. SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS.
4. WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
5. PROVIDE FIRE ROOFING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
6. ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS.
7. SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS.
8. SEE CIVIL SITE PLAN FOR CONCRETE PAVING, SLOPES AND GRADES TO ALIGN WITH UNIT ENTRIES.
9. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATIONS.
10. CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
11. NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
12. ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE PROMPTLY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.
14. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
15. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD, THE ARCHITECT (AND ENGINEER WHERE APPLICABLE) SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO FOLLOW. DO NOT SCALE THE DRAWINGS.
16. ALL REVISIONS MUST BE APPROVED IN WRITING BY BOTH THE OWNER AND THE ARCHITECT PRIOR TO THE CONSTRUCTION OF ANY DEVIATION IN THE SCOPE OF WORK.
17. ALL EXISTING FACILITIES TO BE MAINTAINED IN PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER.
18. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATHROOMS, SHOWER WALLS AND BATHROOM CEILING.
19. FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEETS A0.4 & A0.5 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
20. FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SITE PLAN FOR STAIR CONSTRUCTION AND LOCATIONS.
21. PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION PRESTOP SYSTEMS AS REQUIRED BY CODES AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATIONS IN FIRE RATED ASSEMBLIES.
22. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH TUBS, SHOWER WALLS AND BATHROOM CEILING. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SHOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SHOWER AND AT BATHS THAT HAVE SHOWERS.



1 BUILDING A - FIRST FLOOR PLAN
 SCALE: 1/4" = 10'

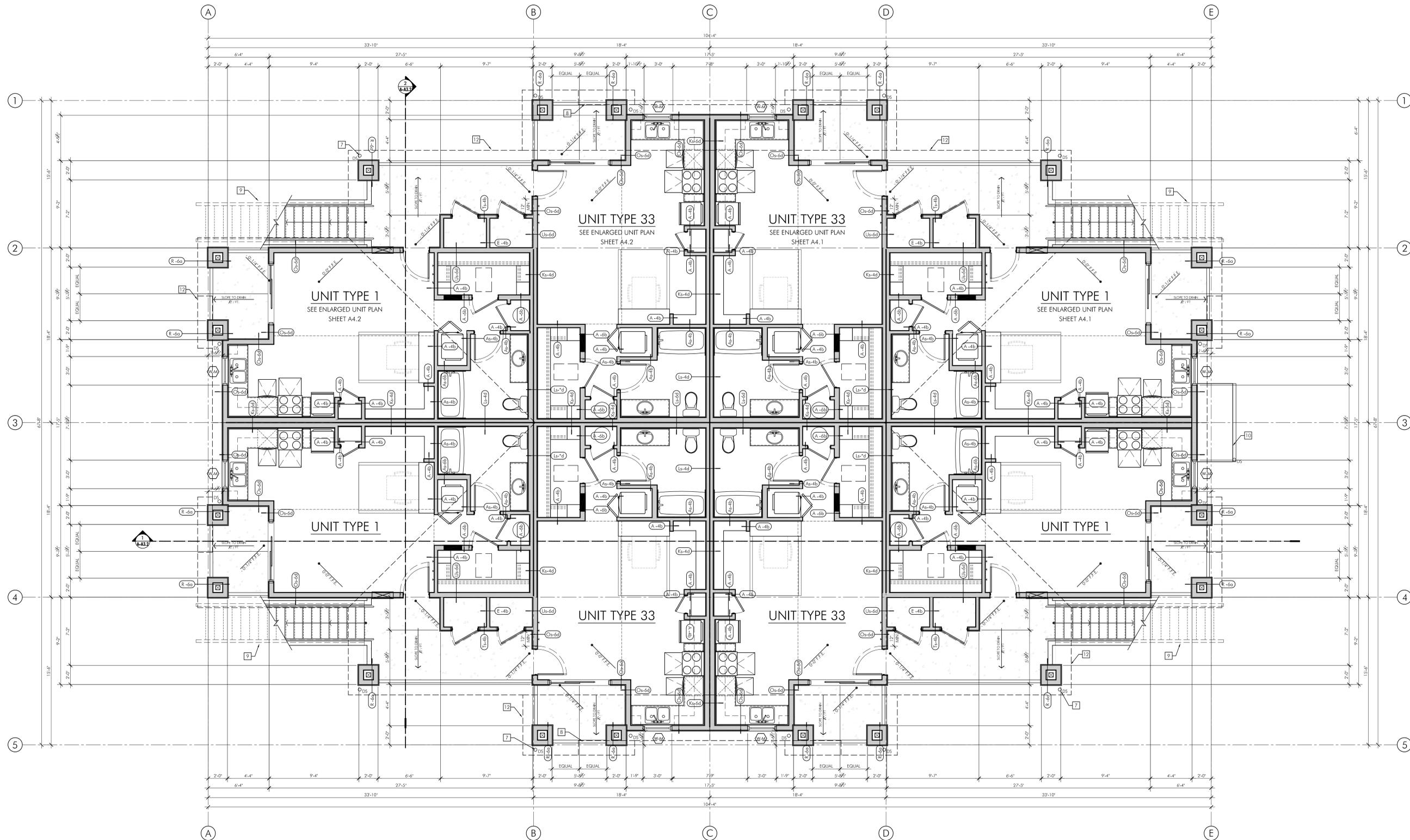


PLAN NOTES:

- HOSE BIBB, SEE PLUMBING DRAWINGS.
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- PROVIDE FIRE ROOFING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
- ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS.
- SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS.
- SEE CIVIL SITE PLAN FOR CONCRETE PAVING, SLOPES AND GRADES TO ALIGN WITH UNIT ENTRIES.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATIONS.
- CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
- NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE PROMPTLY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
- SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD, THE ARCHITECT AND ENGINEER WHERE APPLICABLE SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO FOLLOW. DO NOT SCALE THE DRAWINGS.
- ALL REVISIONS MUST BE APPROVED IN WRITING BY BOTH THE OWNER AND THE ARCHITECT PRIOR TO THE CONSTRUCTION OF ANY DEVIATION IN THE SCOPE OF WORK.
- ALL EXISTING FACILITIES TO BE MAINTAINED IN PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/SHOWER WALLS AND BATHROOM CEILINGS.
- FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEETS A0.4 & A0.5 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
- FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SITE PLAN FOR STAIR CONSTRUCTIONS AND LOCATIONS.
- PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION PRESTOP SYSTEMS AS REQUIRED BY CODES AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATIONS IN FIRE RATED ASSEMBLIES.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH TUB/SHOWER WALLS AND BATHROOM CEILINGS. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SHOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SHOWER AND AT BATHS THAT HAVE SHOWERS.



1 BUILDING 'A' SECOND FLOOR PLAN
SCALE: 1/4" = 10'



ELEVATION NOTES:

- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS.
- 4 FASCIA - PAINT.
- 5 TRIM - PAINT.
- 6 WINDOW TRIM - PAINT.
- 7 LAP SIDING - PAINT.
- 8 EXTERIOR DOORS - PAINT.
- 9 VINYL FRAMED WINDOWS.
- 10 DECORATIVE TIMBER TRUSS - PAINT.
- 11 PRE-FABRICATED FIBERGLASS COLUMN - PAINT.
- 12 ELECTRICAL PANELS AND EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PROVIDE TRIM AROUND EQUIPMENT - PAINT. PAINT EQUIPMENT TO MATCH WALL.
- 13 STAIR ELEVATION. VERIFY STAIR TYPE FOR EACH BUILDING # ON STAIR PLAN.
- 14 42" HIGH GUARDRAIL. SPACE SUPPORTS EVENLY, MAX 6'-0" O.C. SEE STRUCTURAL.
- 15 HOSE BIBB ON TRIM BACKER.
- 16 PRE-FINISHED ROOF VENT.
- 17 EXHAUST COVERS.
- 18 LIGHT FIXTURE. SEE ELECTRICAL.
- 19 AC SLEEVE WITH TRIM. SEE AB.4 & AB.9.

ELEVATION LEGEND:

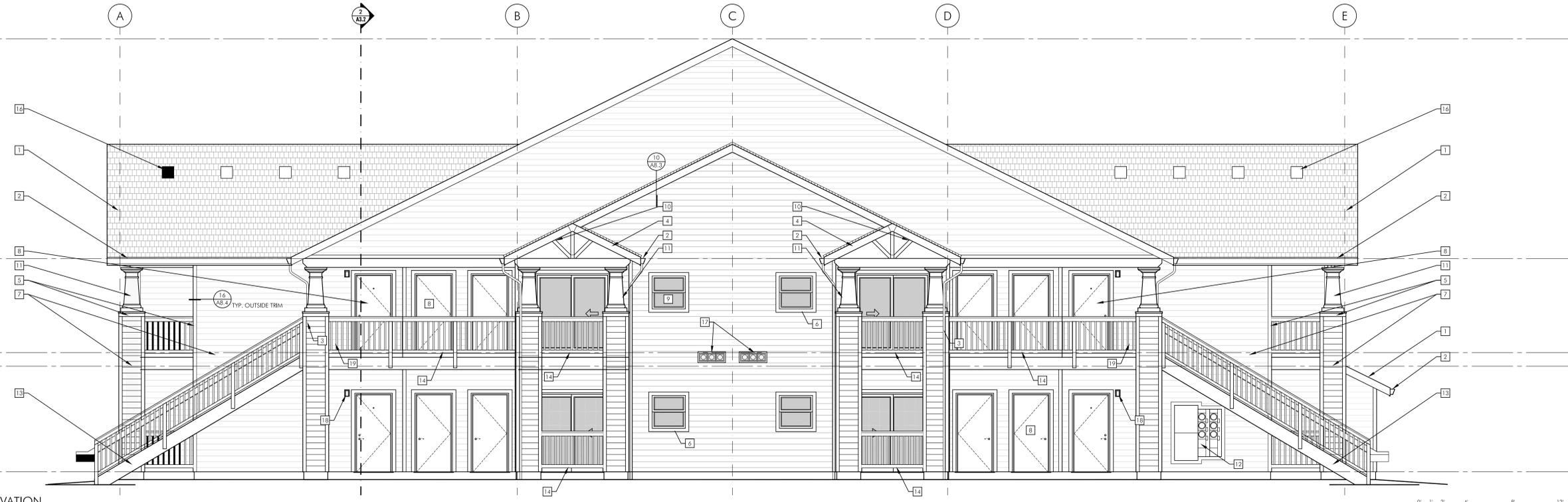
- PREFINISHED FIBER CEMENT HORIZONTAL LAP SIDING
- ASPHALT SHINGLE ROOFING

EXTERIOR COLOR SCHEME:

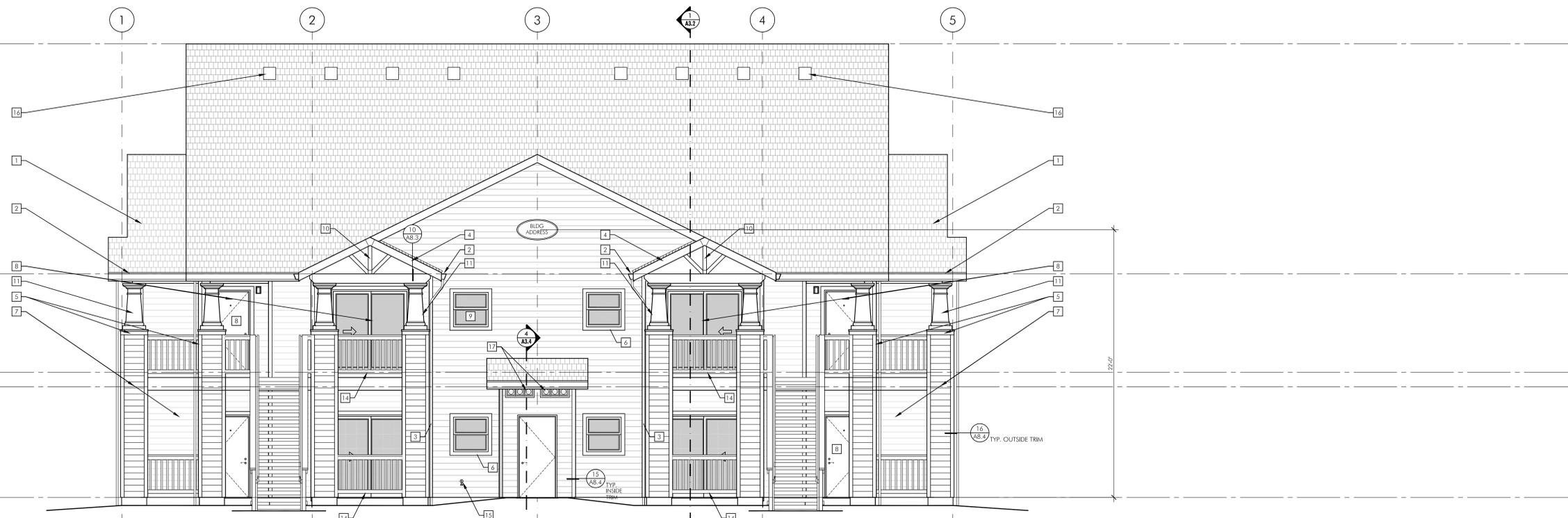
- SIBING COLOR 1 (3 SCHEMES)
- TRIM COLOR 2
- ENTRY DOORS COLOR 3 (3 SCHEMES)
- ACCESSORY DOORS COLOR 1 (3 SCHEMES)
- BUILDING #1 SCHEME A
- BUILDING #2 SCHEME B
- BUILDING #3 SCHEME C
- BUILDING #4 SCHEME A
- BUILDING #5 SCHEME B WITH SCHEME C ON THREE REAR PROJECTIONS

GENERAL PLAN NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.N. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
3. SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS.
4. WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS. REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
5. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
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18. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/TUB/SHOWER WALLS AND BATHROOM CEILING.
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21. PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION-RESTOR SYSTEMS AS REQUIRED BY CODE AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATION IN FIRE RATED ASSEMBLIES.
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1 BUILDING 'A' SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 BUILDING 'A' END ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS.
- 4 FASCIA - PAINT.
- 5 TRIM - PAINT.
- 6 WINDOW TRIM - PAINT.
- 7 LAP SIDING - PAINT.
- 8 EXTERIOR DOORS - PAINT.
- 9 VINYL FRAMED WINDOWS.
- 10 DECORATIVE TIMBER TRUSS - PAINT.
- 11 PRE-FABRICATED FIBERGLASS COLUMN - PAINT.
- 12 ELECTRICAL PANELS AND EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PROVIDE TRIM AROUND EQUIPMENT - PAINT. PAINT EQUIPMENT TO MATCH WALL.
- 13 STAIR ELEVATION. VERIFY STAIR TYPE FOR EACH BUILDING # ON STAIR PLAN.
- 14 42" HIGH GUARDRAIL. SPACE SUPPORTS EVENLY. MAX 6'-0" O.C. SEE STRUCTURAL.
- 15 HOSE BIBB ON TRIM BACKER.
- 16 PRE-FINISHED ROOF VENT.
- 17 EXHAUST COVERS.
- 18 LIGHT FIXTURE. SEE ELECTRICAL.
- 19 AC SLEEVE WITH TRIM. SEE 3, 4, 5, 6, 7, 8, 9.

ELEVATION LEGEND:

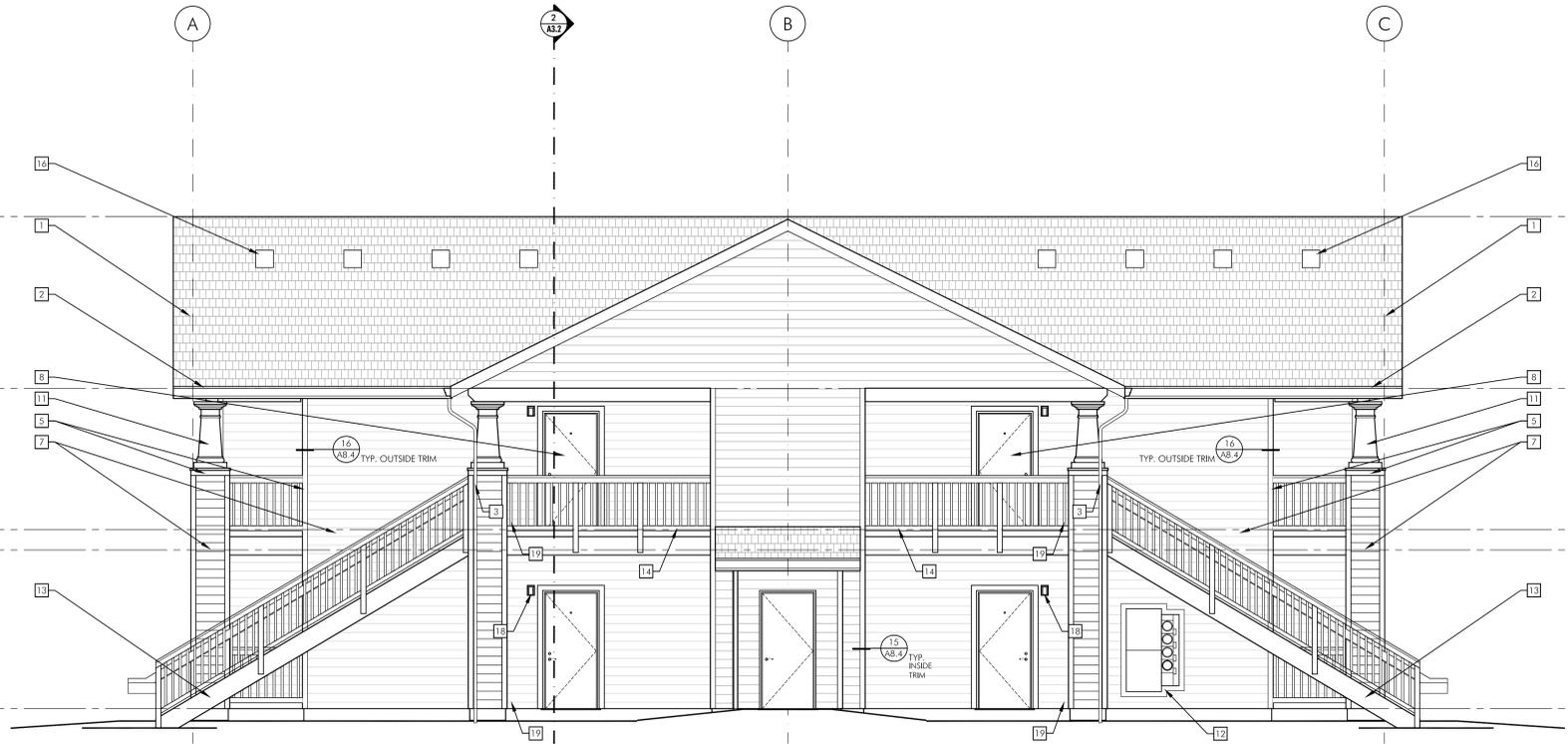
- PREFINISHED FIBER CEMENT HORIZONTAL LAP SIDING
- ASPHALT SHINGLE ROOFING

EXTERIOR COLOR SCHEME:

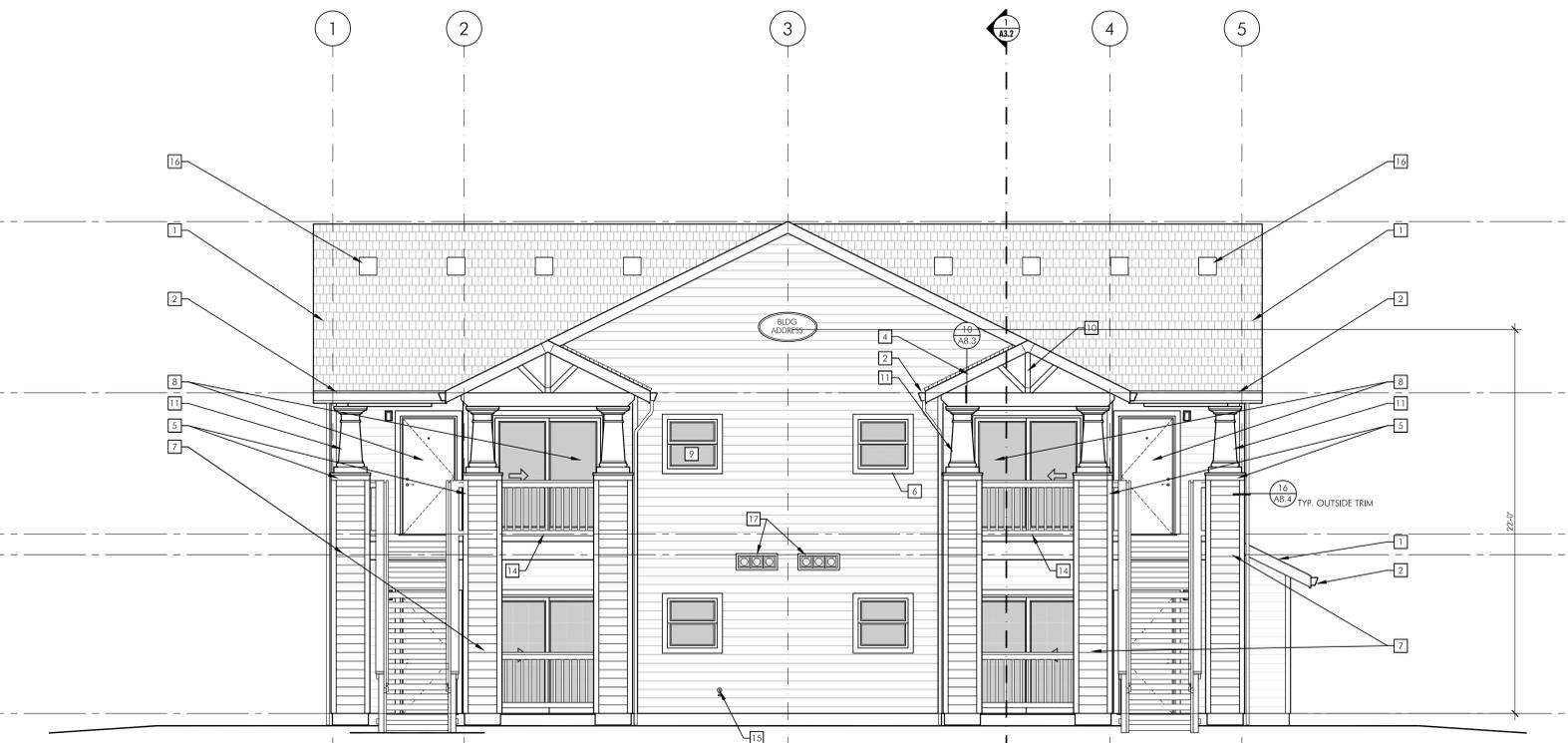
- | | |
|-----------------|---------------------|
| SIBING | COLOR 1 (3 SCHEMES) |
| TRIM | COLOR 2 |
| ENTRY DOORS | COLOR 3 (3 SCHEMES) |
| ACCESSORY DOORS | COLOR 1 (3 SCHEMES) |
-
- | | |
|-------------|--------------------------------------------------|
| BUILDING #1 | SCHEME A |
| BUILDING #2 | SCHEME B |
| BUILDING #3 | SCHEME C |
| BUILDING #4 | SCHEME A |
| BUILDING #5 | SCHEME B WITH SCHEME C ON THREE REAR PROJECTIONS |

GENERAL PLAN NOTES:

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1 BUILDING 'A' SIDE ELEVATION
SCALE: 1/4" = 1'-0"



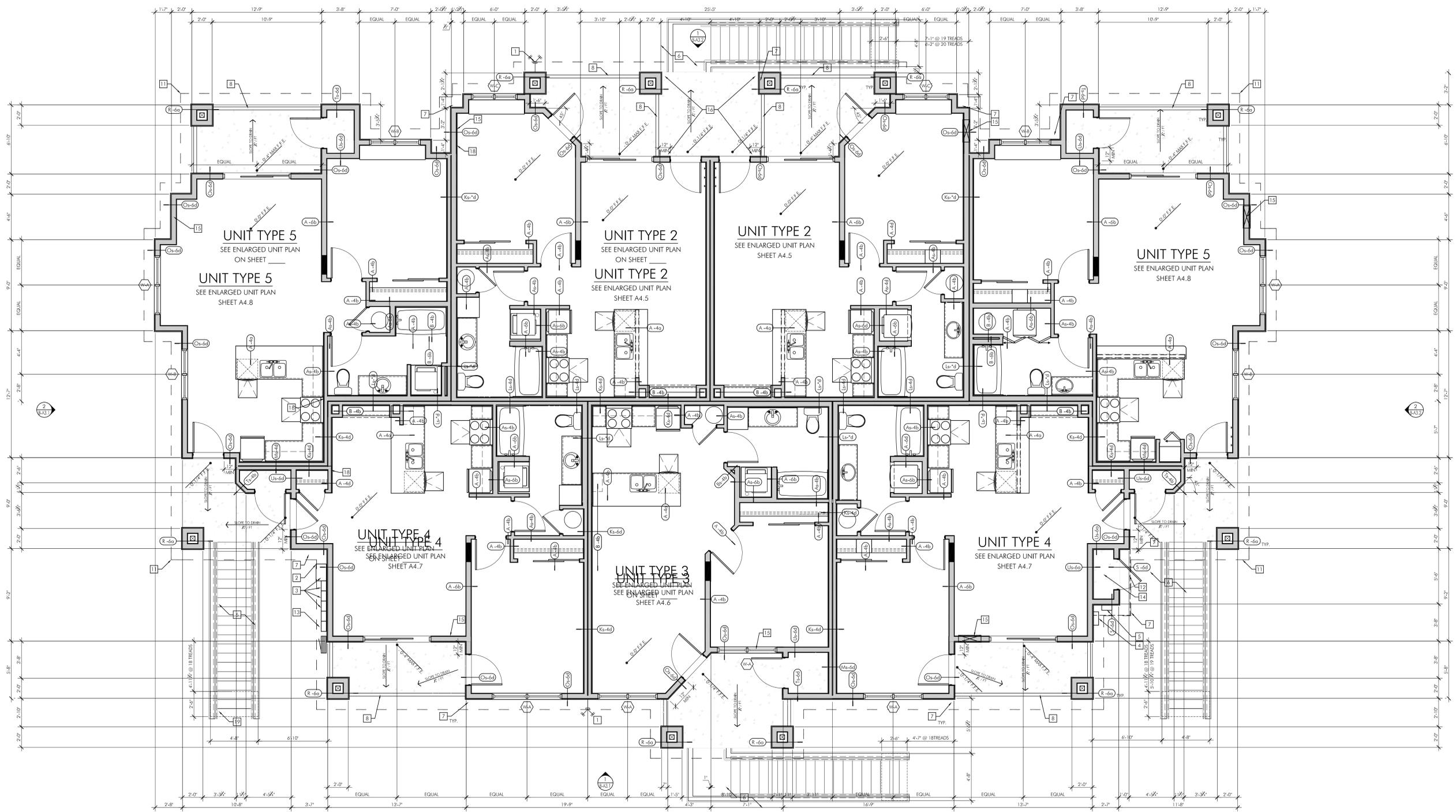
2 BUILDING 'A' END ELEVATION
SCALE: 1/4" = 1'-0"

PLAN NOTES:

- 1 HOSE BIBB, SEE PLUMBING DRAWINGS.
- 2 SERVICE ENTRANCE PULLBOX & MAIN, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
- 3 ELECTRICAL METERS, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
- 4 TELEPHONE BOX, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
- 5 CABLE BOX, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
- 6 SEE SITE PLAN FOR CONCRETE SIDEWALK CONTINUATION.
- 7 DOWNSPOUT - CONNECT TO STORM DRAIN LINE.
- 8 EXTERIOR RAIL, SEE .
- 9 SEE STAIR PLAN, SHEET A7.4 FOR STAIR TYPE.
- 10 ROOF OF RISER ROOM BELOW.
- 11 FOUNDATION DRAINAGE, DIRECT TO STORM DRAIN.
- 12 LINE OF ROOF ABOVE.
- 13 HOUSE PANEL, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
- 14 FIRE RISER ROOM EITHER THIS SIDE OR OPPOSITE SIDE. SEE CIVIL UTILITY PLAN FOR FIRE SERVICE.
- 15 AIR CONDITIONING SLEEVE AND POWER, UNDER WINDOW AT WINDOW LOCATIONS.
- 16 ENTRY PATIO AND ADJACENT PATIOS TO BE POURED SEPARATELY. ENTRY PATIO TO BE COORDINATED WITH SIDEWALKS. PROVIDE JOINT UNDER GUARDRAIL.
- 17 INTERMEDIATE SUPPORT, TYP.
- 18 WHERE WALLS ALIGN WITH DEMISING WALLS, PROVIDE GYPSUM BOARD AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND TO PROVIDE UNIFORM SURFACE.
- 19 STAIR FOOTING, FOOTING SIZES ENLARGE TO ACCOMMODATE AS-BUILT CONDITIONS.

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4. WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS. REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
5. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
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1 BUILDING B - FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECT'S FIRM OR THE CONSULTANTS AND ANY COPY OF THE DOCUMENTS TRANSMITTED ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2019-179
 DATE: 25 MAY 2020
 REVISIONS

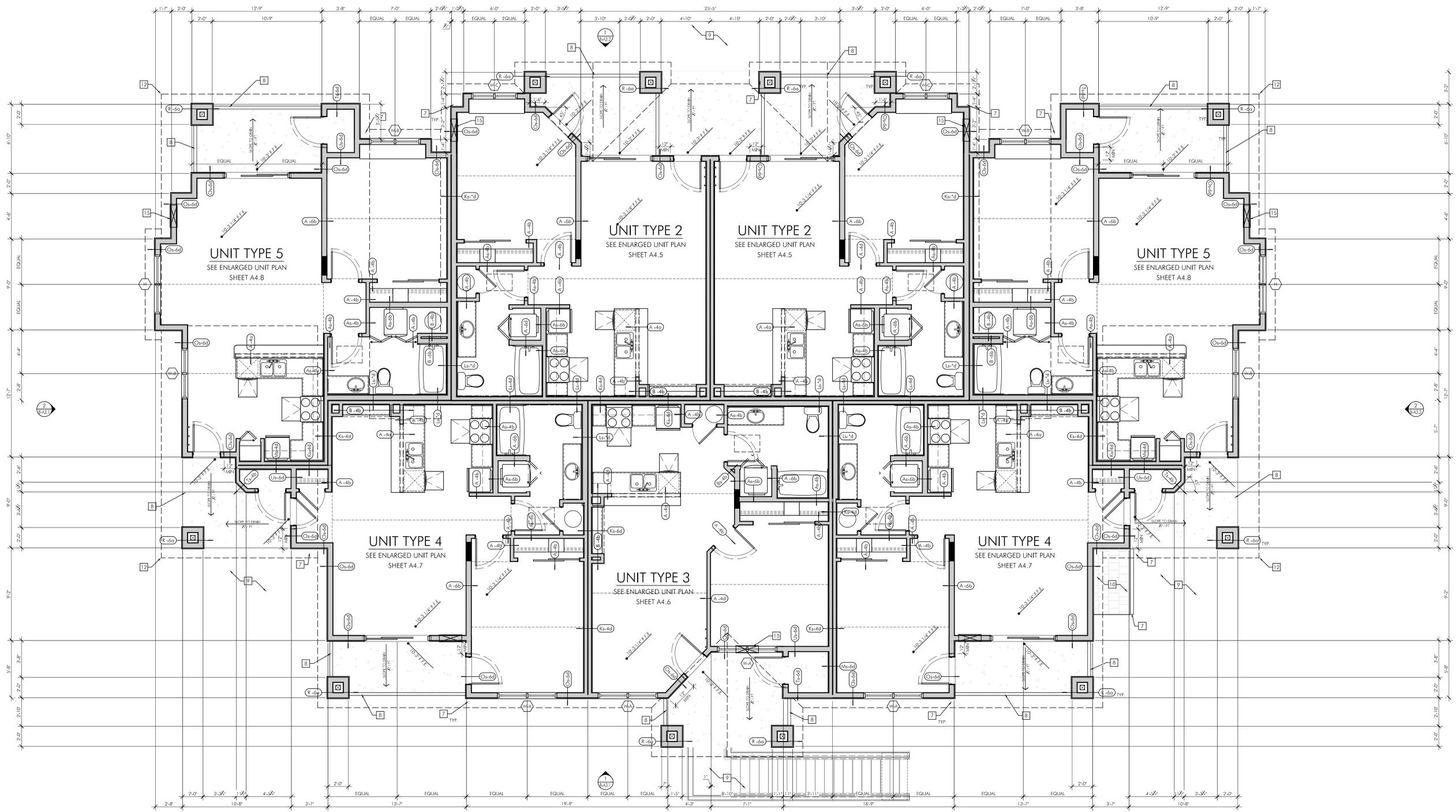
McKINNEY LANE APARTMENTS PHASE II
RUSSELL DRIVE & MCKINNEY LANE
 LEBANON, OREGON 97331

PLAN NOTES:

- 1 HOSE BIBB, SEE PLUMBING DRAWINGS. 2 SERVICE ENTRANCE PULLBOX & MAIN, VERIFY LOCATION PER ELECTRICAL SITE PLANS. 3 ELECTRICAL METERS, VERIFY LOCATION PER ELECTRICAL SITE PLANS. 4 TELEPHONE BOX, VERIFY LOCATION PER ELECTRICAL SITE PLANS. 5 CABLE BOX, VERIFY LOCATION PER ELECTRICAL SITE PLANS. 6 SEE SITE PLAN FOR CONCRETE SIDEWALK CONTINUATION. 7 DOWNSPOUT - CONNECT TO STORM DRAIN LINE. 8 EXTERIOR RAIL, SEE 20. 9 SEE STAIR PLAN, SHEET A7.4 FOR STAIR TYPE. 10 ROOF OF RISER ROOM BELOW. 11 FOUNDATION DRAINAGE, DIRECT TO STORM DRAIN. 12 LINE OF ROOF ABOVE. 13 HOUSE PANEL, VERIFY LOCATION PER ELECTRICAL SITE PLANS. 14 FIRE RISER ROOM EITHER THIS SIDE OR OPPOSITE SIDE. SEE CIVIL UTILITY PLAN FOR FIRE SERVICE. 15 AIR CONDITIONING SLEEVE AND POWER, UNDER WINDOW AT WINDOW LOCATIONS. 16 ENTRY PATIO AND ADJACENT PATIOS TO BE POURED SEPARATELY. ENTRY PATIO TO BE COORDINATED WITH SIDEWALKS. PROVIDE JOINT UNDER GUARDRAIL. 17 INTERMEDIATE SUPPORT, TYP. 18 WHERE WALLS ALIGN WITH DEMISING WALLS, PROVIDE GYPSUM BOARD AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND TO PROVIDE UNIFORM SURFACE. 19 STAIR FOOTING, FOOTING SIZES ENLARGE TO ACCOMMODATE AS-BUILT CONDITIONS.

GENERAL PLAN NOTES:

- 1 GENERAL NOTES APPLY TO ALL DRAWINGS. 2 DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.N. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH. 3 SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS. 4 WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION. 5 PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES. 6 ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS. 7 SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS. 8 SEE CIVIL SITE PLAN FOR CONCRETE PAVING, SLOPES AND GRADES TO ALIGN WITH UNIT ENTRIES. 9 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATIONS. 10 CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAVING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENT AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER. 11 NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS. 12 ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS. 13 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE PROMPTLY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK. 14 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO. 15 SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD, THE ARCHITECT (AND ENGINEER WHERE APPLICABLE) SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO FOLLOW. DO NOT SCALE THE DRAWINGS. 16 ALL REVISIONS MUST BE APPROVED IN WRITING BY BOTH THE OWNER AND THE ARCHITECT PRIOR TO THE CONSTRUCTION OF ANY DEVIATION IN THE SCOPE OF WORK. 17 ALL EXISTING FACILITIES TO BE MAINTAINED IN PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER. 18 PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/SHOWER WALLS AND BATHROOM CEILINGS. 19 FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEETS A0.4 & A0.5 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS. 20 FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SITE PLAN FOR STAIR CONFIGURATIONS AND LOCATIONS. 21 PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION PRESTOP SYSTEMS AS REQUIRED BY CODES AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATIONS IN FIRE RATED ASSEMBLIES. 22 PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH TUB/SHOWER WALLS AND BATHROOM CEILINGS. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SHOWER ENCLOSURE. AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SHOWER AND AT BATHS THAT HAVE SHOWERS.



1 BUILDING B - SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"



ELEVATION NOTES:

- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS.
- 4 FASCIA - PAINT.
- 5 TRIM - PAINT.
- 6 WINDOW TRIM - PAINT.
- 7 LAP SIDING - PAINT.
- 8 EXTERIOR DOORS - PAINT.
- 9 VINYL FRAMED WINDOWS.
- 10 DECORATIVE TIMBER TRUSS - PAINT.
- 11 PRE-FABRICATED FIBERGLASS COLUMN - PAINT.
- 12 ELECTRICAL PANELS AND EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PROVIDE TRIM AROUND EQUIPMENT - PAINT. PAINT EQUIPMENT TO MATCH WALL.
- 13 STAR ELEVATION, VERIFY STAR TYPE FOR EACH BUILDING # ON STAR PLAN.
- 14 42" HIGH GUARDRAIL. SPACE SUPPORTS EVENLY, MAX 6'-0" O.C. SEE STRUCTURAL.
- 15 HOSE BIBB ON TRIM BACKER.
- 16 PRE-FINISHED ROOF VENT.
- 17 EXHAUST COVERS.
- 18 LIGHT FIXTURE. SEE ELECTRICAL.
- 19 AC SLEEVE WITH TRIM. SEE 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

ELEVATION LEGEND:

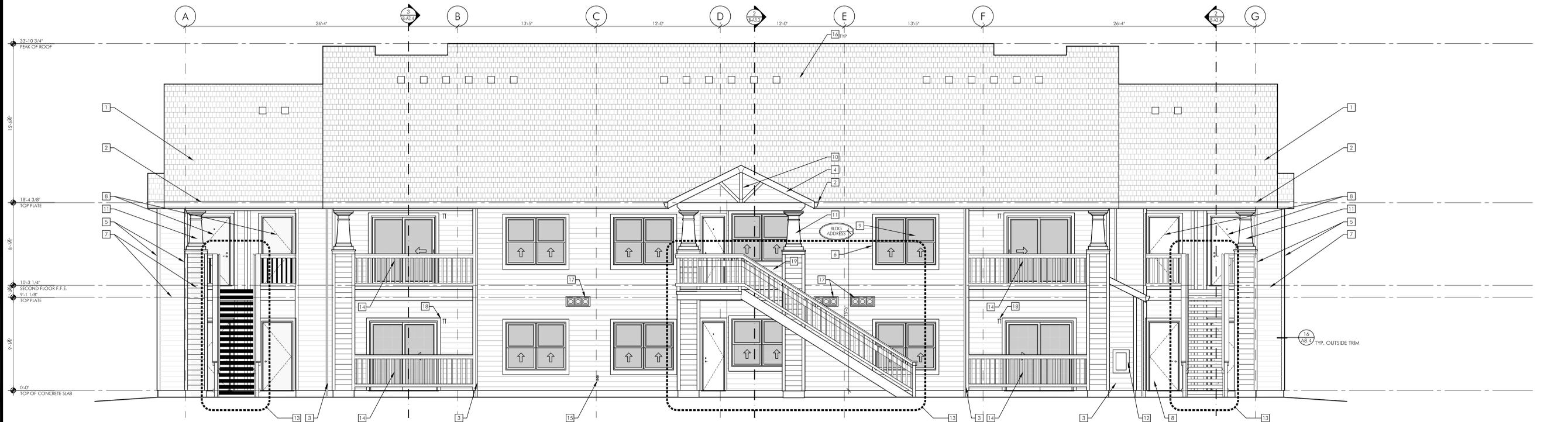
- PREFINISHED FIBER CEMENT HORIZONTAL LAP SIDING
- ASPHALT SHINGLE ROOFING

EXTERIOR COLOR SCHEME:

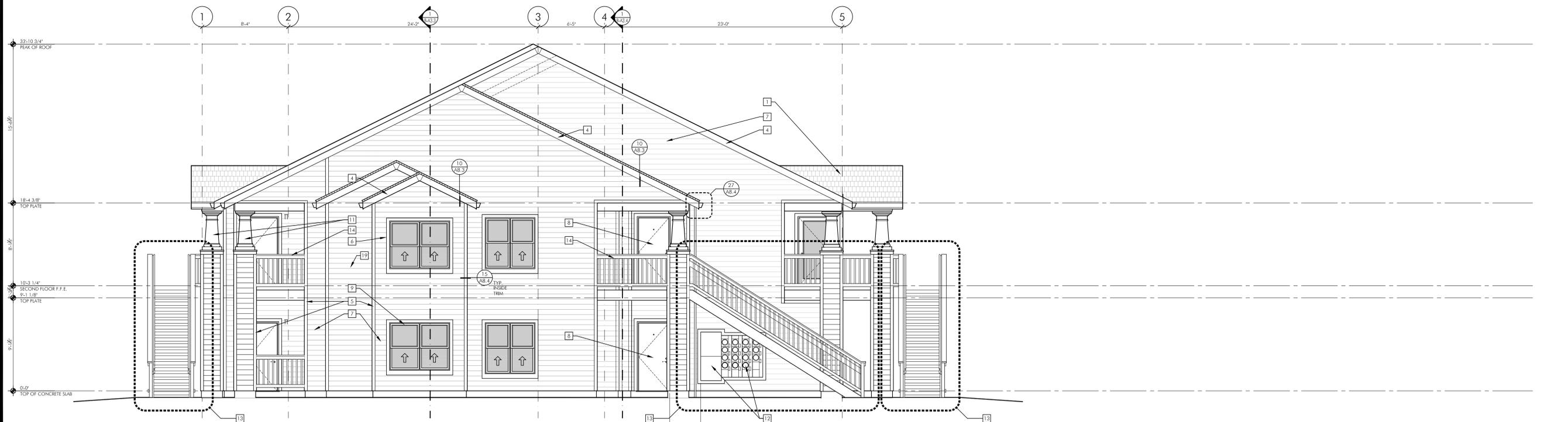
- SIDING COLOR 1 (3 SCHEMES)
- TRIM COLOR 2 (3 SCHEMES)
- ENTRY DOORS COLOR 3 (3 SCHEMES)
- ACCESSORY DOORS COLOR 1 (3 SCHEMES)
- BUILDING #1 SCHEME A
- BUILDING #2 SCHEME B
- BUILDING #3 SCHEME C
- BUILDING #4 SCHEME A
- BUILDING #5 SCHEME B WITH SCHEME C ON THREE REAR PROJECTIONS

GENERAL PLAN NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.N. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
3. SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS.
4. WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
5. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
6. ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS.
7. SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS.
8. SEE CIVIL SITE PLAN FOR CONCRETE FINISH, SLOPES AND GRADES TO ALIGN WITH UNIT ENTRIES.
9. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATIONS.
10. CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO VERIFY THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
11. NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
12. ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW-UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.
14. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
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18. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/TUB/SHOWER WALLS AND BATHROOM CEILING.
19. FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET AD.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEETS AD.4 & AD.5 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
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22. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/TUB/SHOWER WALLS AND BATHROOM CEILING. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SHOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SHOWER AND AT BATHS THAT HAVE SHOWERS.



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 SCALE: 1/4" = 1'-0"



2 BUILDING B - EXTERIOR ELEVATION
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IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL ISSUED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECT AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SEALED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2019-179
 DATE: 25 MAY 2020
 REVISIONS

MCKINNEY LANE APARTMENTS PHASE II
RUSSELL DRIVE & MCKINNEY LANE
 LEBANON, OREGON

ELEVATION NOTES:

- 1 ASPHALT SHINGLE ROOFING.
- 2 PREFINISHED OUTLETS.
- 3 PREFINISHED DOWNSPOUTS. (21, 22) (A8.4)
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 EXTERIOR DOORS, - PAINT.
- 9 VINYL FRAMED WINDOWS.
- 10 DECORATIVE TIMBER TRUSS, - PAINT.
- 11 PREFABRICATED FIBERGLASS COLUMN, - PAINT. (23) (A8.7)
- 12 ELECTRICAL PANELS AND EQUIPMENT: SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PROVIDE TRIM AROUND EQUIPMENT. - PAINT. - PAINT EQUIPMENT TO MATCH WALL.
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- 14 42" HIGH GUARDRAIL. SPACE SUPPORTS EVENLY, MAX 6'-0" O.C. SEE STRUCTURAL.
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- 17 EXHAUST COVERS. (6) (A8.4)
- 18 LIGHT FIXTURE. SEE ELECTRICAL.
- 19 AC SLEEVE WITH TRIM. SEE (3, 4) (A8.4)

ELEVATION LEGEND:

- PREFINISHED FIBER CEMENT HORIZONTAL LAP SIDING
- ASPHALT SHINGLE ROOFING

EXTERIOR COLOR SCHEME:

- SIDING COLOR 1 (3 SCHEMES)
- TRIM COLOR 2
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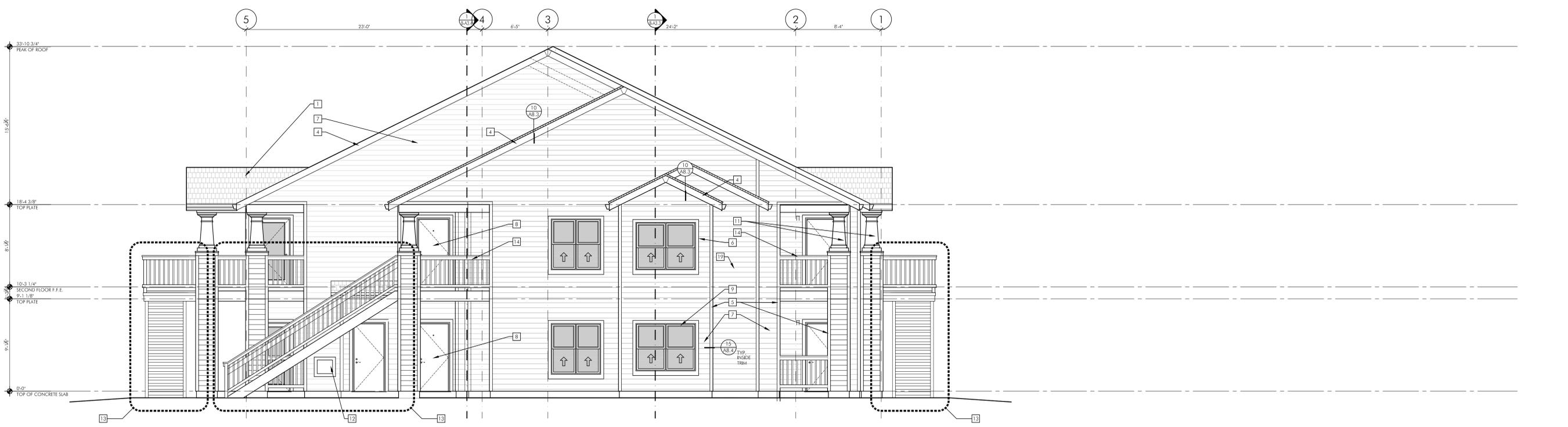
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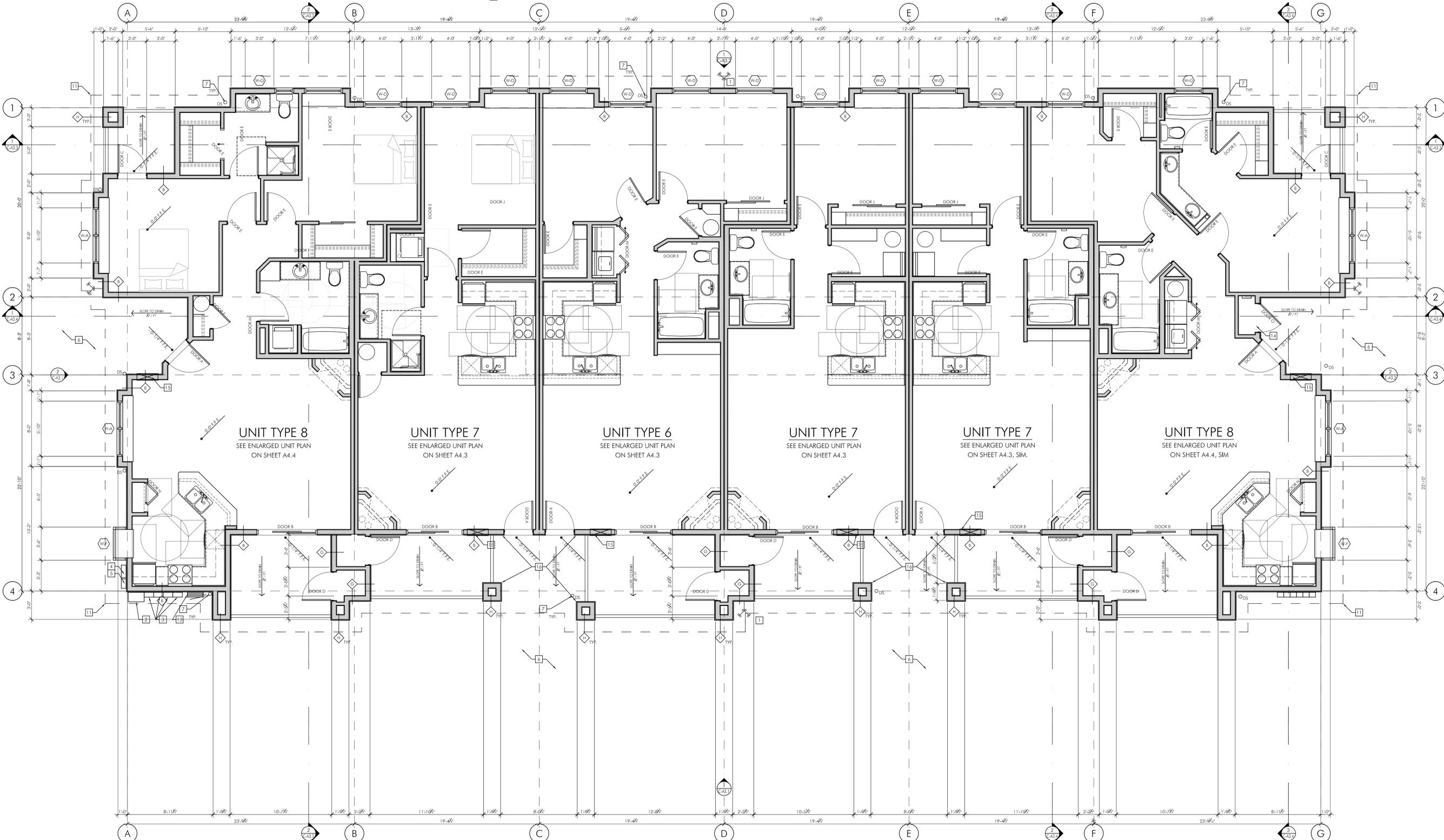
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RUSSELL DRIVE & MCKINNEY LANE
 L E B A N O N , O R E G O N 9 7 3 5 5

PLAN NOTES:

- 1. HOSE BIBB, SEE PLUMBING DRAWINGS. 2. SERVICE ENTRANCE PULLBOX & MAIN, VERIFY LOCATION PER ELECTRICAL SITE PLANS. 3. ELECTRICAL METERS, VERIFY LOCATION PER ELECTRICAL SITE PLANS. 4. TELEPHONE BOX, VERIFY LOCATION PER ELECTRICAL SITE PLANS. 5. CABLE BOX, VERIFY LOCATION PER ELECTRICAL SITE PLANS. 6. SEE SITE PLAN FOR CONCRETE SIDEWALK CONTINUATION. 7. DOWNSPOUT - CONNECT TO STORM DRAIN LINE. 8. EXTERIOR RAIL, SEE 20. 9. SEE STAIR PLAN, SHEET A7.4 FOR STAIR TYPE. 10. ROOF OF RISER ROOM BELOW. 11. FOUNDATION DRAINAGE, DIRECT TO STORM DRAIN. 12. LINE OF ROOF ABOVE. 13. HOUSE PANEL, VERIFY LOCATION PER ELECTRICAL SITE PLANS. 14. FIRE RISER ROOM EITHER THIS SIDE OR OPPOSITE SIDE. SEE CIVIL UTILITY PLAN FOR FIRE SERVICE. 15. AIR CONDITIONING SLEEVE AND POWER, UNDER WINDOW AT WINDOW LOCATIONS. 16. ENTRY PATIO AND ADJACENT PATIOS TO BE POURED SEPARATELY. ENTRY PATIO TO BE COORDINATED WITH SIDEWALKS, PROVIDE JOINT UNDER GUARDRAIL. 17. INTERMEDIATE SUPPORT, TYP. 18. WHERE WALLS ALIGN WITH DEMISING WALLS, PROVIDE GYPSUM BOARD AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND TO PROVIDE UNIFORM SURFACE. 19. STAIR FOOTINGS, FOOTING SIZES ENLARGED TO ACCOMMODATE AS-BUILT CONDITIONS.

GENERAL PLAN NOTES:

- 1. GENERAL NOTES APPLY TO ALL DRAWINGS. 2. DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.N. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH. 3. SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS. 4. WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION. 5. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES. 6. ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS. 7. SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS. 8. SEE CIVIL SITE PLAN FOR CONCRETE PAVING, SLOPES AND GRADES TO ALIGN WITH UNIT ENTRIES. 9. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATIONS. 10. CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER. 11. NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS. 12. ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS. 13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE FULLY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK. 14. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO. 15. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD, THE ARCHITECT AND ENGINEER WHERE APPLICABLE SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO FOLLOW. DO NOT SCALE THE DRAWINGS. 16. ALL REVISIONS MUST BE APPROVED IN WRITING BY BOTH THE OWNER AND THE ARCHITECT PRIOR TO THE CONSTRUCTION OF ANY DEVIATION IN THE SCOPE OF WORK. 17. ALL EXISTING FACILITIES TO BE MAINTAINED IN PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER. 18. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/SHOWER WALLS AND BATHROOM CEILING. 19. FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEETS A0.4 & A0.5 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS. 20. FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SITE PLAN FOR STAIR CONFIGURATIONS AND LOCATIONS. 21. PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION PRESTOP SYSTEMS AS REQUIRED BY CODES AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATIONS IN FIRE RATED ASSEMBLIES. 22. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH TUB/SHOWER WALLS AND BATHROOM CEILING. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SHOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SHOWER AND AT BATHS THAT HAVE SHOWERS.



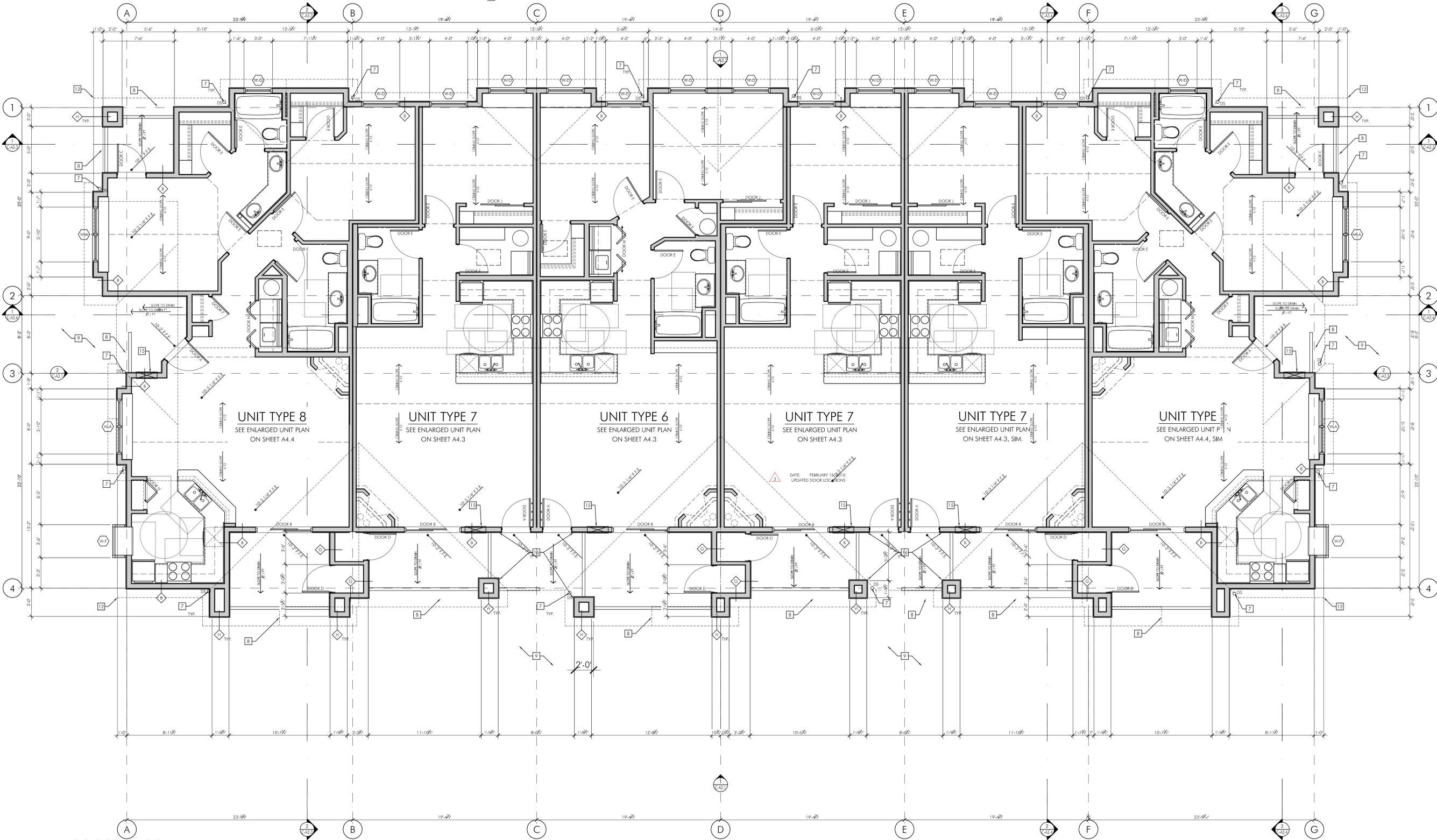
1 BUILDING C - FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

PLAN NOTES:

- 1. HOSE BIBB, SEE PLUMBING DRAWINGS.
2. SERVICE ENTRANCE PULLBOX & MAIN, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
3. ELECTRICAL METERS, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
4. TELEPHONE BOX, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
5. CABLE BOX, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
6. SEE SITE PLAN FOR CONCRETE SIDEWALK CONTINUATION.
7. DOWNSPOUT - CONNECT TO STORM DRAIN LINE.
8. EXTERIOR RAIL, SEE 2019-179-01.
9. SEE STAIR PLAN, SHEET A7.4 FOR STAIR TYPE.
10. ROOF OF RISER ROOM BELOW.
11. FOUNDATION DRAINAGE, DIRECT TO STORM DRAIN.
12. LINE OF ROOF ABOVE.
13. HOUSE PANEL, VERIFY LOCATION PER ELECTRICAL SITE PLANS.
14. FIRE RISER ROOM EITHER THIS SIDE OR OPPOSITE SIDE. SEE CIVIL UTILITY PLAN FOR FIRE SERVICE.
15. AIR CONDITIONING SLEEVE AND POWER, UNDER WINDOW AT WINDOW LOCATIONS.
16. ENTRY PATIO AND ADJACENT PATIOS TO BE POURED SEPARATELY. ENTRY PATIO TO BE COORDINATED WITH SIDEWALKS. PROVIDE JOINT UNDER GUARDRAIL.
17. INTERMEDIATE SUPPORT, TYP.
18. WHERE WALLS ALIGN WITH DEMISING WALLS, PROVIDE GYPSUM BOARD AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND TO PROVIDE UNIFORM SURFACE.
19. STAIR FOOTING, FOOTING SIZED ENLARGE TO ACCOMMODATE AS-BUILT CONDITIONS.

GENERAL PLAN NOTES:

- 1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
3. SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS.
4. WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
5. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 18-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
6. ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS.
7. SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS.
8. SEE CIVIL SITE PLAN FOR CONCRETE PAVING, SLOPES AND GRADIES TO ALIGN WITH UNIT ENTRIES.
9. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATIONS.
10. CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
11. NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
12. ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO AVOID FINISHES WITH ADJACENT SHEAR WALLS.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE INSTANTLY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.
14. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
15. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD, THE ARCHITECT AND ENGINEER WHOSE APPLICABLE SHALL BE NOTICED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO FOLLOW. DO NOT SCALE THE DRAWINGS.
16. ALL REVISIONS MUST BE APPROVED IN WRITING BY BOTH THE OWNER AND THE ARCHITECT PRIOR TO THE CONSTRUCTION OF ANY DEVIATION IN THE SCOPE OF WORK.
17. ALL EXISTING FACILITIES TO BE MAINTAINED IN PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER.
18. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/TUB/SHOWER WALLS AND BATHROOM CEILING.
19. FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A5.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEETS A0.4 & A0.5 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
20. FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SITE PLAN FOR STAIR CONFIGURATIONS AND LOCATIONS.
21. PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION PRESTOP SYSTEMS AS REQUIRED BY CODE AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATIONS IN FIRE RATED ASSEMBLIES.
22. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/TUB/SHOWER WALLS AND BATHROOM CEILING. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SHOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SHOWER AND AT BATHS THAT HAVE SHOWERS.



BUILDING C - SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- 1 ASPHALT SHINGLE ROOFING.
- 2 PREFINISHED GUTTERS.
- 3 PREFINISHED DOWNSPOUTS.
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 EXTERIOR DOORS, - PAINT.
- 9 VINYL FRAMED WINDOWS.
- 10 DECORATIVE TIMBER TRUSS, - PAINT.
- 11 PREFABRICATED FIBERGLASS COLUMN, - PAINT.
- 12 ELECTRICAL PANELS AND EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PROVIDE TRIM AROUND EQUIPMENT. - PAINT. PAINT EQUIPMENT TO MATCH WALL.
- 13 STAIR ELEVATION, VERIFY STAIR TYPE FOR EACH BUILDING # ON STAIR PLAN.
- 14 42" HIGH GUARDRAIL. SPACE SUPPORTS EVENLY, MAX 4'-0" O.C. SEE STRUCTURAL.
- 15 HOSE BIBB ON TRIM BACKER.
- 16 PREFINISHED ROOF VENT.
- 17 EXHAUST COVERS.
- 18 LIGHT FIXTURE. SEE ELECTRICAL.
- 19 AC SLEEVE WITH TRIM, SEE 3, 4, 5, 6, 7, 8, 9.
- 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

ELEVATION LEGEND:

- PREFINISHED FIBER CEMENT HORIZONTAL LAP SIDING
- ASPHALT SHINGLE ROOFING

EXTERIOR COLOR SCHEME:

- | | |
|-----------------|---------------------|
| SIDING | COLOR 1 (3 SCHEMES) |
| TRIM | COLOR 2 |
| ENTRY DOORS | COLOR 3 (3 SCHEMES) |
| ACCESSORY DOORS | COLOR 1 (3 SCHEMES) |
-
- | | |
|-------------|--------------------------------------------------|
| BUILDING #1 | SCHEME A |
| BUILDING #2 | SCHEME B |
| BUILDING #3 | SCHEME C |
| BUILDING #4 | SCHEME A |
| BUILDING #5 | SCHEME B WITH SCHEME C ON THREE REAR PROJECTIONS |

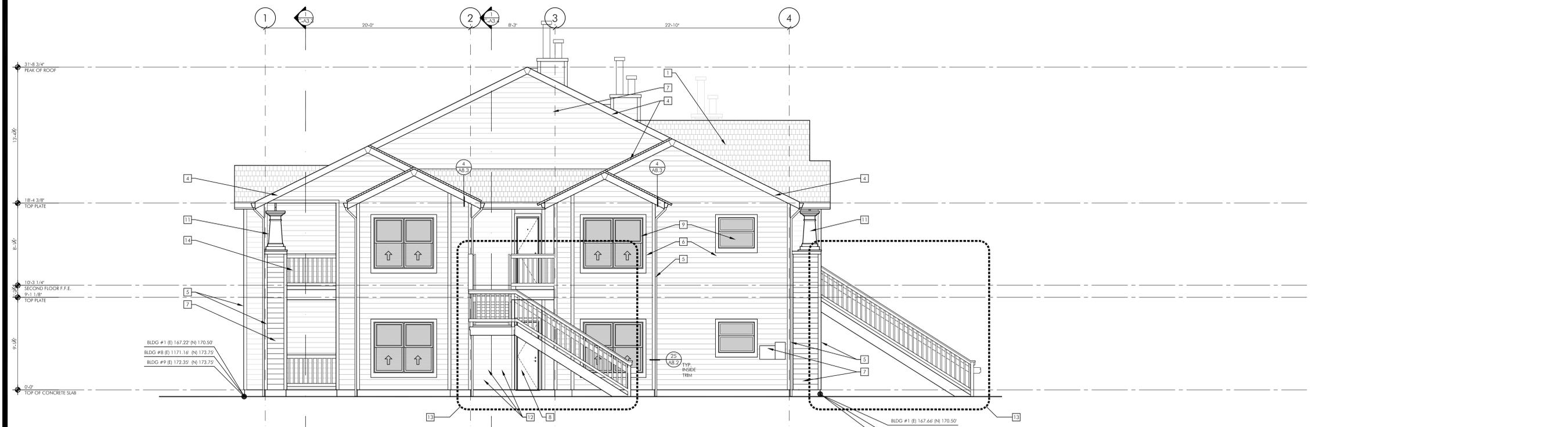
GENERAL PLAN NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. DIMENSIONS ARE TO FACE OF BRACING OR FACE OF CONCRETE, U.O.D.N. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
3. SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS.
4. WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REVIEW SECTIONS AND ELEVATIONS FOR ADDED INFORMATION.
5. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10'-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
6. ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS.
7. SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS.
8. SEE CIVIL SITE PLAN FOR CONCRETE PAVING, SLOPES AND GRADES TO ALIGN WITH UNIT ENTRIES.
9. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONS AND REGULATORS.
10. CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
11. NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
12. ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.

14. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
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18. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/SHOWER WALLS AND BATHROOM CEILING.
19. FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A03 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEETS A04 & A05 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
20. FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SITE PLAN FOR STAIR CONFIGURATIONS AND LOCATIONS.
21. PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION FIRESTOP SYSTEMS AS REQUIRED BY CODE AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATION IN FIRE RATED ASSEMBLIES.
22. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/SHOWER WALLS AND BATHROOM CEILING. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SHOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SHOWER AND AT BATHS THAT HAVE SHOWERS.



1 BUILDING C - EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 BUILDING C - EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2019-179
DATE: 25 MAY 2020

REVISIONS

MCKINNEY LANE APARTMENTS PHASE II
RUSSELL DRIVE & MCKINNEY LANE
 L E B A N O N , O R E G O N

ELEVATION NOTES:

- 1 ASPHALT SHINGLE ROOFING.
- 2 PRE-FINISHED GUTTERS.
- 3 PRE-FINISHED DOWNSPOUTS.
- 4 FASCIA, - PAINT.
- 5 TRIM, - PAINT.
- 6 WINDOW TRIM, - PAINT.
- 7 LAP SIDING, - PAINT.
- 8 EXTERIOR DOORS, - PAINT.
- 9 VINYL FRAMED WINDOWS.
- 10 DECORATIVE TIMBER TRUSS, - PAINT.
- 11 PRE-FABRICATED FIBERGLASS COLUMN, - PAINT.
- 12 ELECTRICAL PANELS AND EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS. PROVIDE TRIM AROUND EQUIPMENT. - PAINT. PAINT EQUIPMENT TO MATCH WALL.
- 13 STAIR ELEVATION. VERIFY STAIR TYPE FOR EACH BUILDING # ON STAIR PLAN.
- 14 42" HIGH GUARDRAIL. SPACE SUPPORTS EVENLY, MAX 6-0" O.C. SEE STRUCTURAL.
- 15 HOSE BIBB ON TRIM BACKER.
- 16 PRE-FINISHED ROOF VENT.
- 17 EXHAUST COVERS.
- 18 LIGHT FIXTURE. SEE ELECTRICAL.
- 19 AC SLEEVE WITH TRIM, SEE 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

ELEVATION LEGEND:

- PREFINISHED FIBER CEMENT HORIZONTAL LAP SIDING
- ASPHALT SHINGLE ROOFING

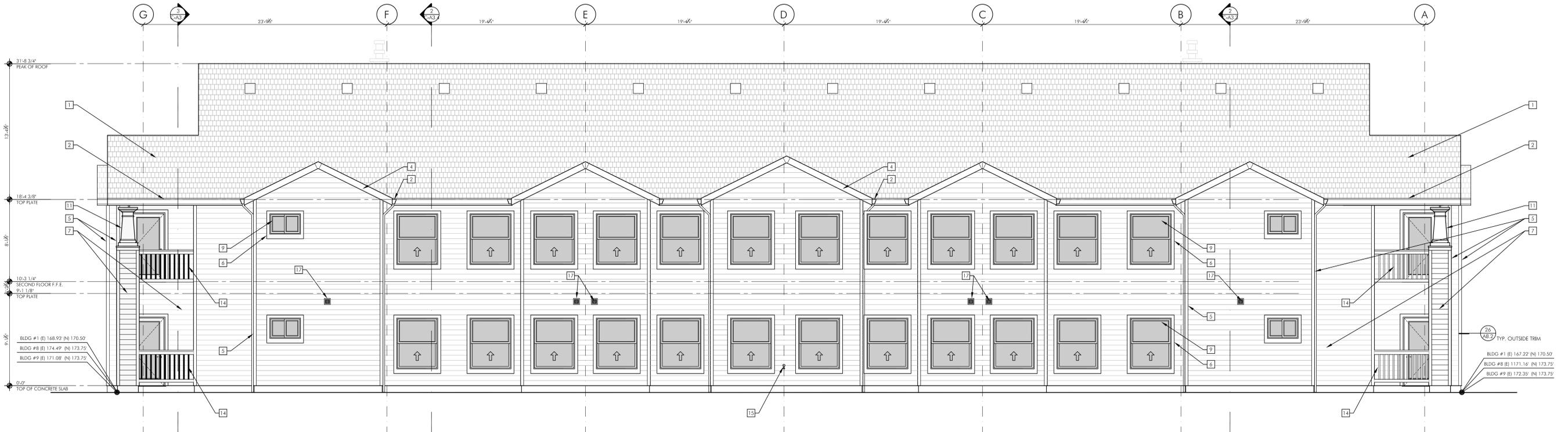
EXTERIOR COLOR SCHEME:

- SIDING COLOR 1 (3 SCHEMES)
- TRIM COLOR 2 (3 SCHEMES)
- ENTRY DOORS COLOR 3 (3 SCHEMES)
- ACCESSORY DOORS COLOR 1 (3 SCHEMES)
- BUILDING #1 SCHEME A
- BUILDING #2 SCHEME B
- BUILDING #3 SCHEME C
- BUILDING #4 SCHEME A
- BUILDING #5 SCHEME B WITH SCHEME C ON THREE REAR PROJECTIONS

GENERAL PLAN NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, U.O.C. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
3. SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING LOCATIONS.
4. WALL MATERIAL MAY CHANGE AT WALL INTERSECTIONS, REINFORCING AND ELEVATIONS FOR ADDED INFORMATION.
5. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF WALLS, PARTITIONS AND FURRED SPACES AT 10-0" O.C. IN ALL DIRECTIONS AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
6. ADDITIONAL FRAMING, BLOCKING AND FINISHES SHALL BE PROVIDED AS REQUIRED FOR PLUMBING ACCESS PANELS.
7. SEE ENLARGED FLOOR PLANS FOR SPECIFIC INFORMATION PERTAINING TO THOSE AREAS.
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12. ADD ADDITIONAL SHEATHING AS REQUIRED AT NON-SHEAR WALLS TO ALIGN FINISHES WITH ADJACENT SHEAR WALLS.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.

14. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DRAWINGS AND ON THE JOB SITE PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
15. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR THERE APPEARS TO BE AN ERROR ON THE DRAWINGS, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD, THE ARCHITECT AND ENGINEER WHERE APPLICABLE SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO FOLLOW. DO NOT SCALE THE DRAWINGS.
16. ALL REVISIONS MUST BE APPROVED IN WRITING BY BOTH THE OWNER AND THE ARCHITECT PRIOR TO THE CONSTRUCTION OF ANY DETAIL OR IN THE SCOPE OF WORK.
17. ALL EXISTING FACILITIES TO BE MAINTAINED UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER.
18. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/TUB/SHOWER WALLS AND BATHROOM CEILING.
19. FLOOR PLANS AND SECTIONS DO NOT INDICATE ALL FIRE RATINGS REQUIRED REFER TO SHEET A0.3 FOR FIRE RATING LOCATIONS. REFER TO WALL TYPES SHEETS A0.4 & A0.5 FOR CONSTRUCTION OF WALLS AND FLOORS IN RATED CONDITIONS.
20. FLOOR PLANS, ELEVATIONS AND SECTIONS DO NOT INDICATE ALL STAIR TYPES THAT MAY APPLY TO EACH BUILDING NUMBER. SEE SITE PLAN FOR STAIR CONFIGURATIONS AND LOCATIONS.
21. PROVIDE UL APPROVED THROUGH PENETRATIONS AND MEMBRANE PENETRATION FIRESTOP SYSTEMS AS REQUIRED BY CODE AT ALL ELECTRICAL, PLUMBING AND MECHANICAL PENETRATION IN FIRE RATED ASSEMBLIES.
22. PROVIDE WATER RESISTANT GYPSUM BOARD AT BATH/TUB/SHOWER WALLS AND BATHROOM CEILING. THE WATER RESISTANT GYPSUM BOARD IS TO BE LOCATED DIRECTLY BEHIND THE TUB/SHOWER ENCLOSURE, AT EXPOSED GYPSUM BOARD DIRECTLY ABOVE TUB/SHOWER AND AT BATHS THAT HAVE SHOWERS.



1 BUILDING C- EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 BUILDING C- EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SEENED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SEENED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2019-179
DATE: 25 MAY 2020

REVISIONS

MCKINNEY LANE APARTMENTS PHASE II
RUSSELL DRIVE & MCKINNEY LANE
 LEBANON, OREGON

MEMORANDUM

Date: June 9, 2020

Project #: 24995

To: Shana Olson, City of Lebanon

Cc: Kelly Hart, City of Lebanon

From: Matt Hughart, AICP, Alec Kauffman, Chris Brehmer, P.E.

Project: McKinney Lane Apartments Phase II

Subject: Transportation Impact Analysis (TIA)

Marathon Acquisition & Development is proposing to construct a new apartment complex in Lebanon south of the Russell Drive/Franklin Street intersection. Consistent with the scoping direction provided by Lebanon staff, this memorandum documents the transportation impacts associated with the new apartment complex.

INTRODUCTION

The proposed apartment complex will consist of 78 multi-family dwelling units amongst six separate apartment buildings. Access to the site is proposed via a single full access driveway that would form a southern fourth leg to the existing Russell Drive/Franklin Street intersection. For the purposes of this TIA, the apartment complex is assumed to be completed and open by 2021.

The site location and vicinity are shown in Figure 1, and a site plan is shown in Figure 2.

Figure 1: Site Vicinity and Study Intersection



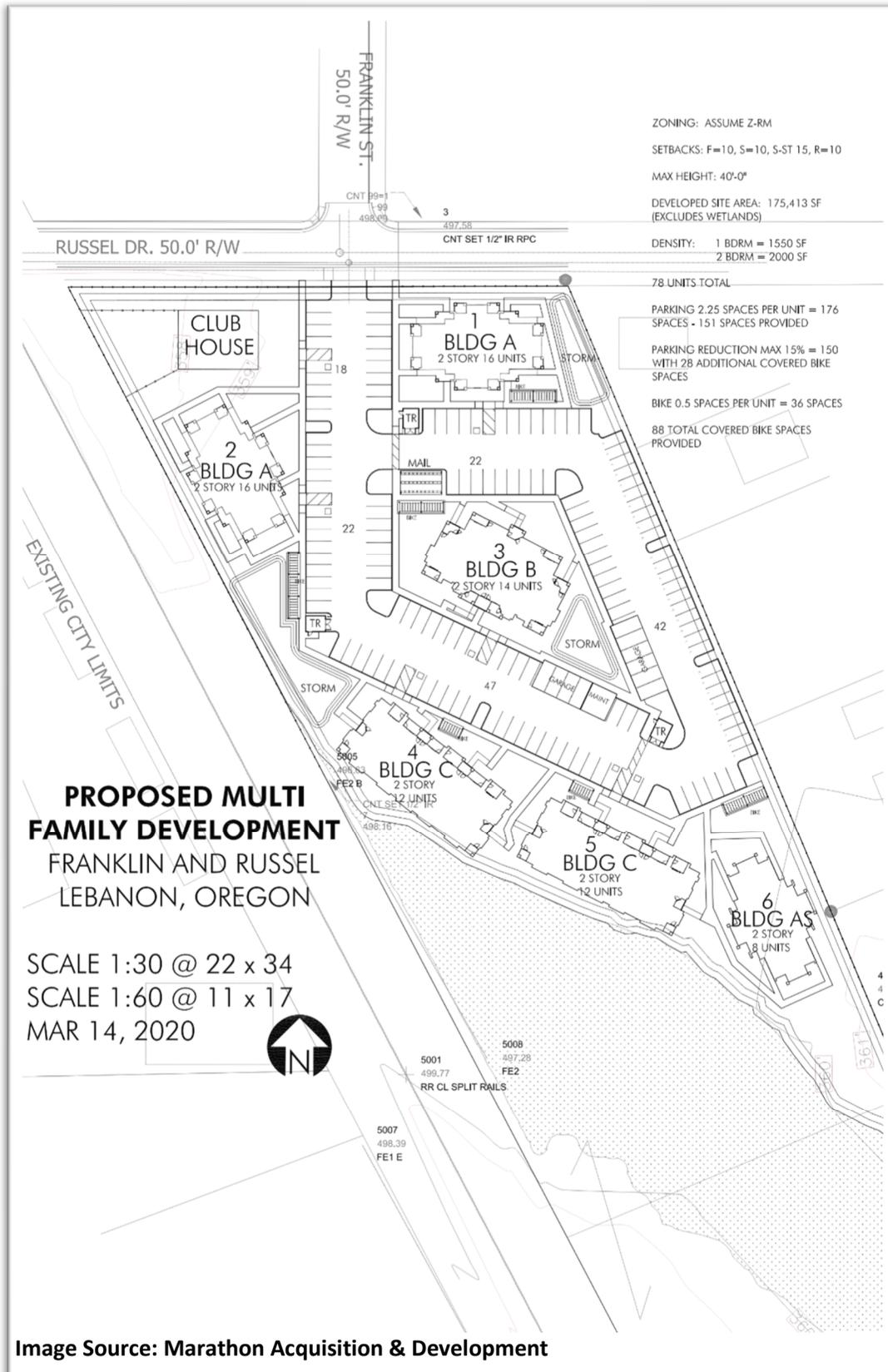


Figure 2: Proposed Site Plan

SCOPE OF THE REPORT

This report identifies the transportation-related impacts associated with the proposed apartment complex and was prepared in accordance with the City of Lebanon Traffic Impact Study requirements. Per agreement with City staff, operational analyses were performed at the Russell Drive/Franklin Street/Proposed Site Access intersection.

This report evaluates the following transportation issues:

- Existing 2020 land use and transportation system conditions within the site vicinity during the weekday PM peak period;
- Forecast year 2021 background traffic conditions during the weekday PM peak period, considering background growth and transportation improvements planned in the study area;
- Trip generation and distribution estimates for the proposed apartment complex;
- Forecast year 2021 total traffic conditions during the weekday PM peak period with build-out of the site; and
- Study recommendations.

Analysis Methodology

All operational analyses described in this report were performed in accordance with the procedures stated in the *Highway Capacity Manual* (HCM). The 6th Edition of the HCM was used to assess study intersection operations during the peak 15 minutes of the peak hour. The peak hour factor (PHF) was derived from the existing raw manual turning movement counts and applied uniformly over each scenario. The operations analysis presented in this report was completed using Vistro analysis software.

Applicable Mobility Standards

The City of Lebanon has adopted the following mobility targets for city-owned/maintained intersections:

Signalized, All-way Stop, or Roundabout Controlled Intersections: *The intersection as a whole must operate with a Level of Service (LOS) "E" or better and a volume to capacity (v/c) ratio not higher than 1.00 during the highest one-hour period on an average weekday (typically, but not always the evening peak period between 4 PM and 6 PM during the spring or fall).*

Two-way Stop and Yield Controlled Intersections: *All intersection approaches during the highest one-hour period on an average weekday (typically, but not always the evening peak period between 4 PM and 6 PM during the spring or fall) shall operate with a v/c ratio not greater than 0.90.*

EXISTING CONDITIONS

This section summarizes the existing characteristics of the transportation system and adjacent land uses in the vicinity of the proposed development, including an inventory of the existing multimodal transportation facilities and options, a summary of recent crash history, and an evaluation of existing intersection operations for motor vehicles at the study intersection.

Site Conditions and Adjacent Land Uses

The site of the proposed McKinney II apartment complex is undeveloped and bounded by Russell Drive to the north, an active rail line to the west, and single-family residences to the east and south.

Transportation Facilities

Table 1 summarizes the attributes of key roadways in the site vicinity. Figure 3 illustrates the existing lane configurations and traffic control devices at the study intersections.

Table 1: Street Characteristics in Site Vicinity

Street	Classification ¹	Motor Vehicle Travel Lanes	Posted Speed	Sidewalks	Striped Bicycle Lanes	On-Street Parking
Russell Drive	Minor Arterial	2	25 MPH	Yes	No	No
Franklin Street	Collector Street	2	25 MPH	No	No	No

¹Per Lebanon Transportation System Plan
MPH = miles per hour

Multi-Use Facilities

There are sidewalk facilities along both sides of Russell Drive within the site vicinity. These sidewalks extend west to the Highway 20 commercial corridor and west to the Mountain River Drive intersection. There are no sidewalks along the southern extents of Franklin Street. However, future sidewalk improvements are anticipated along the east side of Franklin Street associated with an in-process development project noted later in this report. No bicycle lanes are provided on either Russell Drive or Franklin Street.

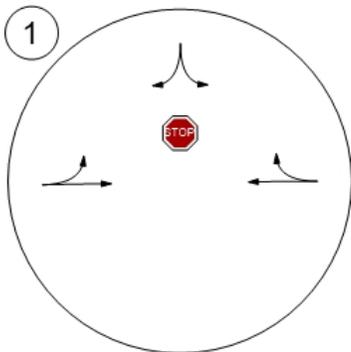
Transit Facilities

The Linn Shuttle provides transit service to Sweet Home and Albany and is a fixed bus route operating mostly along OR 20 which is located west of the site. The Linn Shuttle provides Monday to Friday service from 6:50 AM to 7:05 PM with one to two-hour headways throughout the day. The nearest transit stops are located at the Park Street/Oak Street intersection and along OR 20 at the Walmart shopping center.

Figure 3: Existing Lane Configurations & Traffic Control Devices



Franklin St. & Russell Dr.



Crash History Analysis

The Oregon Department of Transportation (ODOT) provided crash history for the five-year period from January 1, 2013 to December 31, 2017. During this time there were no recorded crashes at the Russell Drive/Franklin Street study intersection. *Appendix A provides the ODOT crash report which shows no reported crashes.*

Existing Conditions Operational Analysis

The existing and foreseeable future reduction in overall travel demand on the roadway network does not currently allow for the collection of new traffic counts at the Russell Drive/Franklin Street intersection due to the atypical traffic conditions associated with the COVID-19 pandemic. However, City staff noted that weekday PM peak hour turning movement counts were collected at the intersection in 2016 as part of the City’s Transportation System Plan (TSP) development. In addition, the City more recently collected 24-hour roadway volume counts along Russell Drive east of the Russell Drive/Franklin Street intersection. A review of the 2019 Russell Drive roadway volume counts determined that the 2016 intersection turning movement volumes are likely still representative of current traffic conditions. As such, the 4:35-5:35 PM peak hour turning movements volumes (adjusted for seasonal variation) utilized in the TSP were utilized without any growth adjustment for the purposes of developing an existing conditions analysis. *Appendix B contains the traffic count worksheets.*

Figure 4 illustrates the existing traffic volumes at the study intersection while Table 2 summarizes the corresponding traffic operations during the weekday PM peak hour. As shown in Table 2 and detailed in *Appendix C* (which includes the existing conditions operations analysis worksheets), the study intersection operations satisfy applicable City standards during the PM peak hour.

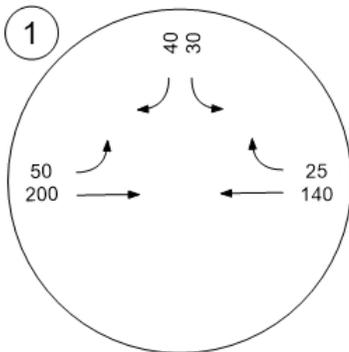
Table 2 – Existing Traffic Conditions

Intersection	Critical Approach/Lane	Weekday PM Peak Hour		
		V/C	Approach Delay (sec)	Approach LOS
Russell Drive/ Franklin Street	Southbound	0.07	11.4	B

Figure 4: Existing Traffic Volumes



Franklin St. & Russell Dr.



TRANSPORTATION IMPACT ANALYSIS

The transportation impact analysis identifies how the study area’s transportation system will operate in the year 2021 upon occupancy of the apartment complex. This section of the report includes analysis of 2021 background traffic volumes and operations, an estimate of site-generated trips, and analysis of 2021 total traffic volumes and operations with the proposed apartment complex.

2021 Background Operational Analysis

A two percent annual growth rate (consistent with the growth rates forecast in the Lebanon TSP) was applied to the existing study intersection traffic volumes to reflect near-term growth on the local transportation network. In addition to this local growth assumption, one in-process development was identified by City staff that would directly impact the study intersections:

- The Prism Manor multifamily residential project is an approved 48-unit apartment complex located to the northwest corner of the Russell Drive/Franklin Street intersection. This project is anticipated to be under construction soon and will include improvements along the site’s Wallace Street and Franklin Street frontages. The in-process trips from this project were added to the 2021 adjusted background growth traffic volumes. A figure representing in-process development trips are included in Appendix D.

Figure 5 illustrates the resulting 2021 background traffic volumes while Table 3 summarizes the corresponding operational analysis for the weekday PM peak hour. As shown, the study intersection is expected to continue to satisfy City standards under background conditions. *Appendix D includes the 2021 background conditions operations analysis worksheets.*

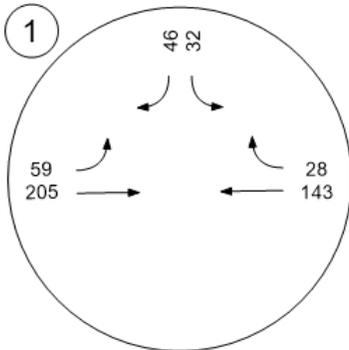
Table 3 – 2021 Background Traffic Conditions

Intersection	Critical Approach/Lane	Weekday PM Peak Hour		
		V/C	Approach Delay (sec)	Approach LOS
Russell Drive/ Franklin Street	Southbound	0.08	11.7	B

Figure 5: 2021 Background Traffic Volumes



Franklin St. & Russell Dr.



PROPOSED DEVELOPMENT PLAN

The proposed apartment complex will consist of 78 total multi-family dwelling units amongst six separate apartment buildings. Access to the site is proposed via a single full access driveway that would form a southern fourth leg to the existing Russell Drive/Franklin Street intersection. The access driveway is proposed to have a single inbound lane and a single outbound lane and would be stop-controlled along with the existing southbound approach.

Trip Generation Estimate

Trip estimates for the proposed apartment complex were prepared using trip generation rates from the *Trip Generation Manual, 10th Edition* published by the Institute of Transportation Engineers in 2017. Table 4 summarizes the trip estimates.

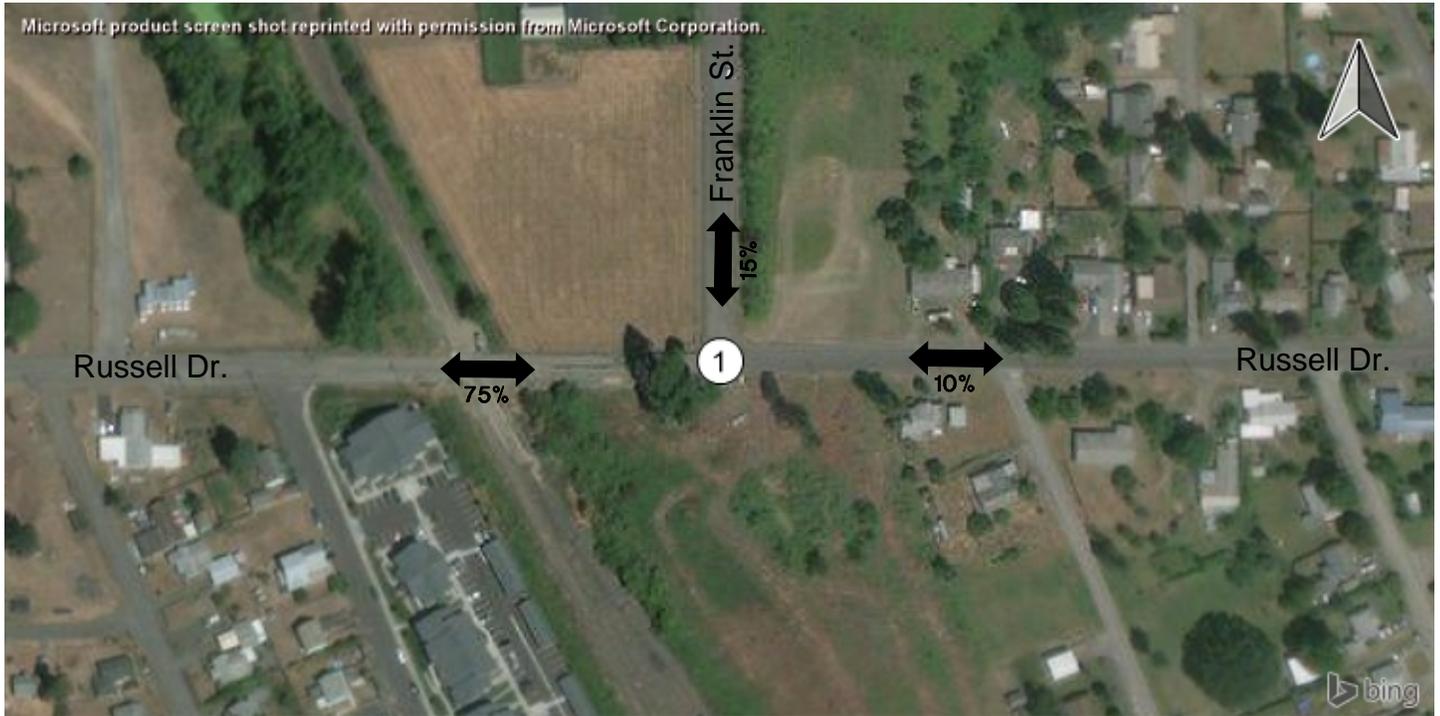
Table 4: Trip Generation

Land Use	ITE Code	Size	Total Daily Trips	Weekday PM Peak Hour		
				Total Trips	In	Total Trips
Multifamily Housing (low-rise)	220	78 Dwelling Units	549	47	30	17

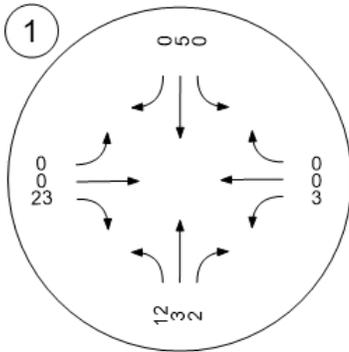
Trip Distribution/Assignment

A trip distribution pattern was identified for the apartment complex based on the Russell Drive/Franklin Street turning movement volumes, the location of major trip origins and destinations in the community, and the location of the site with respect to both local and regional travel corridors. The trip distribution and assignment are illustrated in Figure 6.

Figure 6: Trip Generation and Assignment



Franklin St. & Russell Dr.



Year 2021 Total Traffic Conditions

The total traffic conditions analysis forecasts the operation of the study intersection with the inclusion of traffic generated by the proposed apartment complex. Total traffic conditions were determined by adding the estimated site-generated trips to the year 2021 background volumes for the weekday PM peak hour.

Figure 7 illustrates the 2021 total traffic conditions while Table 5 summarizes the corresponding operational analysis for the weekday PM peak hour. The study intersection operations are projected to continue to satisfy City standards. Accordingly, no on or off-site capacity-based mitigation measures are required to accommodate the proposed development. *Appendix E includes the total conditions operations analysis worksheets.*

Table 5 – 2021 Total Traffic Conditions

Intersection	Critical Approach/Lane	Weekday PM Peak Hour		
		V/C	Approach Delay (sec)	Approach LOS
Russell Drive/ Franklin Street/ Site Access Driveway	Southbound ¹	0.10	12.7	B

¹ The highest approach delay is for the northbound approach. However, to be consistent with the City of Lebanon’s volume-to-capacity ratio standard, the higher volume-to-capacity ratio on the southbound approach was reported as the critical approach.

Russell Drive Sight Distance Review

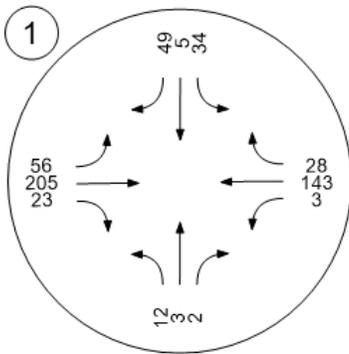
Intersection sight distance was evaluated for the proposed fourth leg to the Russell Drive/Franklin Street intersection. For this assessment, sight distance measurements were evaluated based on an eye height of 3.5 feet, an object height of 3.5 feet, and an observation point located 14.5 feet from the edge of the cross-street travel lane. The posted speed along Russell Drive is 25 mph. As noted in *A Policy on Geometric Design of Highways and Streets* (published by the American Association of State Highway and Transportation Officials, AASHTO in 2018), the minimum intersection sight distance requirement for a 25 mph design speed is 280 feet (left-turn from stop) and 240 feet (right-turn from stop).

Intersection sight distance was measured at the proposed site access driveway. From this location, Russell Drive has no significant vertical or horizontal curvature, resulting in excess of 500 feet of intersection sight distance to the east and west of the proposed driveway location. As such, adequate intersection sight distance can be provided. We recommend the development place and maintain all vegetation and other above ground objects along the site frontage and driveway to provide adequate sight distance per City standards.

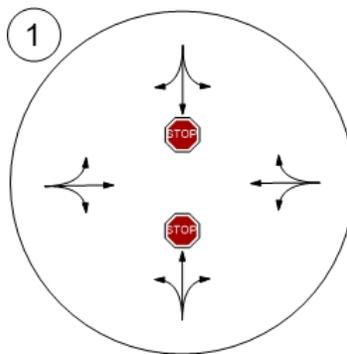
Figure 7: Total Traffic Conditions



Franklin St. & Russell Dr.



Franklin St. & Russell Dr.



FINDINGS AND RECOMMENDATIONS

The primary findings and recommendations of this study are summarized below.

- The Russell Drive/Franklin Street intersection is forecast to meet the City of Lebanon mobility standards during the weekday PM peak hour under existing, 2021 background, and 2021 total traffic conditions (with inclusion of the proposed site access driveway as the fourth leg of the intersection). No capacity-based mitigation needs were identified at the intersection.
- Adequate intersection sight distance is available at the proposed site access driveway.
- We recommend the development place and maintain all vegetation and other above ground objects along the site frontage and driveway to provide adequate sight distance per City standards.

We trust this memorandum adequately addresses the traffic and circulation impacts associated with the proposed McKinney Lane Apartments Phase II project. Please let us know if you have any questions regarding our analyses or need additional information.

Sincerely,
KITTELSON & ASSOCIATES, INC.



Matt Hughart, AICP
Principal Engineer



Alec Kauffman
Analyst

REFERENCES

1. Lebanon: *Transportation System Plan*. 2018.
2. Institute of Transportation Engineers. *Trip Generation, 10th Edition*. 2017.
3. Transportation Research Board. *Highway Capacity Manual, 6th Edition*. 2020.

APPENDICES

- Appendix A Crash Data
- Appendix B Traffic Count Data
- Appendix C Existing Conditions Worksheets
- Appendix D 2021 Background Conditions Worksheets
- Appendix E 2021 Total Conditions Worksheets



Appendix A Crash Data

OREGON DEPARTMENT OF TRANSPORTATION - POLICY, DATA AND ANALYSIS DIVISION
TRANSPORTATION DATA SECTION - CRASH ANALYSIS AND REPORTING UNIT
CRASH SUMMARIES BY YEAR BY COLLISION TYPE

Intersectional Crashes at Russell Dr & Franklin St
January 1, 2013 through December 31, 2017

COLLISION TYPE	FATAL CRASHES	NON- FATAL CRASHES	PROPERTY DAMAGE ONLY	TOTAL CRASHES	PEOPLE KILLED	PEOPLE INJURED	TRUCKS	DRY SURF	WET SURF	DAY	DARK	INTER- SECTION	INTER- SECTION RELATED	OFF- ROAD
YEAR:														
TOTAL														
FINAL TOTAL														

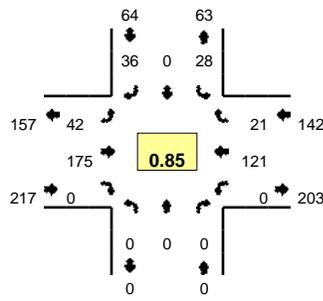
Disclaimers: Effective 2016, collection of "Property Damage Only" (PDO) crash data elements was reduced for vehicles and participants. Age, Gender, License, Error and other elements are no longer available for PDO crash reporting. Please keep this in mind when comparing 2016 PDO crash data to prior years.

A higher number of crashes may be reported as of 2011 compared to prior years. This does not necessarily reflect an increase in annual crashes. The higher numbers may result from a change to an internal departmental process that allows the Crash Analysis and Reporting Unit to add previously unavailable, non-fatal crash reports to the annual data file. Please be aware of this change when comparing pre-2011 crash statistics. For all disclaimers, see https://www.oregon.gov/ODOT/Data/documents/Crash_Data_Disclaimers.pdf.

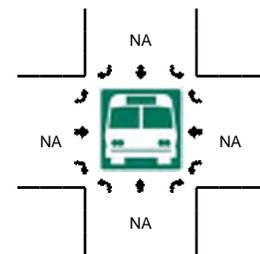
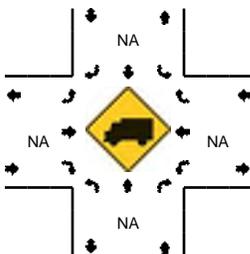
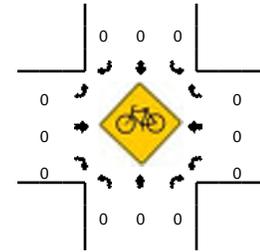
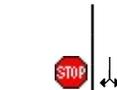
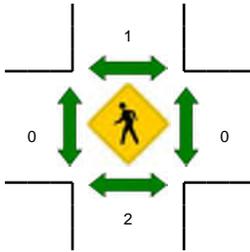
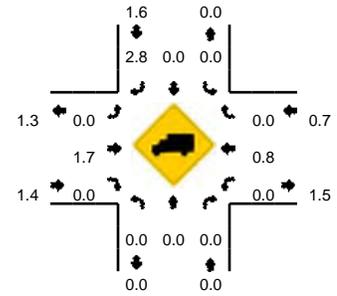
Appendix B Traffic Count Data

LOCATION: Franklin St -- Russell Dr
CITY/STATE: Linn, OR

QC JOB #: 13675134
DATE: Wed, Jan 20 2016



Peak-Hour: 4:35 PM -- 5:35 PM
Peak 15-Min: 5:00 PM -- 5:15 PM



5-Min Count Period Beginning At	Franklin St (Northbound)				Franklin St (Southbound)				Russell Dr (Eastbound)				Russell Dr (Westbound)				Total	Hourly Totals
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
4:05 PM	0	0	0	0	1	0	2	0	0	9	0	0	0	10	3	0	25	342
4:10 PM	0	0	0	0	1	0	3	0	4	13	0	0	0	18	6	0	45	364
4:15 PM	0	0	0	0	2	0	4	0	6	8	0	0	0	16	0	0	36	370
4:20 PM	0	0	0	0	1	0	6	0	3	13	0	0	0	12	5	0	40	384
4:25 PM	0	0	0	0	1	0	6	0	4	20	0	0	0	8	6	0	45	399
4:30 PM	0	0	0	0	2	0	2	0	3	12	0	0	0	10	5	0	34	405
4:35 PM	0	0	0	0	3	0	1	0	4	20	0	0	0	11	3	0	42	424
4:40 PM	0	0	0	0	4	0	4	0	4	13	0	0	0	10	0	0	35	427
4:45 PM	0	0	0	0	2	0	2	0	3	14	0	0	0	7	3	0	31	428
4:50 PM	0	0	0	0	0	0	1	0	7	12	0	0	0	9	2	0	31	422
4:55 PM	0	0	0	0	1	0	5	0	6	10	0	0	0	14	1	0	37	433
5:00 PM	0	0	0	0	2	0	2	0	2	26	0	0	0	10	4	0	46	447
5:05 PM	0	0	0	0	5	0	4	0	0	18	0	0	0	8	3	0	38	460
5:10 PM	0	0	0	0	4	0	4	0	5	13	0	0	0	15	0	0	41	456
5:15 PM	0	0	0	0	2	0	4	0	3	11	0	0	0	8	1	0	29	449
5:20 PM	0	0	0	0	3	0	3	0	2	12	0	0	0	12	1	0	33	442
5:25 PM	0	0	0	0	2	0	5	0	3	16	0	0	0	8	0	0	34	431
5:30 PM	0	0	0	0	0	0	1	0	3	10	0	0	0	9	3	0	26	423
5:35 PM	0	0	0	0	1	0	3	0	2	16	0	0	0	6	0	0	28	409
5:40 PM	0	0	0	0	0	0	5	0	1	11	0	0	0	11	2	0	30	404
5:45 PM	0	0	0	0	3	0	1	0	4	18	0	0	0	5	0	0	31	404
5:50 PM	0	0	0	0	1	0	1	0	2	11	0	0	0	11	4	0	30	403
5:55 PM	0	0	0	0	1	0	4	0	5	11	0	0	0	11	0	0	32	398
6:00 PM	0	0	0	0	3	0	1	0	7	13	0	0	0	12	1	0	37	389
Peak 15-Min Flowrates	Northbound				Southbound				Eastbound				Westbound				Total	
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
All Vehicles	0	0	0	0	44	0	40	0	28	228	0	0	0	132	28	0	500	
Heavy Trucks	0	0	0	0	0	0	4	0	0	4	0	0	0	4	0	0	12	
Pedestrians		4				4				0				0			8	
Bicycles	0	0	0		0	0	0		0	0	0		0	0	0		0	
Railroad																		
Stopped Buses																		

Comments:

Appendix C Existing Conditions Worksheets

Intersection Level Of Service Report
Intersection 1: Franklin St. & Russell Dr.

Control Type:	Two-way stop	Delay (sec / veh):	13.2
Analysis Method:	HCM 6th Edition	Level Of Service:	B
Analysis Period:	15 minutes	Volume to Capacity (v/c):	0.072

Intersection Setup

Name	Franklin St.		Russell Dr.		Russell Dr.	
Approach	Southbound		Eastbound		Westbound	
Lane Configuration						
Turning Movement	Left	Right	Left	Thru	Thru	Right
Lane Width [ft]	12.00	12.00	12.00	12.00	12.00	12.00
No. of Lanes in Pocket	0	0	0	0	0	0
Pocket Length [ft]	100.00	100.00	100.00	100.00	100.00	100.00
Speed [mph]	25.00		25.00		25.00	
Grade [%]	0.00		0.00		0.00	
Crosswalk	No		No		No	

Volumes

Name	Franklin St.		Russell Dr.		Russell Dr.	
Base Volume Input [veh/h]	30	40	50	200	140	25
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	2.80	0.00	1.70	0.80	0.00
Growth Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
In-Process Volume [veh/h]	0	0	0	0	0	0
Site-Generated Trips [veh/h]	0	0	0	0	0	0
Diverted Trips [veh/h]	0	0	0	0	0	0
Pass-by Trips [veh/h]	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0
Total Hourly Volume [veh/h]	30	40	50	200	140	25
Peak Hour Factor	0.8500	0.8500	0.8500	0.8500	0.8500	0.8500
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	9	12	15	59	41	7
Total Analysis Volume [veh/h]	35	47	59	235	165	29
Pedestrian Volume [ped/h]	0		0		0	

Intersection Settings

Priority Scheme	Stop	Free	Free
Flared Lane	No		
Storage Area [veh]	0	0	0
Two-Stage Gap Acceptance	No		
Number of Storage Spaces in Median	0	0	0

Movement, Approach, & Intersection Results

V/C, Movement V/C Ratio	0.07	0.05	0.04	0.00	0.00	0.00
d_M, Delay for Movement [s/veh]	13.20	9.98	7.70	0.00	0.00	0.00
Movement LOS	B	A	A	A	A	A
95th-Percentile Queue Length [veh/ln]	0.43	0.43	0.13	0.13	0.00	0.00
95th-Percentile Queue Length [ft/ln]	10.80	10.80	3.32	3.32	0.00	0.00
d_A, Approach Delay [s/veh]	11.36		1.55		0.00	
Approach LOS	B		A		A	
d_I, Intersection Delay [s/veh]	2.43					
Intersection LOS	B					

Appendix D 2021 Background Conditions
Worksheets

Intersection Level Of Service Report
Intersection 1: Franklin St. & Russell Dr.

Control Type:	Two-way stop	Delay (sec / veh):	13.8
Analysis Method:	HCM 6th Edition	Level Of Service:	B
Analysis Period:	15 minutes	Volume to Capacity (v/c):	0.082

Intersection Setup

Name	Franklin St.		Russell Dr.		Russell Dr.	
Approach	Southbound		Eastbound		Westbound	
Lane Configuration	↔		↕		↔	
Turning Movement	Left	Right	Left	Thru	Thru	Right
Lane Width [ft]	12.00	12.00	12.00	12.00	12.00	12.00
No. of Lanes in Pocket	0	0	0	0	0	0
Pocket Length [ft]	100.00	100.00	100.00	100.00	100.00	100.00
Speed [mph]	25.00		25.00		25.00	
Grade [%]	0.00		0.00		0.00	
Crosswalk	No		No		No	

Volumes

Name	Franklin St.		Russell Dr.		Russell Dr.	
Base Volume Input [veh/h]	30	40	50	200	140	25
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	2.80	0.00	1.70	0.80	0.00
Growth Factor	1.0150	1.0230	1.0230	1.0230	1.0230	1.0150
In-Process Volume [veh/h]	2	5	8	0	0	3
Site-Generated Trips [veh/h]	0	0	0	0	0	0
Diverted Trips [veh/h]	0	0	0	0	0	0
Pass-by Trips [veh/h]	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0
Total Hourly Volume [veh/h]	32	46	59	205	143	28
Peak Hour Factor	0.8500	0.8500	0.8500	0.8500	0.8500	0.8500
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	9	14	17	60	42	8
Total Analysis Volume [veh/h]	38	54	69	241	168	33
Pedestrian Volume [ped/h]	0		0		0	

Intersection Settings

Priority Scheme	Stop	Free	Free
Flared Lane	No		
Storage Area [veh]	0	0	0
Two-Stage Gap Acceptance	No		
Number of Storage Spaces in Median	0	0	0

Movement, Approach, & Intersection Results

V/C, Movement V/C Ratio	0.08	0.06	0.05	0.00	0.00	0.00
d_M, Delay for Movement [s/veh]	13.75	10.17	7.74	0.00	0.00	0.00
Movement LOS	B	B	A	A	A	A
95th-Percentile Queue Length [veh/ln]	0.51	0.51	0.16	0.16	0.00	0.00
95th-Percentile Queue Length [ft/ln]	12.65	12.65	3.93	3.93	0.00	0.00
d_A, Approach Delay [s/veh]	11.65		1.72		0.00	
Approach LOS	B		A		A	
d_I, Intersection Delay [s/veh]	2.66					
Intersection LOS	B					

Appendix E 2021 Total Traffic Conditions
Worksheets

**Intersection Level Of Service Report
Intersection 1: Franklin St. & Russell Dr.**

Control Type:	Two-way stop	Delay (sec / veh):	15.5
Analysis Method:	HCM 6th Edition	Level Of Service:	C
Analysis Period:	15 minutes	Volume to Capacity (v/c):	0.039

Intersection Setup

Name	Franklin St.			Franklin St.			Russell Dr.			Russell Dr.		
Approach	Northbound			Southbound			Eastbound			Westbound		
Lane Configuration	+			+			+			+		
Turning Movement	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Lane Width [ft]	12.00	12.00	12.00	12.00	12.00	12.00	12.00	12.00	12.00	12.00	12.00	12.00
No. of Lanes in Pocket	0	0	0	0	0	0	0	0	0	0	0	0
Pocket Length [ft]	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
Speed [mph]	25.00			25.00			25.00			25.00		
Grade [%]	0.00			0.00			0.00			0.00		
Crosswalk	No			No			No			No		

Volumes

Name	Franklin St.			Franklin St.			Russell Dr.			Russell Dr.		
Base Volume Input [veh/h]	0	0	0	30	0	40	50	200	0	0	140	25
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	0.00	0.00	0.00	0.00	2.80	0.00	1.70	0.00	0.00	0.80	0.00
Growth Factor	1.0000	1.0000	1.0000	1.0230	1.0000	1.0230	1.0230	1.0230	1.0000	1.0000	1.0230	1.0230
In-Process Volume [veh/h]	0	0	0	3	0	8	5	0	0	0	0	2
Site-Generated Trips [veh/h]	12	3	2	0	5	0	0	0	23	3	0	0
Diverted Trips [veh/h]	0	0	0	0	0	0	0	0	0	0	0	0
Pass-by Trips [veh/h]	0	0	0	0	0	0	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0	0	0	0	0	0	0
Total Hourly Volume [veh/h]	12	3	2	34	5	49	56	205	23	3	143	28
Peak Hour Factor	0.8500	0.8500	0.8500	0.8500	0.8500	0.8500	0.8500	0.8500	0.8500	0.8500	0.8500	0.8500
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	4	1	1	10	1	14	16	60	7	1	42	8
Total Analysis Volume [veh/h]	14	4	2	40	6	58	66	241	27	4	168	33
Pedestrian Volume [ped/h]	0			0			0			0		

Intersection Settings

Priority Scheme	Stop	Stop	Free	Free
Flared Lane	No	No		
Storage Area [veh]	0	0	0	0
Two-Stage Gap Acceptance	No	No		
Number of Storage Spaces in Median	0	0	0	0

Movement, Approach, & Intersection Results

V/C, Movement V/C Ratio	0.04	0.01	0.00	0.10	0.02	0.07	0.05	0.00	0.00	0.00	0.00	0.00
d_M, Delay for Movement [s/veh]	15.52	14.62	10.07	15.31	15.48	10.60	7.73	0.00	0.00	7.76	0.00	0.00
Movement LOS	C	B	B	C	C	B	A	A	A	A	A	A
95th-Percentile Queue Length [veh/ln]	0.16	0.16	0.16	0.66	0.66	0.66	0.15	0.15	0.15	0.01	0.01	0.01
95th-Percentile Queue Length [ft/ln]	4.07	4.07	4.07	16.50	16.50	16.50	3.75	3.75	3.75	0.23	0.23	0.23
d_A, Approach Delay [s/veh]	14.79			12.69			1.53			0.15		
Approach LOS	B			B			A			A		
d_I, Intersection Delay [s/veh]	3.25											
Intersection LOS	C											



Planning Application AR-20-09
Public Comment

From: [Community Development Center](#)
To: [Kelly Hart](#)
Subject: FW: Planning case no: AR-20-09.Code chapters 16.05&16.20
Date: Thursday, July 9, 2020 7:39:49 AM

From: Tdmarvin <tdmarvin@comcast.net>
Sent: Wednesday, July 8, 2020 9:26 PM
To: Community Development Center <cdc@ci.lebanon.or.us>
Subject: Planning case no: AR-20-09.Code chapters 16.05&16.20

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

The property owners concern of this development is the wetlands is all its various wildlife such as deer, raccoons, possums, nutria, ducks, geese and hawks(and others)that call the wetlands home and live there year-round. I realize this is not a real concern to the planners but would be a tragedy to see all this disappear as it is happened so many times in the past! No one is suppose to or have been able to build on wet lands so was wondering what has changed to be able to do so now??? Money talks I guess! Don't know of any other reason for the change!

Our next concern is the drainage issue if building on the property the water needs to go somewhere. We have a considerably high water table!!The water in the wetlands is mostly year around but building in this area could and probably will cause real problems for flooding and the back up of water on the properties of May Lane and Jury Lane these are real concerns and hope will not be taken lightly! would think there is a lot more suitable building sites than wiping out wetlands!!!! Knowing that nothing could be built there is one of the reason we bought here!

Please take into consideration the property owners of this area before you decide on this issue thank you for your time. Terry and Debbie Marvin property owners on May Lane

Sent from my iPhone



Planning Application AR-20-09
Public Rebuttal Comments

The property owners concern of this development is the wetlands is all its various wildlife such as deer, raccoons, possums, nutria, ducks, geese and hawks(and others)that call the wetlands home and live there year-round. I realize this is not a real concern to the planners but would be a tragedy to see all this disappear as it is happened so many times in the past! No one is suppose to or have been able to build on wet lands so was wondering what has changed to be able to do so now??? Money talks I guess! Don't know of any other reason for the change!

Our next concern is the drainage issue if building on the property the water needs to go somewhere. We have a considerably high water table!!The water in the wetlands is mostly year around but building in this area could and probably will cause real problems for flooding and the back up of water on the properties of May Lane and Jury Lane these are real concerns and hope will not be taken lightly! would think there is a lot more suitable building sites than wiping out wetlands!!!! Knowing that nothing could be built there is one of the reason we bought here!

Please take into consideration the property owners of this area before you decide on this issue thank you for your time. Terry and Debbie Marvin property owners on May Lane

Responses:

The proposed development is affecting approximately 3.79 acres of upland in a 7.43 acre tract of property. The 3.64 acres of land that is being preserved in its natural state includes all of the wetlands that were delineated. This preserved land is not being altered and will remain as habitat for the wildlife.

The proposed development will include an engineered storm drainage system. The system will include flow control to limit run-off rates to that of pre-developed conditions and include onsite storm water detention as required by the current City of Lebanon standards. The engineered storm drainage system will account for expected high ground water conditions in the winter months and upstream property run-off that currently surface drains onto the subject property. The proposed development will not cause adverse effects to the upstream or downstream properties.

AGENDA ITEM

4.c.





925 S. Main Street
Lebanon, Oregon 97355

TEL: 541.258.4906
cdc@ci.lebanon.or.us
www.ci.lebanon.or.us

MEMORANDUM

Community Development

To: Chairman Salvage and Planning Commission
From: Kelly Hart, Community Development Director
Subject: Conditional Use Permit Application, File No. CU-20-02

Date: August , 2019

I. INTRODUCTION

The subject property is located at 115 W. Airport Road within the Residential Mixed Density (Z-RM) zone. In 2002, the site was developed with a commercial storage structure, and designed for the commercial operation of a drive-through coffee stand. The coffee stand was a movable structure, but the site design and permanent improvements were specific to the commercial use. As the zone in which the site is located is residential, the site was designated as legal non-conforming for the site improvements and the previous use for the drive-through aspect. Section 16.30.020 of the LDC provides options for the continuation of a nonconforming use. More specifically, Section 16.30.020.D states, a nonconforming structure reasonably capable of use only for a nonconforming industrial or commercial use may be re-established, changed, altered, or expanded as a Conditional Use.

The applicant is requesting the Planning Commission consideration of a Conditional Use Permit to re-establish a commercial use within the subject property as authorized under Section 16.30.020.D of the LDC.

II. CURRENT REPORT

Location and Surrounding Uses – The subject property is located on the north side of Airport Road, West of Hwy 20 and the Rife's Furniture Store. The subject property is zoned Residential Mixed Density (Z-RM), and the properties to the west are also zoned Z-RM and include single family residences. To the north and east is the Rife's Furniture Store in the Highway Commercial Zone (Z-HCM). To the south, are properties in the Z-RM zone and include a single-family residence and a religious institution.

Property Condition – The subject property is currently developed for commercial operation of a drive-through nature. The existing improvements include a paved drive aisle circling around a landscaped area, with a paved area to place a small structure for service of the business. The perimeter of the site is improved with landscaping. Two parking stalls are currently provided, one in the southwest corner, and one in front of the existing commercial garage/storage building in the northeast corner of the site. The previous operation was for a drive-through coffee cart.

In 2002, the City approved the development of the residentially zoned property for commercial purposes, including commercial site improvements, specific to a drive-through operation, with a commercial storage structure on-site. The use approved was for a coffee cart to operate as a long-term use, and not under the temporary use permit regulations. As the original approval was for approval of the coffee cart, which is a temporary structure, the site improvements constitute the permanent structure of the site, and unless fully demolished, is not designed to accommodate a residential use. The current operation requesting approval of the conditional use permit is a coffee cart, the new proposed use is consistent with the previously approved 2002 application. As the new use would not result in an increase in parking from the previous operation, there is no additional parking required above the existing condition. Modifications to the existing on-site parking may be required to accommodate ADA regulations.

Conditional Use Permit Requirements – Chapter 16.21 establishes the requirements for review and consideration of a conditional use permit. Section 16.21.050.A identifies that a Public Facilities and Services Impact Study shall be provided, and the scope of the study shall be identified by the City. In addition, a Traffic Impact Analysis shall be provided if required by the City Engineer. In consultation with the City Engineer, as the site is an existing condition, and the proposed operation is consistent in scope of the previous operations, no scope of analysis was identified as necessary for the Public Facilities and Services Impact Study, and a Traffic Impact Analysis would not be necessary.

Section 16.21.050.B identifies additional submittal requirements for a conditional use permit as determined applicable by the Planning Official. These items include a site analysis map, proposed development site plan, transportation elements, architectural drawings, grading plans, landscape plans, signage detail drawings, phasing plans, etc. As this application includes no proposed development or site change, these submittal requirements were deemed inapplicable.

Decision Criteria – Section 16.21.060 of the LDC identifies the decision criteria for conditional use permits, specifically:

1. The application complies with all the applicable provisions of the underlying Land Use Zones, including: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other special standards as may be required for certain land uses.

The project scope does not include modification to the existing physical characteristics. The subject site and existing building is categorized as a legal non-conforming structure in compliance with Chapter 16.30. Section 16.30.020.D states, a non-conforming structure reasonably capable of use only for a non-conforming industrial or commercial use may be re-established....subject to a Conditional Use Permit. The site is designed and constructed for commercial purposes, specifically a drive-through kiosk or cart operation. The design and character of the site is commercial in nature, including commercial grade driveway, improved commercial surfaces and traffic circulation specifically designed for a drive-through facility, and commercial parking spaces, along with the commercial garage with no residential improvements. All existing improvements meet the development standards for a commercial operation in terms of setbacks, lot

coverage, building heights and other development standards for a commercial use as identified in the development code.

2. The site size, dimensions, location, topography and access are adequate for the needs of the proposed use, considering the proposed building mass, parking, traffic, noise, vibration, exhaust/emissions, light, glare, erosion, odor, dust visibility, safety, and aesthetic considerations.

The existing site configuration is designed for the operation of a drive-through kiosk or cart. Access to the site is from a single commercial grade driveway on the eastern portion of the site. An internal driveway is designed in a loop pattern to allow for vehicle stacking on the property before a customer places an order at the coffee cart, then drives along the loop to exit back on the street from the same drive entrance. The drive circulation is designed to allow for vehicle stacking on both sides of the loop, with two service windows. This would allow approximately nine vehicles to stack within the property. The driveway is approximately 25-feet in width, providing enough width to allow two-way traffic in the same driveway. Surrounding the internal drive aisle is landscaping and a pedestrian path of travel to provide ADA access from the public street to the commercial building. The landscaping provides a noise buffer from the surrounding uses, and a quality aesthetic. All commercial lighting to illuminate the drive aisle, per the development code, is required to be oriented away from neighboring properties. Based on the existing design, and consistent use proposal from previous operations, the site configuration and use would be compatible.

3. The negative impacts of the proposed use on adjacent properties and on the public can be mitigated through application of other Code standards, or other reasonable conditions of approval.

Anticipated impacts for the proposed use would be similar to commercial activities such as parking, loading activities, and light and noise from a commercial site. The uses in the general vicinity are adjacent to existing commercial activity from the Rife's Furniture store and other commercial centers near the intersection of Airport Road and Highway 20. For the subject site, the operation is consistent with the previously approved commercial activity in 2002. The operation of a drive-through coffee cart involves the allowance of customers vehicles on-site for the short-term occupancy of the site while their order is being processed. The site is not designed or intended for on-site consumption of the products purchased, or for patrons to congregate. As such, the noise associated with the business would be related to the idling of vehicles in the queue, and the intermittent commercial deliveries. These noise activities already occur in the area, and the scope of operation is not anticipated to increase the ambient noise levels. Application of landscaping to provide a buffer to the surrounding areas, as already established is anticipated to address any negative impact associated to noise. There are existing code standards regarding light glare that would be applied to ensure any commercial lighting is oriented away from the residential property to the west. For traffic impacts, the site was previously operated as a commercial use, and the nature of the business and size of the property do not increase the existing traffic volumes on Airport Road to a noticeable level, therefore the traffic would not constitute a negative impact.

4. All required public facilities have adequate capacity to serve the proposal.

The site has been serviced by all public facilities and the applicant operations would not result in an increased demand on facilities as the proposed use is a re-establishment of the previous use on the site. Connection to electricity, sewer and water will be required for the permanent operation of the coffee cart on the subject site.

5. Existing conditions of approval required as part of a prior land use decision shall be met.

In 2002, the City approved an Administrative Review for the establishment of the site for a drive-through coffee cart use, including on-site improvements. This use is subject to the conditions set for in Planning Application No. AR-02-04

6. The applicant shall be required to upgrade an existing development that does not comply with the applicable land use district standards, in conformance with Chapter 16.30, Non-Conforming Uses and Development.

The existing development is identified as a non-conforming site in conformance with Chapter 16.30 of the LDC. Section 16.30.020.D identifies an existing structure reasonably capable of use for a nonconforming commercial use may be re-established subject to approval of a conditional use permit. The existing commercial storage building, and the site configuration and improvements have been specifically designed for commercial use. With the current configuration of the site, no residential use would be capable of being established, without demolishing all existing improvements. Although there is no structure directly associated with the site, all site improvements are specifically designed for the commercial operation of a drive-through kiosk. Any commercial activity other than a drive-through operation as previously approved would require significant modification to the site. As the proposal is to re-establish the same business operations as approved in 2002, and utilize the same commercial site configuration, in compliance with Chapter 16.30, no upgrades to the existing development would be required.

7. Existing Uses: In the case of an use existing prior to the effective date of this ordinance and classified in this Code as requiring a Conditional Use Hearing, a change in use, or in lot area or an alteration or enlargement of a structure shall conform to the requirements for Conditional Use review.

This original use was established in 2002 through Planning Department approval of an Administrative Review, prior to the current development code. With the adoption of the new code, the use became non-conforming for the drive-through operation. Based on the re-establishment of a non-conforming use, the operation is subject to Conditional Use review.

8. The application complies with all of the Community Development Standards in LDC Chapters 16.12-16.19.

The application does not include any site modifications from the existing site configuration. Access to the site is gained from an existing drive cut on W. Airport Road, which is a fully improved street including sidewalks. Per Section 16.14.020.F.1, the proposed use maintains the same parking demand as the previous use, therefore, no additional parking is triggered. There is no development proposal associated with the application, and the existing site improvements meet the standards for circulation and landscaping. All public

facilities are provided, and the site is fully serviced. The business operations would not result in an increase in facility use that would trigger expansion of public facilities to the site as the proposed operations are identical to the previous operations. No signage is proposed as part of the application. If signage is proposed in the future, the business would be subject to a building permit and complying with Chapter 16.18. Finally, there is no development proposed as part of this application that would trigger requirements in Chapter 16.19.

III. RECOMMENDATION

1. Evaluate the public testimony and the record established before the Planning Commission
2. Commission options:
 1. Approve the proposed Conditional Use Permit (CU-20-02) re-establishing the legal nonconforming operation of a drive-through coffee cart business, adopting the written findings for the decision criteria contained in the staff report with the conditions of development; or
 2. Approve the proposed Conditional Use Permit (CU-20-02), adopting modified findings for the decision criteria and conditions of development; or
 3. Deny the proposed Conditional Use Permit (CU-20-02) re-establishing the legal nonconforming operation of a drive-through coffee cart business, specifying reasons why the proposal fails to comply with the decision criteria; and
 4. Direct staff to prepare a Planning Commission Order for the Chair or Vice Chair's signature incorporating the adopted findings as approved by the Planning Commission.



NOTICE OF VIRTUAL PUBLIC HEARING LEBANON PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that a public hearing will be held before the Lebanon Planning Commission on **August 19, 2020 at 6:00 p.m.** through a virtual (online) meeting to afford interested persons and the general public an opportunity to be heard and give testimony concerning the following matter:

Planning Case No.:	CU-20-02
Applicant:	North Santiam Coffee Company
Location:	115 Airport Road
Map & Tax Lot No.:	12S02W15
Request:	Annexation
Decision Criteria:	Lebanon Development Code Chapters: 16.06, 16.20, 16.21 & 16.30

Request: The applicant is requesting approval of a Conditional Use Permit to operate a drive-thru food and beverage facility.

Virtual Meeting: Due to the COVID-19 pandemic, the City will be hosting a virtual Planning Commission meeting and will not hold a live meeting at the Santiam Travel Station as authorized under the Governor’s Executive Order 20-16 and in compliance with Oregon Public Meeting Laws.

The public is invited to watch the meeting online through the City of Lebanon’s YouTube page at <https://www.youtube.com/watch?v=SdTkiK6hebY> on August 19, 2020. The City of Lebanon thanks you for your support in slowing the spread of COVID-19 by attending this public meeting digitally.

The Agenda and application materials will be available for review on the City’s website at <https://www.ci.lebanon.or.us/meetings> seven days prior to the hearing.



Providing Comments: The City will be accepting public comment on this item in a number of ways to afford interested persons and the general public an opportunity to give testimony on the subject matter. Written and verbal testimony will be accepted upon issuance of this notice, **until 5:00pm on Wednesday, August 19, 2020.** Written testimony may be emailed to khart@ci.lebanon.or.us or may be mailed to the City at 925 S. Main Street, Lebanon, OR 97355, or delivered to the City and dropped in the white mailbox in front of City Hall. For verbal testimony, a recording may be provided to the City, or you may call (541) 258-4252 and leave a voice message. Those wanting to give public comments for the application’s public hearing during the electronic meeting should contact Kelly Hart, the Community Development Director, at khart@ci.lebanon.or.us for the Zoom meeting link prior to **5:00 p.m. on August 19, 2020.**

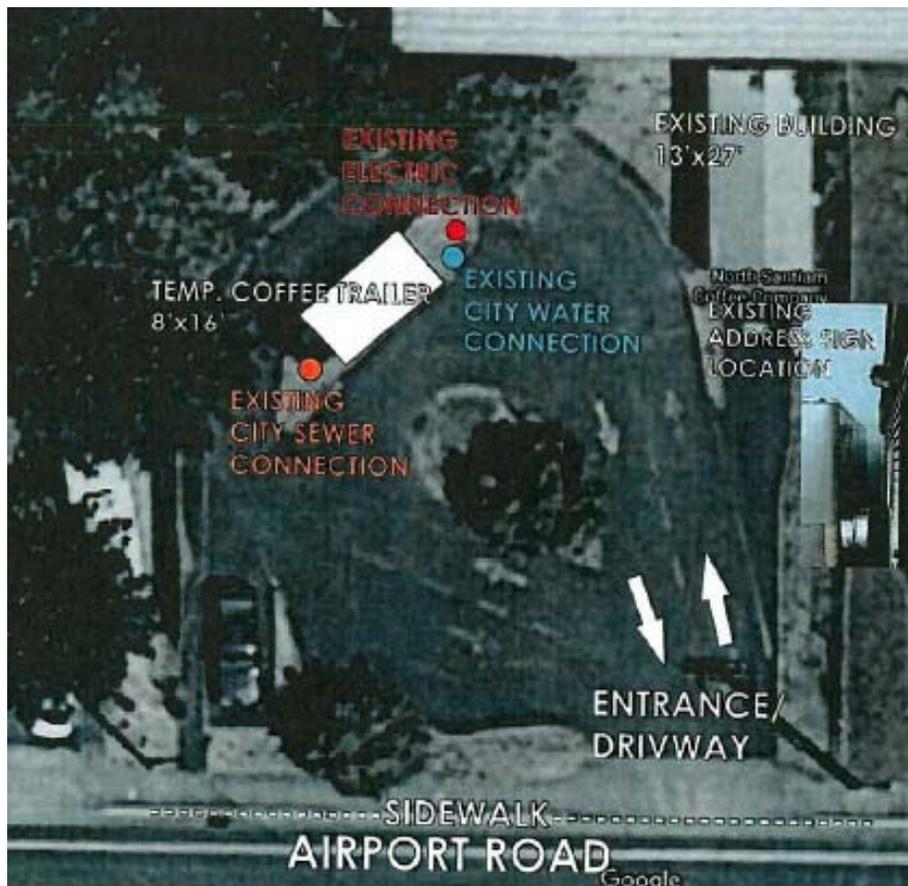
CITIZENS ARE INVITED TO PARTICIPATE in the public hearing and give written or oral testimony as described above that address applicable decision criteria during that part of the hearing process designated for testimony in favor of, or opposition to, the proposal. If additional documents or

evidence are provided in support of the application subsequent to notice being sent, a party may, prior to the close of the hearing, request that the record remain open for at least seven days so such material may be reviewed.

Appeals: Failure to raise an issue in the hearings, in person or by letter, or failure to provide sufficient specificity to afford the decision makers an opportunity to respond to the issue precludes appeal to the Land Use Board of Appeals based on that issue. Decisions of the Planning Commission may be appealed to the Lebanon City Council within 15 days following the date the Commission's final written decision is mailed. Only the applicant, a party providing testimony, and/or a person who requests a copy of the decision has rights to appeal a land use decision. The appeal must be submitted on the appeals form as prescribed by City Council with appropriate fee paid and must set forth the criteria issues that were raised which the applicant or party deems itself aggrieved. Please contact our office should you have any questions about our appeals process.

Obtain Information: A copy of the application, all documents and evidence relied upon by the applicant, and applicable criteria are available for inspection at no cost and will be provided at the cost of 25 cents per single-sided page. If you have questions or would like additional information, please contact City of Lebanon Community Development Department, 925 Main Street; phone 541-258-4906; email cdc@ci.lebanon.or.us.

The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for persons with disabilities should be made at least 48 hours before the meeting to 541-258-4906.





LAND USE APPLICATION

PROPERTY INFORMATION

Site Address(es): 115 S Airport Road

Assessor's Map & Tax Lot No.(s): 12502W15A00100

Comprehensive Plan Designation / Zoning Designation:

Current Property Use:

Project Description: move coffee kiosk trailer to property

APPLICANT / PRIMARY CONTACT INFORMATION

Applicant: Roger Harvey

Phone: 541 401 1835

Address: 115 S Airport Road

Email: harveydeprimer@hotmail.com

City/State/Zip: Lebanon OR 97355

I hereby certify that the statements, attachments, exhibits, plot plan and other information submitted as a part of this application are true; that the proposed land use activity does not violate State and/or Federal Law, or any covenants, conditions and restrictions associated with the subject property; and, any approval granted based on this information may be revoked if it is found that such statements are false.

APPLICANT SIGNATURE

Date: 7/1/2020

PROPERTY OWNER INFORMATION (IF DIFFERENT THAN ABOVE)

Owner:

Phone:

Address:

Email:

City/State/Zip:

OWNER SIGNATURE

Date:

ADDITIONAL CONTACT INFORMATION

Engineer / Surveyor:

N/A

Phone:

Address:

Email:

City/State/Zip:

Architect:

N/A

Phone:

Address:

Email:

City/State/Zip:

Other:

N/A

Phone:

Address:

Email:

City/State/Zip:

THE CITY THAT FRIENDLINESS BUILT

AR. 20.10

July 10, 2020

LINN County Assessor's Summary Report

Real Property Assessment Report

FOR ASSESSMENT YEAR 2019

February 24, 2020 8:07:57 am

Account # 202867
 Map # 12S02W15AD 01100
 Code - Tax # 00905-202867

Tax Status ASSESSABLE
 Acct Status ACTIVE
 Subtype NORMAL

Legal Descr See Record
 Mailing Name HARVEY ROGER L & DEBRA K
 Agent
 In Care Of
 Mailing Address 29852 BARTELS CREEK DR
 LEBANON, OR 97355-9519

Deed Reference # See Record
 Sales Date/Price See Record
 Appraiser UNKNOWN

Prop Class 101 MA SA NH Unit
 RMV Class 101 03 02 001 19260-1

Situs Address(s)	Situs City
ID# 1 115 S AIRPORT RD	LEBANON

Code Area	RMV	MAV	Value Summary		RMV Exception	CPR %
			AV			
00905 Land	65,040				Land	0
Impr.	36,410				Impr.	0
Code Area Total	101,450	80,250	80,250			0
Grand Total	101,450	80,250	80,250			0

Code Area	ID#	RFPD	Ex	Plan Zone	Value Source	Land Breakdown		Size	Land Class	Trended RMV
						TD%	LS			
00905					CITY OSD - AVERAGE	100				15,000
00905					LANDSCAPE - FAIR	100				3,000
00905	1	<input checked="" type="checkbox"/>			Market	112	A	0.19		47,040
Grand Total								0.19		65,040

Code Area	ID#	Yr Built	Stat Class	Description	Improvement Breakdown		Total Sq. Ft.	Ex% MS Acct #	Trended RMV
					TD%				
00905	102	0	110	Residential Other Improvements	135		0		16,080
00905	101	0	110	Residential Other Improvements	135		351		20,320
Grand Total							351		36,410

Comments: ***** CAP NOTE - Type C *****
 Permit to demo res
 2003MX: IMPS STILL THERE 1/1/03. NO CHANGE. 9/3/03 JLS.
 2004MX: IMPS IN WRONG CODE SINCE 1994. CORRECTION MADE. 10/31/03 JLS.
 2004MX: COFFEE BUSINESS ON SITE. 2/17/04 JLS.
 9/22/04 Hse torn down & asphalt & curbing added for 1/04. Est coffee business started after 1/04. Zoning still res, left alone to be treated like adjacent lots to the west. ML 1/06 Listed 199,900 w/business.

***** CAP NOTE - Type J *****
 EV2004-394: VALUE CORRECTION FOR 2004 DS 10/8/04
 EV2008-80: LEBANON URBAN RENEWAL DISTRICT DISSOLVED EFFECTIVE 6/13/07.
 URBAN RENEWAL TAXES NOT COLLECTED FOR 2007. MAPS WORKED FOR 2008. PORTION IN TAXCODE 9-15 GONE TO 9-5. 2/22/08 JLS.

***** CAP NOTE - Type R *****
 Permit to demo res
 2003MX: IMPS STILL THERE 1/1/03. NO CHANGE. 9/3/03 JLS.
 2004MX: IMPS IN WRONG CODE SINCE 1994. CORRECTION MADE. 10/31/03 JLS.
 2004MX: TO COMMERCIAL USE. 2004MX C NOTE MADE. 2/04 JLS.
 2007MX: CORE NBRHD CREATED. NO VALUE CHANGE. 8/9/07 JLS



Parcel Information

Parcel #:	0202867
Tax Lot:	12S02W15AD01100
Site Address:	115 S Airport Rd Lebanon OR 97355 - 3004
Owner:	Harvey, Roger L Harvey, Debra K 29852 Bartels Creek Dr Lebanon OR 97355
Twn/Range/Section:	12S / 02W / 15 / NE
Parcel Size:	0.19 Acres (8,276 SqFt)
Lot:	
Census Tract/Block:	030903 / 1041
Levy Code Area:	00905
Levy Rate:	20.8827
Market Value Land:	\$65,040.00
Market Value Impr:	\$36,410.00
Market Value Total:	\$101,450.00
Assessed Value:	\$80,250.00



Tax Information

Tax Year	Annual Tax
2019	\$1,635.93
2018	\$1,515.37
2017	\$1,340.88

Legal

Land

Land Use:	101 - RESIDENTIAL IMPROVED
Watershed:	Hamilton Creek-South Santiam River
Recreation:	
Primary School:	Cascades School
High School:	Lebanon High School

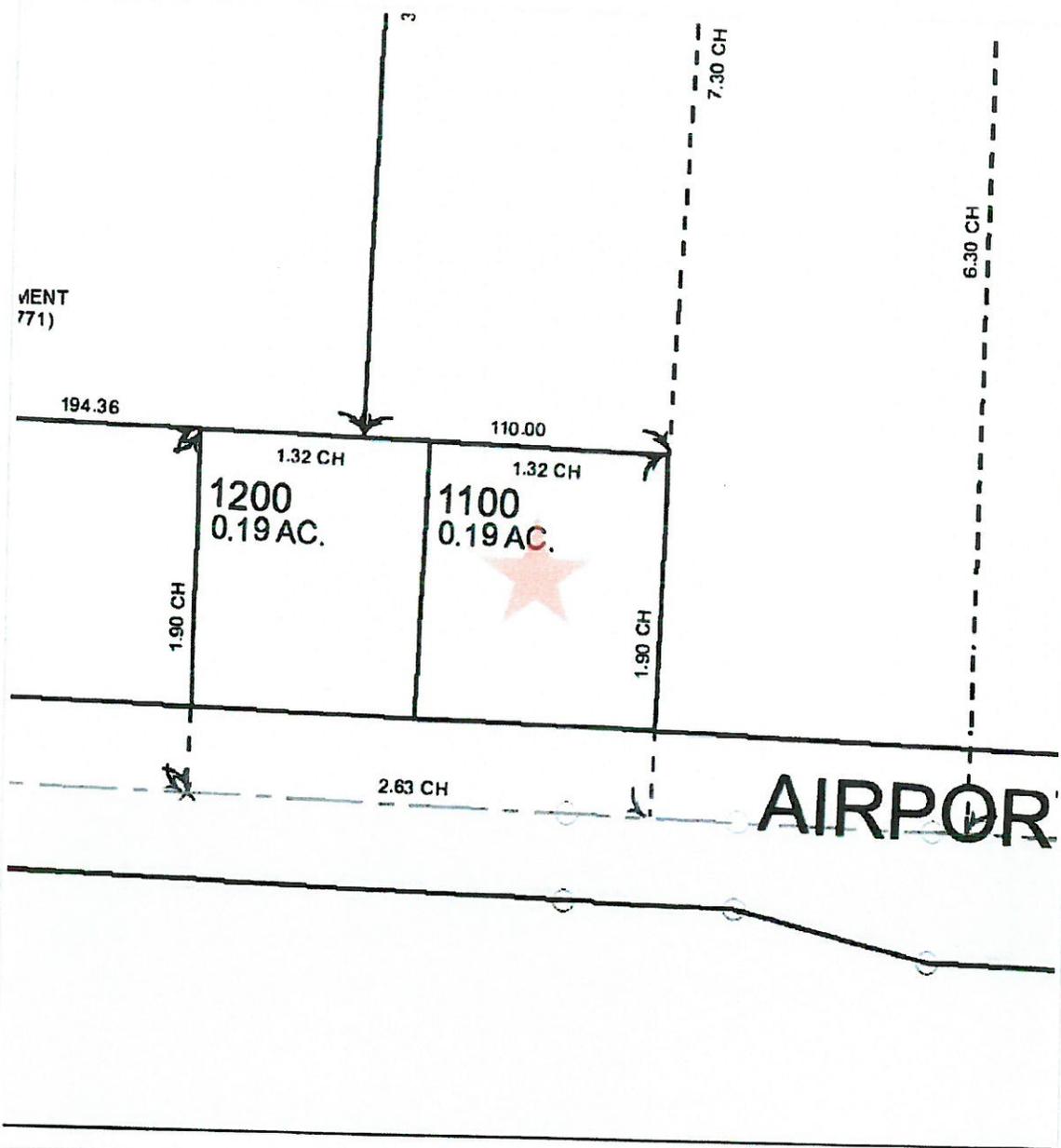
Zoning:	Lebanon-RM - Residential Medium Density
Std Land Use:	RSFR - Single Family Residence
School District:	925 - Lebanon
Middle School:	Seven Oak Middle School

Improvement

Year Built:	Stories:	Finished Area:	351 SqFt
Bedrooms:	Bathrooms:	Pool:	
Bldg Type:	110 - Residential Other Improvements		

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

Assessor Map



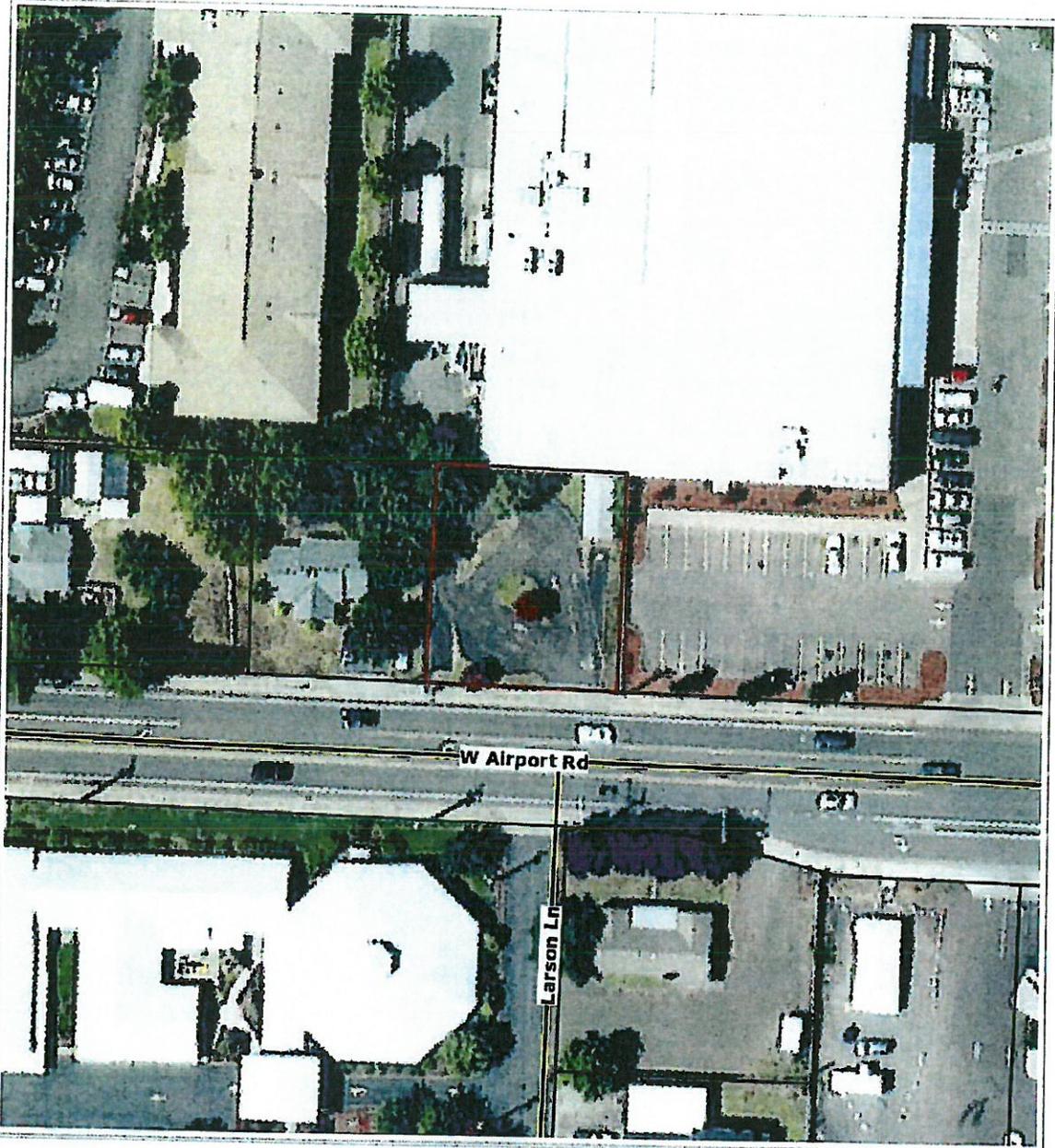
TICOR TITLE™

Parcel ID: 0202867

Site Address: 115 S Airport Rd

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

Aerial Map

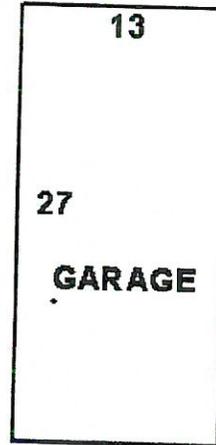


TICOR TITLE™

Parcel ID: 0202867

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

BUILDING DIAGRAM AND OUTBUILDINGS



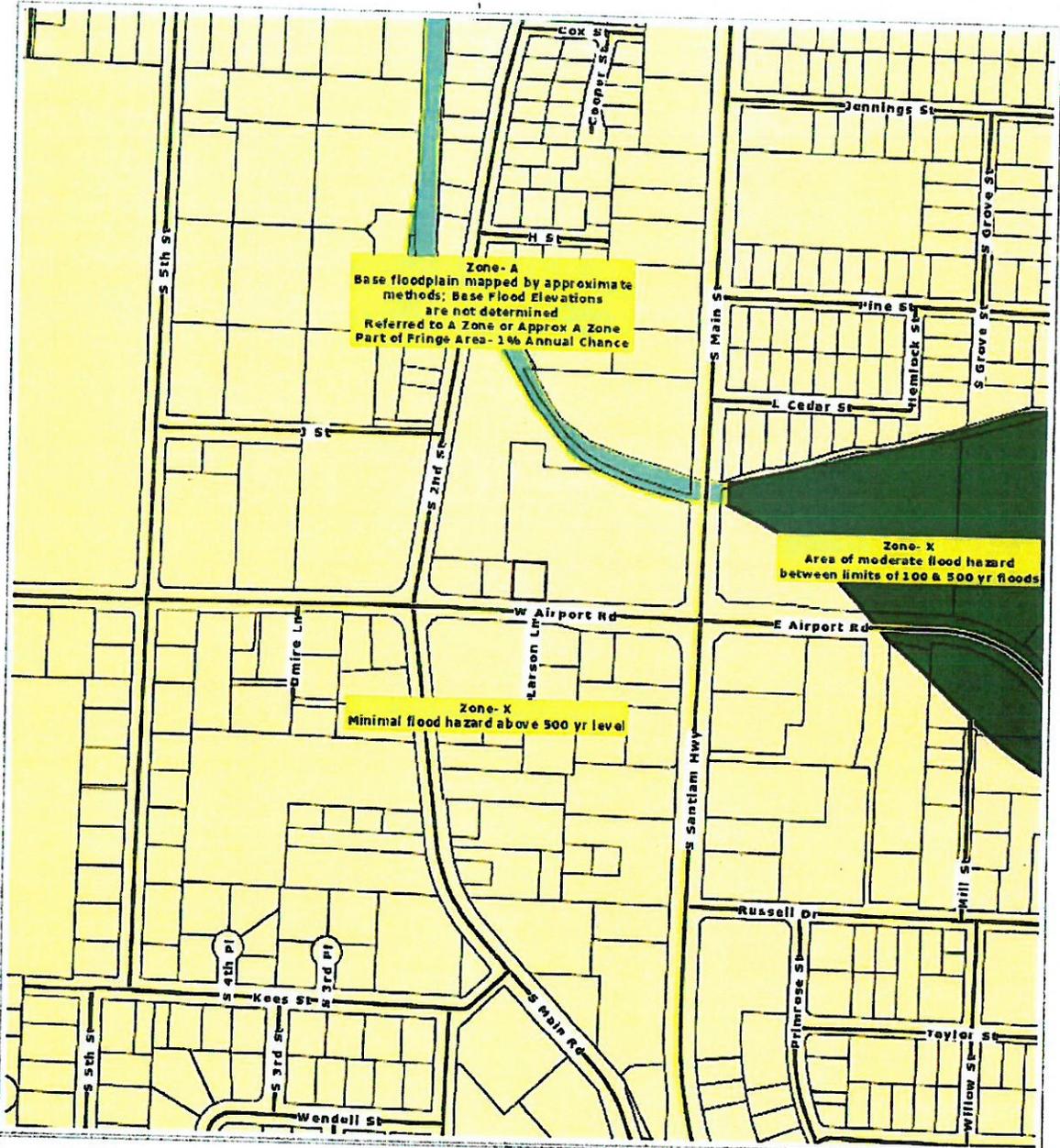
115 AIRPORT RD

Appraiser Date

Bldg Description
1 GARAGE

SqFt Dimension
351

Flood Map



TICOR TITLE™

Parcel ID: 0202867
Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

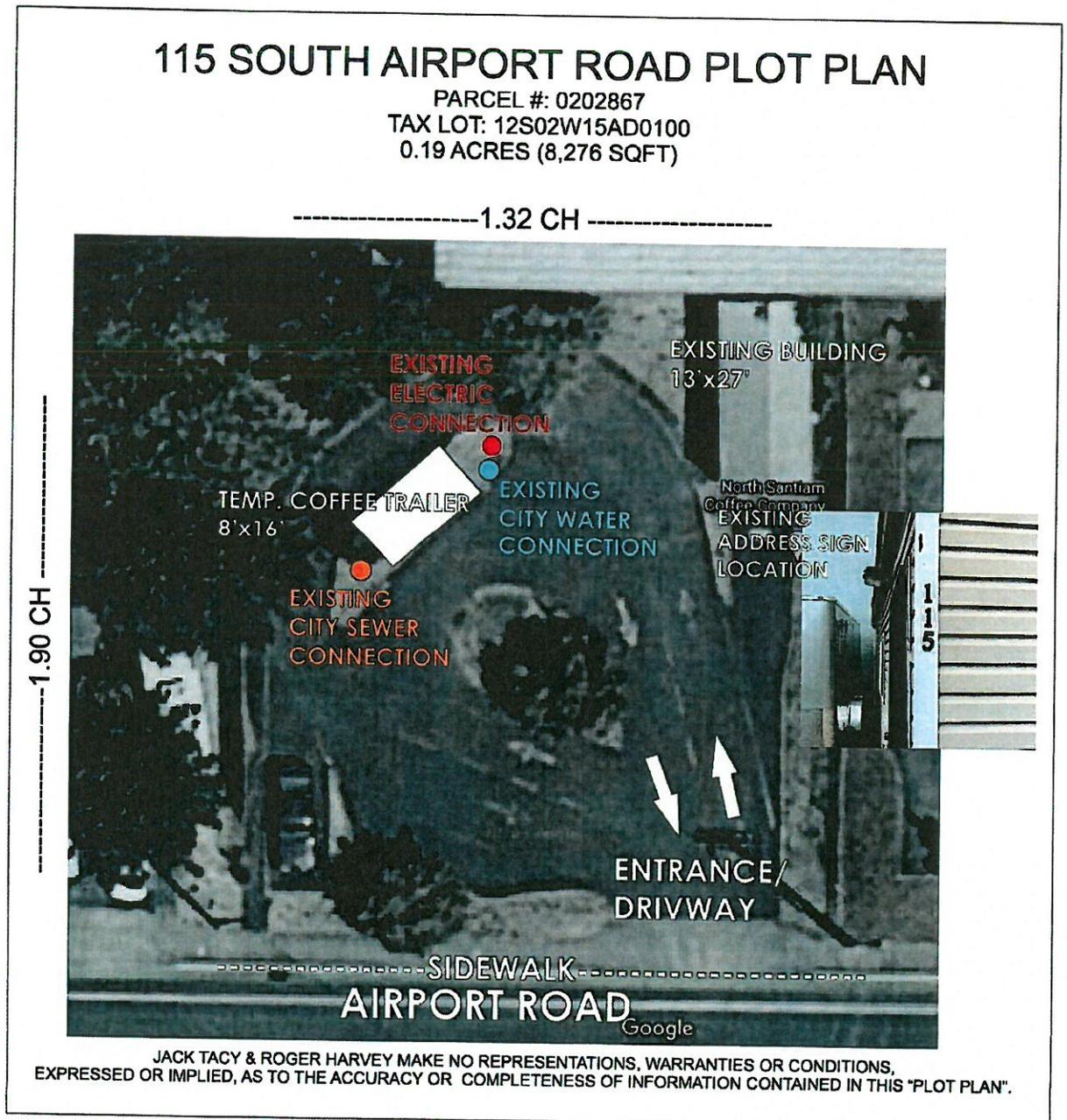
115 S. Airport Rd
Building Permit Application
7/1/2020

REQUESTED BY SHAWN EATON FOR BUILDING PERMIT APPLICATION:

1. "A plot plan: shows street, sidewalk, entrance/driveway/arrows, the placement of the building, ADA parking space (if applicable) address sign/location (planning)"
2. "Description of what type of connection frame to concrete pads, siding/skirting used, etc. Handrails (both sides)"
3. "Describe: sewer discharge, water source, electrical supply"
4. "How do you cook "biscuits/gravy"

REPONSES FROM BUILDING PERMIT APPLICANT:

1.



2. 8 ft. x 16 ft. single axle temporary trailer rests with wheels on ground with temporary set 11-1/2 in. x 8 in. x 11-1/2 in. concrete blocks for support in front of trailer, middle of trailer near axle and end of trailer. The siding of the building was existing on the trailer; new trim and paint have been applied. The skirting consists of 2 – 16 ft. x 20 in. OSB panels on the sides of the trailer and 2 – 8 ft. x 20 in. OSB panels in front and rear of trailer. These temporary panels will be covered in a “decorative metal”. The temporary panels have been attached to the trailer via flat tie brackets with wood screws. The temporary and unattached steps for the trailer do have 1 left handrail, can add the right handrail if needed. The steps reach a maximum height of 24 in.

3. The grey water “discharge” (from 2 sinks) from the trailer is connected to the existing permitted and approved city sewer connection under where the trailer rests. The fresh water source for the trailer derives from 2 internal 30 gal tanks that are inside of the trailer (one on left and one on right side inside trailer above axle) that are filled as needed by the existing permitted and approved city water connection under where the trailer rests via an on/off valve (such as a garden hose connection) The electrical supply to the trailer is plugged into an existing permitted and approved 50 amp plug under where the trailer rests. Trailer has male end and existing electric supply plug has female end (such as an extension cord connection).

4. We are currently not offering our biscuits and gravy currently due to COVID-19 pandemic. We stopped serving them on March 19th, 2020 at approximately 11am. However, we did cook them by means of a microwave and toaster oven. We do plan to bring them back in the future.



CITY OF LEBANON
925 MAIN STREET
LEBANON, OREGON 97355-3200
FAX: (541) 451-1260

**CITY OF LEBANON - PLANNING DEPARTMENT
NOTICE OF DECISION – PRELIMINARY APPROVAL
ADMINISTRATIVE REVIEW**

Date: April 16, 2003
Case No: AR-02-04
Applicant: Roger and Debra Harvey
Subject Property: 115 S. Airport Road
Assessor's Map 12-2W-15AD, Tax Lot 1100
REQUEST: Administrative Review - Establishment of a drive-up espresso stand

The above-captioned request has been approved with the following conditions:

1. Obtain a Linn County food handlers license and comply with all relevant conditions including the provision of an on-site restroom or establishing an agreement with a nearby business to provide such a facility.
2. Provide a stamped, professional quality engineered site plan prepared by an Oregon licensed engineer. The site plan shall represent the entire site and shall include: paving, drainage, private utility connections, existing and proposed elevation of the subject property and adjacent properties, parking and vehicle maneuvering areas (including typical parking space dimensions, drive lane widths, turn radius, road approach widths, etc.), landscape areas, truck and customer delivery and loading areas, all existing and proposed improvements, setbacks, pedestrian access, etc. Provide at least 3 paved employee parking spaces. All parking lot improvements must comply with Zoning Ordinance Section 5.200. **THE ENGINEERED SITE PLAN MUST REFLECT THE SITE DESIGN RECOMMENDATIONS OF THE TRAFFIC STUDY.**
3. All structural improvements and building occupancies must comply with building code- obtain required permits. It is uncertain whether or not the 14'X 27' structure in the northeast corner can be successfully converted to a code complying commercial structure- contact the Lebanon Building Official for additional information.
4. For areas proposed to be landscaped, submit a professional quality landscape plan that demonstrates compliance with the vegetation height

ACCOUNTS PAYABLE	451-7476	CIP PROJECTS OFFICE	451-7441	PLANNING	451-7435
ADMINISTRATION	451-7421	ENGINEERING	451-7433	PUBLIC WORKS	451-7437
BUILDING	451-7431	FINANCE	451-7474	WATER/SEWER BILLING	451-7471

restrictions in the clear vision area and Lebanon Zoning Ordinance Section 5.120.

5. Obtain a right-of-way permit for any driveway, road approach or sidewalk work in the public right-of-way.
6. Obtain the appropriate and required permits for city utility hook-ups (if needed).
7. Surface storm water is not permitted to run from driveways over public sidewalks. Demonstrate that the surface storm water from the proposed driveways will not drain over the sidewalks.
8. Verify the dimensions of the parcel.
9. A sight-obscuring fence, wall or hedge shall be installed along the west property line as required and in conformance with Lebanon Zoning Ordinance Section 5.200(1)(g).
10. If any on-site lighting is proposed, provide an illumination or photometric plan that delineates the area of illumination and demonstrates that such lighting does not shine or glare on to adjacent properties or the street.
11. Identify, on the engineered site plan, pedestrian access to the proposed walk up window. Assure that pedestrian access is separated from and does not conflict with vehicular access. Provide a trash receptacle near the public sidewalk along the pedestrian access.

This action is final unless appealed to the Lebanon Planning Commission within fifteen (15) calendar days from the date of this notice. Approval shall be void one (1) year following date of approval unless proposed use/occupancy has commenced. If you have any questions, please contact the Lebanon Planning Department at (541) 451-7425.

Sincerely,



Douglas S. Parker
Community Development Manager

c: Development Review Team
Louise Shepherd, 165 Airport Road, Lebanon
Ralph Garcia via Fax [541. 988.4970]

AGENDA ITEM

4.d.





925 S. Main Street
Lebanon, Oregon 97355

TEL: 541.258.4906
cdc@ci.lebanon.or.us
www.ci.lebanon.or.us

MEMORANDUM

Community Development

To: Lebanon Planning Commission
From: Kelly Hart, Community Development Director
Subject: Planning File No. A-20-05

Date: August 12, 2020

I. BACKGROUND

Under consideration is the proposed annexation of the property, 2120 Stoltz Hill Road (12S 02W 15CA, tax lots 100 and 200), located on the west side of Stoltz Hill north of Antioch Street. The subject properties are a combined 0.72 acres in size, with approximately 107 feet of street frontage along Stoltz Hill Road. The portion of Stoltz Hill Road along the frontage of the subject properties would also be annexed as part of the proposal. Properties to the south and west, including the public right-of-way is located within city limits; therefore, the site is contiguous to city boundary limits and is eligible for annexation.

The property is located in a developed residential neighborhood. To the south and west are residential properties within the City limits with a zoning designation of Residential Mixed-Density (Z-RM). To the north and east are residential properties in the county unincorporated area, within the City's Urban Growth Boundary (UGB) with a Comprehensive Plan designation of Residential Mixed-Density (C-RM).

The subject properties are improved with an existing single-family residence and a detached garage structure. City water, sewer, and storm drainage is available in Stoltz Hill Road, directly to the south of the subject properties. Upon annexation, the Applicant intends to extend city utility services across the length of the property. There is no development proposed with the application.

II. CURRENT REPORT

The Comprehensive Plan Designation for the site is Residential Mixed Density (C-RM). Per Table 16.26-1 in Section 16.24.040 of the Lebanon Development Code (LDC), the designated zoning classification for the site would be Residential Mixed Density (Z-RM). The Applicant has indicated acceptance of the zoning designation of Z-RM and is not proposing a Comprehensive Plan Map Amendment.

In accordance with Section 16.24.040 of the LDC, anticipated urban densities (according to the automatic City Zoning assignment upon annexation) within the Urban Growth Area are already accounted for in the City's Facilities Plans, including the Transportation System Plan. Annexation of the land in the Urban Growth Area is already factored into the City's Facility Plans, and no revisions of those plans are necessitated when, following annexation, an area is

assigned the zoning classification that is in accordance with the adopted Comprehensive Plan Map designation. As the Applicant is proposing to accept the automatic zoning designation of Residential Mixed Use, no further analysis of modification to the Facility or Transportation Plan is necessary.

III. REVIEW CRITERIA AND RECOMMENDED FINDINGS

The subject property is located within the City's Urban Growth Boundary (UGB) and is eligible for annexation into the City limits. Annexation application and review requirements are contained in Chapter 16.26 of the Lebanon Development Code. Annexations require a hearing before the Planning Commission and City Council. The purpose of the Commission hearing is to review the request and recommend whether the Council should approve or deny the Annexation.

Section 16.26.060 contains the decision criteria for an annexation with specific requirements in Section 16.26.060.A. This Section requires compliance with provisions in the City Annexation Ordinance and Lebanon Comprehensive Plan, Chapter 3 – Urbanization. Essentially, the Annexation Ordinance and Comprehensive Plan decision criteria are the same. The findings are combined to avoid duplication:

1. Annexation Ordinance Section 2. - All Annexations shall conform to the requirements of the Lebanon Municipal Code, Annexation Ordinance, Lebanon Land Development Ordinance (i.e., Development Code), City of Lebanon/Linn County Urban Growth Management Agreement and shall be consistent with applicable State law.

Comprehensive Plan Annexation Policy #P-19: [The City shall] recognize and act on the basis that all annexations shall conform to the requirements of the Lebanon Municipal Code, Annexation Ordinance, Lebanon Land Development Ordinance, City of Lebanon/Linn County Urban Growth Management Agreement (UGMA), and shall be consistent with applicable State law.

RECOMMENDED FINDING: The application site is located within the City of Lebanon Urban Growth Boundary and is contiguous with city limits, therefore eligible for annexation per the Annexation Ordinance, and the Municipal and Development Codes. The annexation is not inclusive of a Comprehensive Plan Map Amendment and is accepting of the initial zoning designation of Residential Mixed Density, consistent with the Comprehensive Plan Designation and the pre-designation identified in the Lebanon Development Code. With the assignment accepted as identified in the Comprehensive Map, it is determined that the annexation has already been accounted for in the City's Facilities Plan, including the Transportation System Plan. The site complies with the Annexation requirements.

2. Annexation Ordinance Section 3. - All Annexations shall be consistent with the goals and policies of the Lebanon Comprehensive Plan.

Comprehensive Plan Annexation Policy #P-20: [The City shall] recognize and act on the basis that all annexations shall be consistent with the goals and policies of the Lebanon Comprehensive Plan.

RECOMMENDED FINDING: The Annexation Ordinance policies are consistent with, and often mirror, the Comprehensive Plan Annexation Policies. The State acknowledges that the City's Comprehensive Plan complies with all applicable Statewide Planning Goals and statutes, recognizing the consistency of the Plan goals and policies. Therefore, compliance with the applicable Comprehensive Plan policies ensures compliance with the Annexation Ordinance. Findings in the following Sections detail this proposal's compliance with all applicable policies.

More Specifically, this annexation supports the goals and policies under Chapter 4: Land Use, and Chapter 6: Housing. In Section 2.3 of Chapter 4 of the Comprehensive Plan, all areas annexed into the City are automatically placed in a zoning classification in accordance with the Adopted Comprehensive Plan and Map. The adopted comprehensive plan map identifies the subject property as Residential Mixed-Density, with the zoning designation of Residential Mixed-Density. As the annexation does not include a proposal to modify the zoning designation, the annexation is consistent with the land use goals established by the Comprehensive Plan. In addition, Table 6-5 in Chapter 6 of the Comprehensive Plan identifies the total number of estimated housing needs by type through 2025. The subject property is currently developed with a single-family residence, but being zoned Residential Mixed, the site can accommodate all different housing types from single-family detached to multi-family development. Based on the 2019 Housing Needs Assessment completed by the City, there is a need for 291 acres of low-density development acreage, 92 acres of medium density, and 39 acres of high density. In the City and the Urban Growth Boundary, there is an identified a surplus of 735 acres of residential land in the City, and 298 acres of residential land in the UGB to accommodate the residential development anticipated to accommodate the population growth. The annexation of this property, and the classification for residential mixed-density would accommodate the identified need for any of the residential classifications, and upon development, could be built to provide affordable units, as such, would be consistent with the goals and policies of the Comprehensive Plan.

3. Annexation Ordinance Section 4. - All lands included within the Urban Growth Boundary are eligible for annexation and urban development. Areas within the Urban Growth Boundary with designated environmental constraints may be annexed and utilized as functional wetlands, parks, open space and related uses.

Comprehensive Plan Annexation Policy #P-21: [The City shall] recognize and act on the basis that all lands included within the Urban Growth Boundary are eligible for annexation and urban development. (Areas within the Urban Growth Boundary with designated environmental constraints may be annexed and utilized as functional wetlands, parks, open space and related uses.)

RECOMMENDED FINDING: The subject site is located within the Urban Growth Boundary and contiguous to city limits, therefore is eligible for annexation. The subject site is generally flat, with no steep slopes or environmental constraints, and generally within a developed neighborhood. There is existing development on the site, including a single-family residence and detached garage. As the site is already improved with urban development, and does not contain any known environmental constraints, the property is eligible for annexation.

4. Annexation Ordinance Section 5. - The City shall only annex land that is contiguous to the existing City limits and is within the City's UGB.

Comprehensive Plan Annexation Policy #P-22: [The City shall] only annex land that is contiguous to the existing City limits and is within the City's UGB.

RECOMMENDED FINDING: The subject site is contiguous with the city boundary on the south and west side of the property, and is therefore contiguous with existing City limits and eligible for annexation.

5. Annexation Ordinance Section 6. - An annexation shall be deemed orderly if the annexation territory is contiguous to the existing City limits. An annexation is efficient if the annexation territory can be developed or redeveloped to an urban use. Urban uses may include wetlands, parks, open space and related uses.

Comprehensive Plan Annexation Policy #P-23: [The City shall] deem an annexation orderly if the annexation territory is contiguous to the existing City Limits, and deem an annexation efficient if the annexation territory can be developed or redeveloped to an urban use (urban uses may include functional wetlands, parks, open space and related uses).

RECOMMENDED FINDINGS: The proposed annexation complies with the above noted criteria as follows:

- (a) The site is contiguous with city limits along the southern and western property lines.
- (b) The property is located within an already developed and urbanized portion of the Urban Growth Boundary and City. Surrounding the property include residential development. The site can be serviced by city water, sewer, and has developed storm drainage within the Stoltz Hill Road right-of-way. As the property can be serviced by city facilities and transportation system, and is already improved with an urban development, the property would be eligible for annexation.

6. Annexation Ordinance Section 7. - Development proposals are not required for annexation requests.

Comprehensive Plan Annexation Policy #P-24: [The City shall] recognize and act on the basis that development proposals are not required for annexation requests.

RECOMMENDED FINDING: The application does not include a concurrent development proposal and is currently improved with a single-family residence and detached garage. Any future development or redevelopment proposal would be required to comply with the provisions for the development code for the Z-RM zone, as applicable.

7. Annexation Ordinance Section 8. - As part of the annexation process of developed property or properties, the City shall consider the anticipated demands to access key City-provided urban utility services, which are water, storm drainage, sanitary sewer, and streets, of existing development within the annexation territory.

Comprehensive Plan Annexation Policy #P-25: [The City shall] consider as part of the annexation process of developed property or properties, the anticipated demands to access key City-provided urban utility services, which are water, storm drainage, sanitary sewer, and streets, of existing development within the annexation territory.

RECOMMENDED FINDING: Section 16.26.040 of the Lebanon Development Code states “anticipated urban densities (according to the automatic City Zoning assignment upon annexation) within the UGA are already accounted for in the City’s Facilities Plans, including the Transportation System Plan.” No revisions to the plans are necessitated, when following annexation, an area is assigned the zoning classification that is in accordance with the adopted Comprehensive Plan Map designation. The subject site is assigned the zoning classification of Z-RM in accordance with the Comprehensive Map designation and therefore, the anticipated demands to access key City-provided urban utilities have already been considered. There is existing city water, sewer and available in the immediate vicinity for connection to the site, and the existing transportation system can accommodate the inclusion of the property and the existing development.

8. Annexation Ordinance Section 9. - As part of the annexation process of developed property or properties, the City shall consider the impacts on key City-provided urban utility services needed to serve these properties, which are water, storm drainage, sanitary sewer, and streets.

Comprehensive Plan Annexation Policy # P-26: [The City shall] Consider as part of the annexation process of developed property or properties, the impacts on the capacities of key City-provided urban utility services needed to satisfy the anticipated demands of the properties discussed in P-25 above.

RECOMMENDED FINDING: Section 16.26.040 of the Lebanon Development Code states “anticipated urban densities (according to the automatic City Zoning assignment upon annexation) within the UGA are already accounted for in the City’s Facilities Plans, including the Transportation System Plan.” No revisions to the plans are necessitated, when following annexation, an area is assigned the zoning classification that is in accordance with the adopted Comprehensive Plan Map designation. The subject site is assigned the zoning classification of Z-RM in accordance with the Comprehensive Map designation and therefore, the anticipated demands to access key City-provided urban utilities have already been considered. There is existing city water, sewer and available

in the immediate vicinity for connection to the site, and the existing transportation system can accommodate the inclusion of the property and the existing development.

9. Annexation Ordinance Section 10. - Needed Public rights-of-way, as identified in adopted transportation plans as necessary for the safe and efficient movement of traffic, bicycles and pedestrians, shall be dedicated to the City either with annexation or when the property develops and/or redevelops and creates an increased demand for the benefits provided by additional rights-of-way dedication.

RECOMMENDED FINDING: Stoltz Hill Road maintains a right-of-way width of 60-feet. The adopted 2018 Transportation System Plan identified Stoltz Hill Road as a minor arterial, which requires a 75-foot right-of-way. The Engineering Department reviewed the annexation and determined that if the property were to redevelop in the future, any required street dedication would be conditioned at that time. The street is already improved with storm drainage. As such, no additional right-of-way dedication from the subject property is necessary for the annexation.

10. Annexation Ordinance Section 11. - Upon annexation, the annexation territory shall be assigned zoning classifications in accordance with the adopted Comprehensive Plan Map, as shown in the City's Annexation Zoning Matrix. Such zoning assignments in and of themselves are not a zoning map change and shall not require approval of a zoning map amendment, or a separate proceeding.

RECOMMENDED FINDING: This subject property is designated Residential Mixed Density by the Comprehensive Plan. Consistent with the adopted Zoning Matrix, the only possible applicable zone is Residential Mixed Density (Z-RM). The Applicant accepts the applicable zoning designation and is not proposing a Comprehensive Plan Map Amendment.

11. Annexation Ordinance Section 12. - If a zoning designation other than one in accordance with the Comprehensive Plan Map (shown in the Annexation Zoning Matrix) is requested by an applicant, the zoning requested shall not be granted until the Comprehensive Plan Map is appropriately amended to reflect concurrence. Such an amendment shall require a separate application, hearing and decision, which may be held concurrently with an annexation hearing and will not become effective until the annexation is complete.

RECOMMENDED FINDING: This application does not include a change in the Plan designation or corresponding zone. Therefore, this Section does not apply.

12. Annexation Ordinance Section 13. - The areas within the Urban Growth Boundary with designated environmental constraints may be annexed and developed as functional wetlands, parks, open space and related uses.

RECOMMENDED FINDING: The subject site is generally flat, with no steep slopes or environmental constraints, and generally within a developed neighborhood. There is existing development on the site, including a single-family residence and a detached

garage. As the site is already improved with urban development, and does not contain any known environmental constraints, the property is eligible for annexation.

13. Annexation Ordinance Section 14. - An “urban use” is hereby defined as any land use that is authorized under the terms and provisions of the land use regulations, Zoning Ordinance (i.e., Development Code), Subdivision Ordinance, Comprehensive Plan, and other related documents of the City of Lebanon.

RECOMMENDED FINDING: This Section does not apply as the provisions in this Section provide a definition and not a decision criterion.

14. Annexation Ordinance Section 15. - At the applicant’s discretion and with the City’s concurrence, a development or redevelopment proposal for an annexation territory may be acted upon by the Planning Commission immediately following the Commission’s hearing on the annexation proposal and a decision of recommendation of approval to the City Council. However, any approval of the Planning Commission of such a development or redevelopment proposal must be contingent upon subsequent approval of the annexation by City Council.

RECOMMENDED FINDING: The request does not contain a concurrent development request.

15. Comprehensive Plan Annexation Policy # P-27: Expand the City Limits as necessary to accommodate development, including housing, commercial, industrial, and services (that will in turn accommodate population growth).

RECOMMENDED FINDING: This Policy does not directly apply as the proposal simply incorporates an existing urbanized parcel into the City limits.

IV. CONCLUSION AND RECOMMENDATION

Staff finds the proposal complies with the decision criteria for an Annexation and the establishment of the applicable zone. Therefore, staff recommends the Planning Commission recommend the City Council approve the Annexation of the subject area and establishment of the respective Residential Mixed Density (Z-RM) zone on the newly annexed property.

V. PLANNING COMMISSION ACTION - ANNEXATION

- A. The Planning Commission may either:
 1. Recommend City Council approval of the proposed annexation and establishment of the applicable Residential Mixed Density zone, adopting the written findings for the decision criteria contained in the staff report; or

2. Recommend City Council approval of the proposed annexation and establishment of the applicable Residential Mixed Density zone, adopting modified findings for the decision criteria; or
3. Recommend City Council denial of the proposed annexation and establishment of the applicable Residential Mixed Density zone, specifying reasons why the proposal fails to comply with the decision criteria; and
4. Direct staff to prepare an Order of Recommendation for the Chair or Vice Chair's signature incorporating the adopted findings as approved by the Planning Commission.



NOTICE OF VIRTUAL PUBLIC HEARING LEBANON PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that a public hearing will be held before the Lebanon Planning Commission on **August 19, 2020 at 6:00 p.m.** through a virtual (online) meeting to afford interested persons and the general public an opportunity to be heard and give testimony concerning the following matter:

Planning Case No.:	A-20-05
Applicant:	Ross Latimer
Location:	2120 Stoltz Hill Road
Map & Tax Lot No.:	12S02W15CA00100 & 00200
Request:	Annexation
Decision Criteria:	Lebanon Development Code Chapters: 16.20 & 16.26

Request: The applicant is requesting Annexation of approximately .72 acres comprised of two tax lot. The property is designated Residential Mixed Density (C-RM) on the Comprehensive Plan Map and will be assigned a Residential Mixed Density (Z-RM) zoning designation upon Annexation.

Virtual Meeting: Due to the COVID-19 pandemic, the City will be hosting a virtual Planning Commission meeting and will not hold a live meeting at the Santiam Travel Station as authorized under the Governor's Executive Order 20-16 and in compliance with Oregon Public Meeting Laws.

The public is invited to watch the meeting online through the City of Lebanon's YouTube page at



<https://www.youtube.com/watch?v=SdTkiK6hebY> on August 19, 2020. The City of Lebanon thanks you for your support in slowing the spread of COVID-19 by attending this public meeting digitally. The Agenda and application materials will be available for review on the City's website at <https://www.ci.lebanon.or.us/meetings> seven days prior to the hearing.

Providing Comments: The City will be accepting public comment on this item in a number of ways to afford interested persons and the general public an opportunity to give testimony on the subject matter. Written and verbal testimony will be accepted upon issuance of this notice, **until 5:00pm on Wednesday, August 19, 2020.** Written testimony may be emailed to khart@ci.lebanon.or.us or may be mailed to the City at 925 S. Main Street, Lebanon, OR 97355, or delivered to the City and dropped in the white mailbox in front of City Hall. For verbal testimony, a recording may be provided to the City, or you may call (541) 258-4252 and leave a voice message. Those wanting to give public comments for the application's public hearing during the electronic meeting should contact Kelly Hart, the Community Development Director, at khart@ci.lebanon.or.us for the Zoom meeting link prior to **5:00 p.m. on August 19, 2020.**

CITIZENS ARE INVITED TO PARTICIPATE in the public hearing and give written or oral testimony as described above that address applicable decision criteria during that part of the hearing process designated for testimony in favor of, or opposition to, the proposal. If additional documents or evidence are provided in support of the application subsequent to notice being sent, a party may, prior to the close of the hearing, request that the record remain open for at least seven days so such material may be reviewed.

Action of the Planning Commission and Appeals: The role of the Commission is to review the proposal and make a recommendation to the Lebanon City Council. A public hearing before the Council will be subsequently scheduled and notice provided. The Council decision is the final decision unless appealed to the Land Use Board of Appeals (LUBA). Failure to raise an issue in the hearing, orally or in writing, or failure to provide sufficient specificity to afford the decision makers an opportunity to respond to the issue precludes appeal to LUBA based on that issue.

Obtain Information: A copy of the application, all documents and evidence relied upon by the applicant, and applicable criteria are available for inspection at no cost and will be provided at the cost of 25 cents per single-sided page. If you have questions or would like additional information, please contact City of Lebanon Community Development Department, 925 Main Street; phone 541-258-4906; email cdc@ci.lebanon.or.us.

The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for persons with disabilities should be made at least 48 hours before the meeting to 541-258-4906.



NOTICE OF A PROPOSED CHANGE TO A COMPREHENSIVE PLAN OR LAND USE REGULATION FORM 1

FOR DLCD USE
File No.:
Received:

Local governments are required to send notice of a proposed change to a comprehensive plan or land use regulation at least 35 days before the first evidentiary hearing. (See OAR 660-018-0020 for a post-acknowledgment plan amendment and OAR 660-025-0080 for a periodic review task). The rules require that the notice include a completed copy of this form.

Jurisdiction: City of Lebanon

Local file no.: A-20-05

Please check the type of change that best describes the proposal:

- Urban growth boundary (UGB) amendment including more than 50 acres, by a city with a population greater than 2,500 within the UGB
UGB amendment over 100 acres by a metropolitan service district
Urban reserve designation, or amendment including over 50 acres, by a city with a population greater than 2,500 within the UGB
Periodic review task - Task no.:
X Any other change to a comp plan or land use regulation (e.g., a post-acknowledgement plan amendment)

Local contact person (name and title): Tammy Dickey
Phone: 541-258-4254 E-mail: tdickey@ci.lebanon.or.us
Street address: 925 S Main Street City: Lebanon Zip: 97355

Briefly summarize the proposal in plain language. Please identify all chapters of the plan or code proposed for amendment (maximum 500 characters):

Request to Annex .44 acres to the City of Lebanon and establish the Residential Mixed Density (Z-RM) on the newly annexed property. Proposed Zoning conforms to Comprehensive Plan Map designation.

Date of first evidentiary hearing: August 19, 2020
Date of final hearing: September 9, 2020

This is a revision to a previously submitted notice. Date of previous submittal:

Check all that apply:

- Comprehensive Plan text amendment(s)
Comprehensive Plan map amendment(s) - Change from to
Change from to
New or amended land use regulation
Zoning map amendment(s) - Change from
Change from
An exception to a statewide planning goal is proposed - goal(s) subject to exception:
X Acres affected by map amendment: .44

Location of property, if applicable (site address and T, R, Sec., TL): 12S2W15CA00100 & 200

List affected state or federal agencies, local governments and special districts:

NOTICE OF A PROPOSED CHANGE – SUBMITTAL INSTRUCTIONS

1. Except under certain circumstances,¹ proposed amendments must be submitted to DLCD's Salem office at least 35 days before the first evidentiary hearing on the proposal. The 35 days begins the day of the postmark if mailed, or, if submitted by means other than US Postal Service, on the day DLCD receives the proposal in its Salem office. **DLCD will not confirm receipt of a Notice of a Proposed Change unless requested.**

2. A Notice of a Proposed Change must be submitted by a local government (city, county, or metropolitan service district). DLCD will not accept a Notice of a Proposed Change submitted by an individual or private firm or organization.

3. **Hard-copy submittal:** When submitting a Notice of a Proposed Change on paper, via the US Postal Service or hand-delivery, print a completed copy of this Form 1 on light green paper if available. Submit **one copy** of the proposed change, including this form and other required materials to:

Attention: Plan Amendment Specialist
Dept. of Land Conservation and Development
635 Capitol Street NE, Suite 150
Salem, OR 97301-2540

This form is available here:

<http://www.oregon.gov/LCD/CPU/Pages/Plan-Amendments.aspx>

4. **Electronic submittals** of up to 20MB may be sent via e-mail. Address e-mails to plan.amendments@state.or.us with the subject line "Notice of Proposed Amendment."

Submittals may also be uploaded to DLCD's FTP site at <http://www.oregon.gov/LCD/CPU/Pages/PAPA-Submittals.aspx>.

E-mails with attachments that exceed 20MB will not be received, and therefore FTP must be used for these electronic submittals. **The FTP site must be used for all .zip files** regardless of size. The maximum file size for uploading via FTP is 150MB.

Include this Form 1 as the first pages of a combined file or as a separate file.

5. **File format:** When submitting a Notice of a Proposed Change via e-mail or FTP, or on a digital disc, attach all materials in one of the following formats: Adobe .pdf (preferred); Microsoft Office (for example, Word .doc or docx or Excel .xls or xlsx); or ESRI .mxd, .gdb, or .mpk. For other file formats, please contact the plan amendment specialist at 503-934-0017 or plan.amendments@state.or.us.

6. **Text:** Submittal of a Notice of a Proposed Change for a comprehensive plan or land use regulation text amendment must include the text of the amendment and any other information necessary to advise DLCD of the effect of the proposal. "Text" means the specific language proposed to be amended, added to, or deleted from the currently acknowledged plan or land use regulation. A general description of the proposal is not adequate. The notice may be deemed incomplete without this documentation.

7. **Staff report:** Attach any staff report on the proposed change or information that describes when the staff report will be available and how a copy may be obtained.

8. **Local hearing notice:** Attach the notice or a draft of the notice required under ORS 197.763 regarding a quasi-judicial land use hearing, if applicable.

9. **Maps:** Submittal of a proposed map amendment must include a map of the affected area showing existing and proposed plan and zone designations. A paper map must be legible if printed on 8½" x 11" paper. Include text regarding background, justification for the change, and the application if there was one accepted by the local government. A map by itself is not a complete notice.

10. **Goal exceptions:** Submittal of proposed amendments that involve a goal exception must include the proposed language of the exception.

¹ 660-018-0022 provides:

(1) When a local government determines that no goals, commission rules, or land use statutes apply to a particular proposed change, the notice of a proposed change is not required [a notice of adoption is still required, however]; and

(2) If a local government determines that emergency circumstances beyond the control of the local government require expedited review such that the local government cannot submit the proposed change consistent with the 35-day deadline, the local government may submit the proposed change to the department as soon as practicable. The submittal must include a description of the emergency circumstances.

CURRENT



PROPOSED



Zoning Map

Legend

- Z-RL : Residential Low Density
- Z-RM : Residential Mixed Density
- Z-RH : Residential High Density
- Z-NMU : Neighborhood Mixed Use
- Z-MU : Mixed Use
- Z-NCM : Neighborhood Commercial
- Z-CCM : Central Business Commercial
- Z-HCM : Highway Commercial
- Z-IND : Industrial
- Z-PU : Public Use
- Taxlot
- City Limit
- Urban Growth Boundary

(See Lebanon Development Code Chapter 16.11 for Overlay Zones)





LAND USE APPLICATION

PROPERTY INFORMATION

Site Address(es): 2120 Stoltz Hill Road

Assessor's Map & Tax Lot No.(s): 12s.02w.15ca / 100 and 200

Comprehensive Plan Designation / Zoning Designation: Lebanon RM / Linn Co. UGA-UGM-10

Current Property Use: Single family residence

Project Description: Annexation of territory to the City of Lebanon

APPLICANT / PRIMARY CONTACT INFORMATION

Applicant: Ross Latimer

Phone: 541-971-7588

Address: PO Box 310

Email: rossblatimer@gmail.com

City/State/Zip: Lebanon, OR 97355

I hereby certify that the statements, attachments, exhibits, plot plan and other information submitted as a part of this application are true; that the proposed land use activity does not violate State and/or Federal Law, or any covenants, conditions and restrictions associated with the subject property; and, any approval granted based on this information may be revoked if it is found that such statements are false.

APPLICANT SIGNATURE

Ross B. Latimer

Date:

7-10-20

PROPERTY OWNER INFORMATION (IF DIFFERENT THAN ABOVE)

Owner:

Phone:

Address:

Email:

City/State/Zip:

OWNER SIGNATURE

Date:

ADDITIONAL CONTACT INFORMATION

Engineer / Surveyor:

Phone:

Address:

Email:

City/State/Zip:

Architect:

Phone:

Address:

Email:

City/State/Zip:

Other:

Phone:

Address:

Email:

City/State/Zip:

THE CITY THAT FRIENDLINESS BUILT

REQUIRED SUBMITTALS

- Application and Filing Fee
- Narrative Describing the Proposed Development and addressing the Decision Criteria
 - LDC Article Two Land Uses and Land Use Zones
 - LDC Article Three Development Standards
 - LDC Article Four Review & Decision Requirements
 - LDC Article Five Exceptions to Standards (eg Variance, Non-Conforming Uses)
- Site Plan(s) drawn to scale with dimensions, Include other drawings if applicable
- Copy of current Property Deed showing Ownership, Easements, Property Restrictions

FOR OFFICE USE

***If more than one review process is required, applicant pays highest priced fee, then subsequent applications charged at half-price.**

Land Use Review Process	Fee	Land Use Review Process	Fee
Administrative Review	\$450	Planned Development – Preliminary	\$2500
<input checked="" type="checkbox"/> Annexation	\$1500	Planned Development – Ministerial	\$200
Code Interpretation	\$100	Planned Development – Final (Administrative)	\$450
Comprehensive Plan Map Amendment	\$2000	Planned Development – Final (Quasi-Judicial)	\$750
Comprehensive Plan Text Amendment	\$2000	Subdivision Tentative	\$2000 + \$15/lot
Conditional Use	\$1500	Subdivision Final	\$800 + \$15/lot
Historic Preservation Review or Register	Varies	Tree Felling Permit (Steep Slopes only)	\$150 + \$5/tree
Land Partition	\$450	Urban Growth Boundary Amendment	Actual Costs
Ministerial Review	\$150	Variance (Class 1 – Minor Adjustment)	\$150
Modification of Approved Plan	25% of Application	Variance (Class 2 – Adjustment)	\$450
Non-Conforming Use/Development	\$450	Variance (Class 3)	\$1000
Property (Lot) Line Adjustment	\$250	Zoning Map Amendment	\$1000

APPLICATION RECEIPT & PAYMENT

Date Received:	Date Complete:	Receipt No.:
Received By:	Total Fee:	File No.:

THE CITY THAT FRIENDLINESS BUILT

City of Lebanon Annexation Application

For:

Linn County tax lots 100 and 200 on assessment map 12s02w15ca

At the request of Ross Latimer

July 10, 2020

Property information:

Owner: Ross Latimer
Mailing: PO Box 310, Lebanon, OR 97355
Site address: 2120 Stoltz Hill Road
Total Area: 0.28 acres + 0.44 acres = 0.72 acres
Tax lots: 100 and 200
Tax map: 12s-02w-15ca
Deed reference: deed document no. 2020-10641
Current Zoning: Linn County - Urban Growth Area-Urban Management Area-10
Comprehensive map: Lebanon – Mixed Density Residential (RM)

Summary of proposal:

The subject property is made up of two lots of record, tax lot 200 to the north and tax lot 100 to the south, as found on Linn County tax assessment map 12s-02w-15ca. The total area of these two contiguous lots is 0.44 acres. They are contiguous with the current city limits on the south and west boundaries. City water and sewer are located within the adjacent Stoltz Hill right of way and are currently constructed to the southern boundary of the property. Upon annexation, the applicant intends to extend these utilities across the frontage of the subject property. The property currently has a single family dwelling and detached garage located on it.

Pertinent Development Code and Comprehensive Plan decision Criteria

1. Annexation Ordinance Section 2. - All Annexations shall conform to the requirements of the Lebanon Municipal Code, Annexation Ordinance, Lebanon Land Development Ordinance (i.e., Development Code), City of Lebanon/Linn County Urban Growth Management Agreement and shall be consistent with applicable State law.

Comprehensive Plan Annexation Policy #P-19: [The City shall] recognize and act on the basis that all annexations shall conform to the requirements of the Lebanon Municipal Code, Annexation Ordinance, Lebanon Land Development Ordinance, City of Lebanon/Linn County Urban Growth Management Agreement (UGMA), and shall be consistent with applicable State law.

FINDING: The application site is located within the City of Lebanon Urban Growth Boundary and is contiguous with city limits, therefore eligible for annexation per the Annexation Ordinance, and the Municipal and Development Codes. The annexation is not inclusive of a Comprehensive Plan Map Amendment and is accepting of the initial zoning designation of Residential Mixed Density, consistent with the Comprehensive Plan Designation and the pre-designation identified in the Lebanon Development Code. With the assignment accepted as identified in the Comprehensive Map, it is determined that the annexation has already been accounted for in the City's Facilities Plan, including the Transportation System Plan. The site complies with the Annexation requirements.

2. Annexation Ordinance Section 3. - All Annexations shall be consistent with the goals and policies of the Lebanon Comprehensive Plan.

Comprehensive Plan Annexation Policy #P-20: [The City shall] recognize and act on the basis that all annexations shall be consistent with the goals and policies of the Lebanon Comprehensive Plan.

FINDING: The Annexation Ordinance policies are consistent with, and often mirror, the Comprehensive Plan Annexation Policies. The State acknowledges that the City's Comprehensive Plan complies with all applicable Statewide Planning Goals and statutes, recognizing the consistency of the Plan goals and policies. Therefore, compliance with the applicable Comprehensive Plan policies ensures compliance with the Annexation Ordinance. Findings in the following Sections detail this proposal's compliance with all applicable policies.

3. Annexation Ordinance Section 4. - All lands included within the Urban Growth Boundary are eligible for annexation and urban development. Areas within the Urban Growth Boundary with designated environmental constraints may be annexed and utilized as functional wetlands, parks, open space and related uses.

Comprehensive Plan Annexation Policy #P-21: [The City shall] recognize and act on the basis that all lands included within the Urban Growth Boundary are eligible for annexation and urban development. (Areas within the Urban Growth Boundary with designated environmental constraints may be annexed and utilized as functional wetlands, parks, open space and related uses.)

FINDING: The subject site is located within the Urban Growth Boundary and contiguous to city limits, therefore is eligible for annexation. The subject site is generally flat, with no steep slopes or environmental constraints, and generally within a developed neighborhood. There is existing development on the site, including a single-family residence, which is proposed to be maintained. As the site is already improved with urban development, and does not contain any known environmental constraints, the property is eligible for annexation.

4. Annexation Ordinance Section 5. - The City shall only annex land that is contiguous to the existing City limits and is within the City's UGB.

Comprehensive Plan Annexation Policy #P-22: [The City shall] only annex land that is contiguous to the existing City limits and is within the City's UGB.

FINDING: The subject site is contiguous with the city boundary on the south and west side of the property, and is therefore contiguous with existing City limits and eligible for annexation.

5. Annexation Ordinance Section 6. - An annexation shall be deemed orderly if the annexation territory is contiguous to the existing City limits. An annexation is efficient if the annexation territory can be developed or redeveloped to an urban use. Urban uses may include wetlands, parks, open space and related uses.

Comprehensive Plan Annexation Policy #P-23: [The City shall] deem an annexation orderly if the annexation territory is contiguous to the existing City Limits, and deem an annexation efficient if the annexation territory can be developed or redeveloped to an urban use (urban uses may include functional wetlands, parks, open space and related uses).

FINDINGS: The proposed annexation complies with the above noted criteria as follows:

- (a) The site is contiguous with city limits along the southern and wester property lines.
- (b) The property is located within an already developed and urbanized portion of the Urban Growth Boundary and City. Surrounding the property include residential development. The site can be serviced by city water, sewer, and has adequate storm drainage capacity via a road side ditch within the Stoltz Hill Road right-of-way. As the property can be serviced by city facilities and transportation system, and is already improved with an urban development, the property would be eligible for annexation.

6. Annexation Ordinance Section 7. - Development proposals are not required for annexation requests.

Comprehensive Plan Annexation Policy #P-24: [The City shall] recognize and act on the basis that development proposals are not required for annexation requests.

FINDING: The application does not include a concurrent development proposal and is currently improved with a single-family residence. Any future development or redevelopment proposal would be required to comply with the provisions for the development code for the Z-RM zone, as applicable.

7. Annexation Ordinance Section 8. - As part of the annexation process of developed property or properties, the City shall consider the anticipated demands to access key City- provided urban utility services, which are water, storm drainage, sanitary sewer, and streets, of existing development within the annexation territory.

Comprehensive Plan Annexation Policy #P-25: [The City shall] consider as part of the annexation process of developed property or properties, the anticipated demands to access key City-provided urban utility services, which are water, storm drainage, sanitary sewer, and streets, of existing development within the annexation territory.

FINDING: Section 16.26.040 of the Lebanon Development Code states “anticipated urban densities (according to the automatic City Zoning assignment upon annexation) within the UGA are already accounted for in the City’s Facilities Plans, including the Transportation System Plan.” No revisions to the plans are necessitated, when following annexation, an area is assigned the zoning classification that is in accordance with the adopted Comprehensive Plan Map designation. The subject site is assigned the zoning classification of Z-RM in accordance with the Comprehensive Map designation and therefore, the anticipated demands to access key City-provided urban utilities have already been considered. There is existing city water, sewer and storm drainage available for connection to the site, and the existing transportation system can accommodate the inclusion of the property and the existing development.

8. Annexation Ordinance Section 9. - As part of the annexation process of developed property or properties, the City shall consider the impacts on key City-provided urban utility services needed to serve these properties, which are water, storm drainage, sanitary sewer, and streets.

Comprehensive Plan Annexation Policy # P-26: [The City shall] Consider as part of the annexation process of developed property or properties, the impacts on the capacities of key City-provided urban utility services needed to satisfy the anticipated demands of the properties discussed in P-25 above.

FINDING: Section 16.26.040 of the Lebanon Development Code states “anticipated urban densities (according to the automatic City Zoning assignment upon annexation) within the UGA are already accounted for in the City’s Facilities Plans, including the Transportation System Plan.” No revisions to the plans are necessitated, when following annexation, an area is assigned the zoning classification that is in accordance with the adopted Comprehensive Plan Map designation. The subject site is assigned the zoning classification of Z-RM in accordance with the Comprehensive Map designation and therefore, the anticipated demands to access key City-provided urban utilities have already been considered.

9. Annexation Ordinance Section 10. - Needed Public rights-of-way, as identified in adopted transportation plans as necessary for the safe and efficient movement of traffic, bicycles and pedestrians, shall be dedicated to the City either with annexation or when the property develops and/or redevelops and creates an increased demand for the benefits provided by additional rights-of-way dedication.

FINDING: Stoltz Hill Road maintains a right-of-way width of 60 feet, which meets the minimum right-of-way width required for a collector roadway without parking.

10. Annexation Ordinance Section 11. - Upon annexation, the annexation territory shall be assigned

zoning classifications in accordance with the adopted Comprehensive Plan Map, as shown in the City's Annexation Zoning Matrix. Such zoning assignments in and of themselves are not a zoning map change and shall not require approval of a zoning map amendment, or a separate proceeding.

FINDING: This subject property is designated Residential Mixed Density by the Comprehensive Plan. Consistent with the adopted Zoning Matrix, the only possible applicable zone is Residential Mixed Density (Z-RM). The Applicant accepts the applicable zoning designation and is not proposing a Comprehensive Plan Map Amendment.

11. Annexation Ordinance Section 12. - If a zoning designation other than one in accordance with the Comprehensive Plan Map (shown in the Annexation Zoning Matrix) is requested by an applicant, the zoning requested shall not be granted until the Comprehensive Plan Map is appropriately amended to reflect concurrence. Such an amendment shall require a separate application, hearing and decision, which may be held concurrently with an annexation hearing and will not become effective until the annexation is complete.

FINDING: This application does not include a change in the Plan designation or corresponding zone. Therefore, this Section does not apply.

12. Annexation Ordinance Section 13. - The areas within the Urban Growth Boundary with designated environmental constraints may be annexed and developed as functional wetlands, parks, open space and related uses.

FINDING: The subject site is generally flat, with no steep slopes or environmental constraints, and generally within a developed neighborhood. There is existing development on the site, including a single-family residence, which is proposed to be maintained. As the site is already improved with urban development, and does not contain any known environmental constraints, the property is eligible for annexation.

13. Annexation Ordinance Section 14. - An "urban use" is hereby defined as any land use that is authorized under the terms and provisions of the land use regulations, Zoning Ordinance (i.e., Development Code), Subdivision Ordinance, Comprehensive Plan, and other related documents of the City of Lebanon.

FINDING: This Section does not apply as the provisions in this Section provide a definition and not a decision criterion.

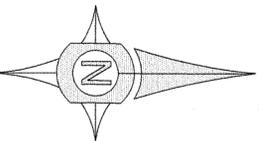
14. Annexation Ordinance Section 15. - At the applicant's discretion and with the City's concurrence, a development or redevelopment proposal for an annexation territory may be acted upon by the Planning Commission immediately following the Commission's hearing on the annexation proposal and a decision of recommendation of approval to the City Council. However, any approval of the Planning Commission of such a development or redevelopment proposal must be contingent upon

subsequent approval of the annexation by City Council.

FINDING: The request does not contain a concurrent development request.

15. Comprehensive Plan Annexation Policy # P-27: Expand the City Limits as necessary to accommodate development, including housing, commercial, industrial, and services (that will in turn accommodate population growth).

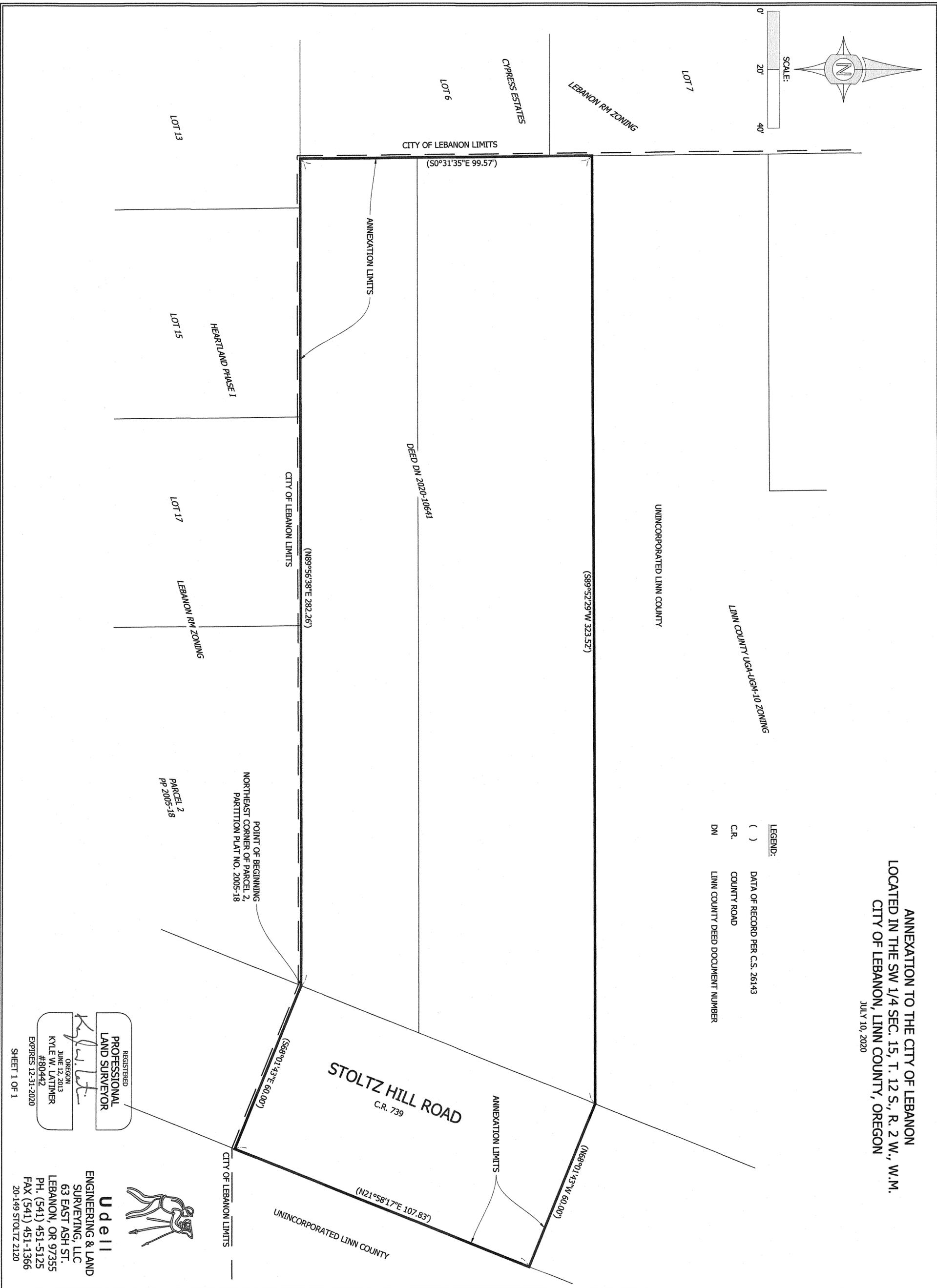
FINDING: This Policy does not directly apply as the proposal simply incorporates an existing urbanized parcel into the City limits.



SCALE:
0' 20' 40'

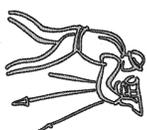
ANNEXATION TO THE CITY OF LEBANON
LOCATED IN THE SW 1/4 SEC. 15, T. 12 S., R. 2 W., W.M.
CITY OF LEBANON, LINN COUNTY, OREGON
JULY 10, 2020

LEGEND:
() DATA OF RECORD PER C.S. 26143
C.R. COUNTY ROAD
DN LINN COUNTY DEED DOCUMENT NUMBER



REGISTERED
PROFESSIONAL
LAND SURVEYOR

JUNE 12, 2013
KYLE W. LATIMER
#80442



Udell

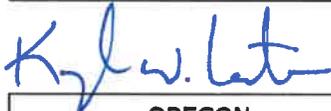
ENGINEERING & LAND
SURVEYING, LLC
63 EAST ASH ST.
LEBANON, OR 97355
PH. (541) 451-5125
FAX (541) 451-1366
20-149 STOLTZ 2120

ANNEXATION LEGAL DESCRIPTION

AN AREA OF LAND IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 12 SOUTH, RANGE 2 WEST OF THE WILLAMETTE MERIDIAN, IN LINN COUNTY, OREGON AND BEING MORE SPECIFICALLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF PARCEL 2, PARTITION PLAT NO. 2005-18; THENCE SOUTH 68°01'43" EAST 60.00 FEET TO THE EAST LINE OF STOLTZ HILL ROAD (COUNTY ROAD NO. 739); THENCE ALONG SAID EAST LINE NORTH 21°58'17" EAST 107.83 FEET; THENCE NORTH 68°01'43" WEST 60.00 FEET TO THE WEST LINE OF STOLTZ HILL ROAD AND THE NORTHEAST CORNER OF THE LAND DESCRIBED IN DEED DOCUMENT NO. 2020-10641; THENCE SOUTH 89°52'29" WEST 323.52 FEET TO THE NORTHWEST CORNER OF LAND IS SAID DEED; THENCE SOUTH 0°31'35" 99.57 FEET ALONG THE EAST LINE OF CYPRESS ESTATES TO THE NORTH LINE OF HEARTLAND PHASE I SUBDIVISION; THENCE NORTH 89°56'38" EAST 282.26 FEET TO THE POINT OF BEGINNING.

REGISTERED
PROFESSIONAL
LAND SURVEYOR



OREGON
JUNE 12, 2013
KYLE W. LATIMER
80442

EXPIRES 12-31-2020

Udell Engineering & Land Surveying, LLC
63 East Ash Street, Lebanon, OR 97355
Ph: 541-451-5125 • Fax: 541-451-1366

AGENDA ITEM

4.e.





925 S. Main Street
Lebanon, Oregon 97355

TEL: 541.258.4906
cdc@ci.lebanon.or.us
www.ci.lebanon.or.us

MEMORANDUM

Community Development

To: Lebanon Planning Commission
From: Kelly Hart, Community Development Director
Subject: Planning File No. CPMA-20-01

Date: August 11, 2020

I. BACKGROUND

On July 29, 2020, the City issued a public notice for a public hearing before the Planning Commission for consideration of a Comprehensive Plan Map Amendment for the property on the west side of Stoltz Hill Road, north of Vaughan Lane (12S 02W 21, tax lot 00112) to be considered on August 19, 2020. After the public notice was issued, the Applicant, Rockhill, LLC requested the public hearing to be postponed to the September 2020 Planning Commission meeting.

On August 10, 2020, the applicant submitted a written request to the City to postpone the hearing to the September 16, 2020 meeting.

IX. RECOMMENDED ACTION

The Planning Commission continue the public hearing to the regularly scheduled September 16, 2020 Planning Commission meeting.

Tammy Dickey

From: Kyle Latimer <kyle@udelleng.com>
Sent: Monday, August 10, 2020 6:31 AM
To: Kelly Hart
Subject: Stoltz comp map mtg

[NOTICE: This message originated outside of your organization -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Good morning Kelly,

If you don't mind postponing the Stoltz Hill Comp. map amendment until September, we would like to do that.

Thanks again for the notice on the neighborhood sentiment.

Kyle Latimer PLS

Udell Engineering and Land Surveying, LLC
63 East Ash St. Lebanon, OR 97355
541-451-5125 (Phone) 541-451-1366 (Fax)